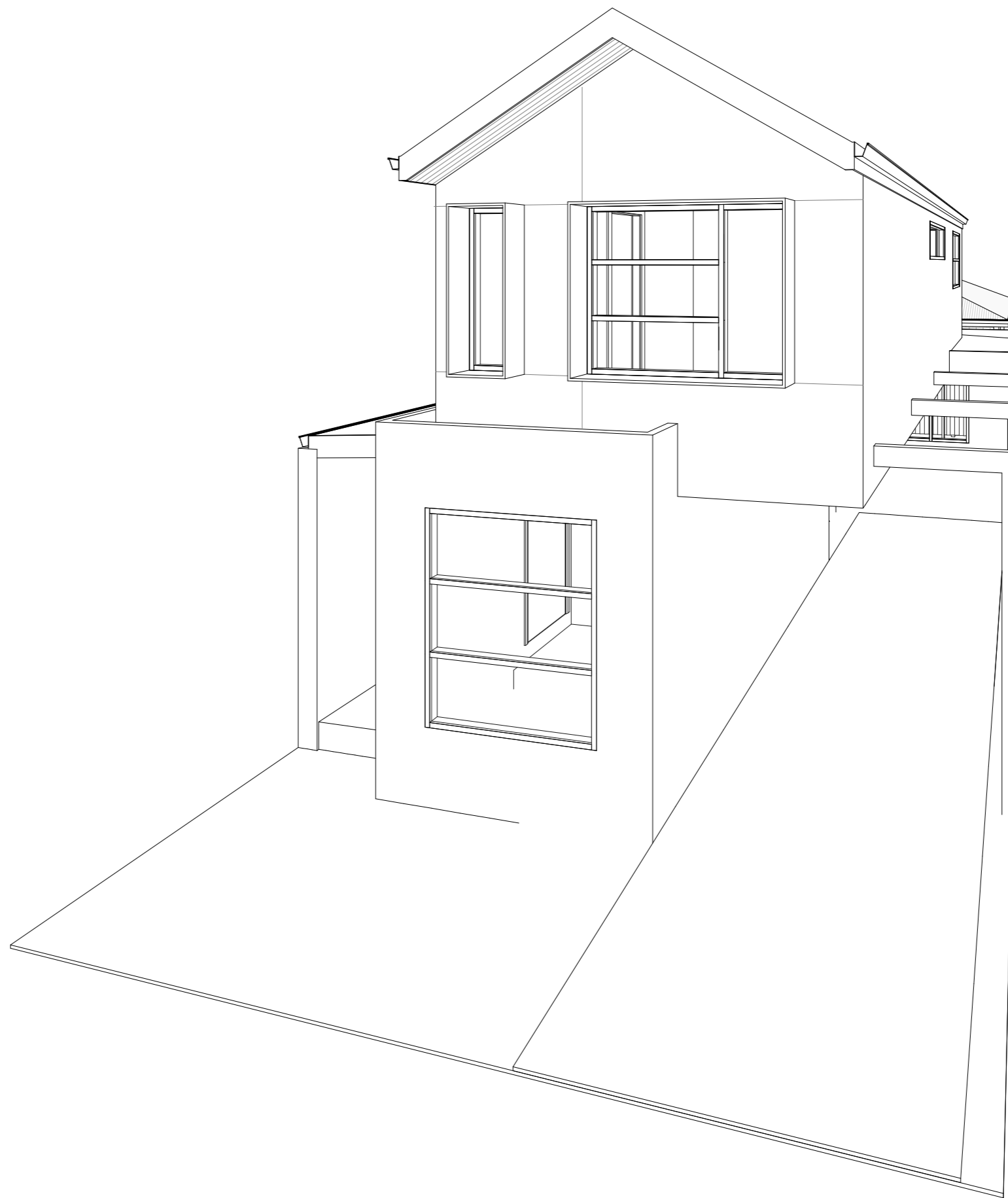


PROPOSED REAR UNIT

135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011



DEVELOPMENT SUMMARY

AREA	EXISTING DWELLING	PROPOSED UNIT	TOTAL
TOTAL GROUND FLOOR	92.42sqm	63.49sqm	155.91sqm
SITE COVERAGE	29.20%	10.06%	49.26%
CAR PARKING SPACES	- spaces	2 space	2 space
TOTAL PRIVATE OPEN SPACE (POS)	89.33sqm	35.78sqm	125.11sqm
SECLUDED POS	25.00qm	27.50sqm	52.50sqm
TOTAL SITE AREA : 316.5sqm	PERMEABLE AREA : 103.93sqm (32.84)	GARDEN AREA : 96.70sqm (30.55%)	

BUILDING AREA	EXISTING DWELLING		PROPOSED UNIT	
GROUND FLOOR	89.35sqm	9.6sq	61.53sqm	6.6sq
FIRST FLOOR	-	-	43.49sqm	4.7sq
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq
TOTAL AREA	92.42sqm	9.9sq	106.98sqm	11.5sq

Project:
PROPOSED REAR UNIT

Client:
CLIENT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Drawing:
TOWN PLANNING

Important Notes:

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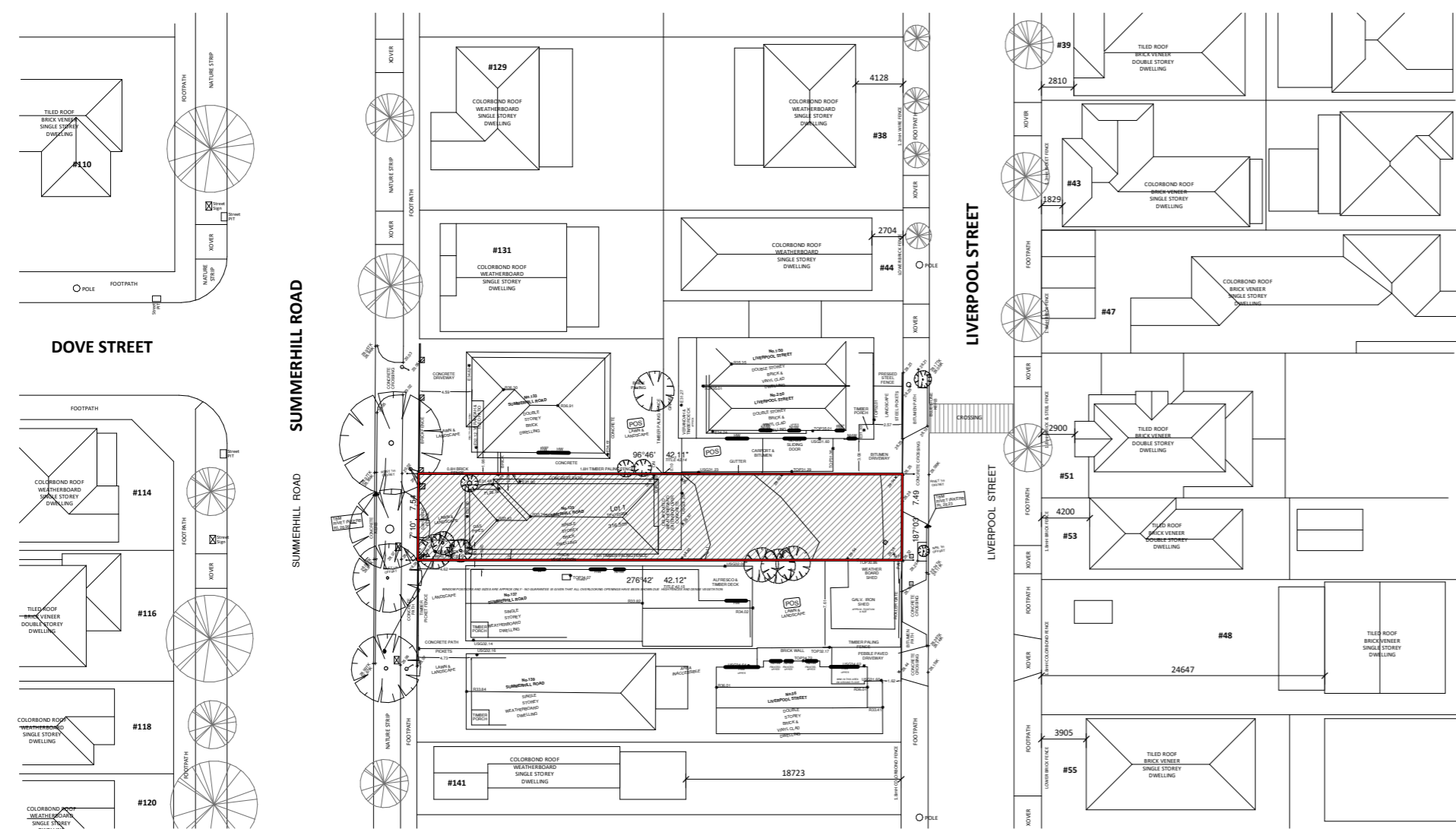
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Issue:	Revision Description	Date:	Building Area

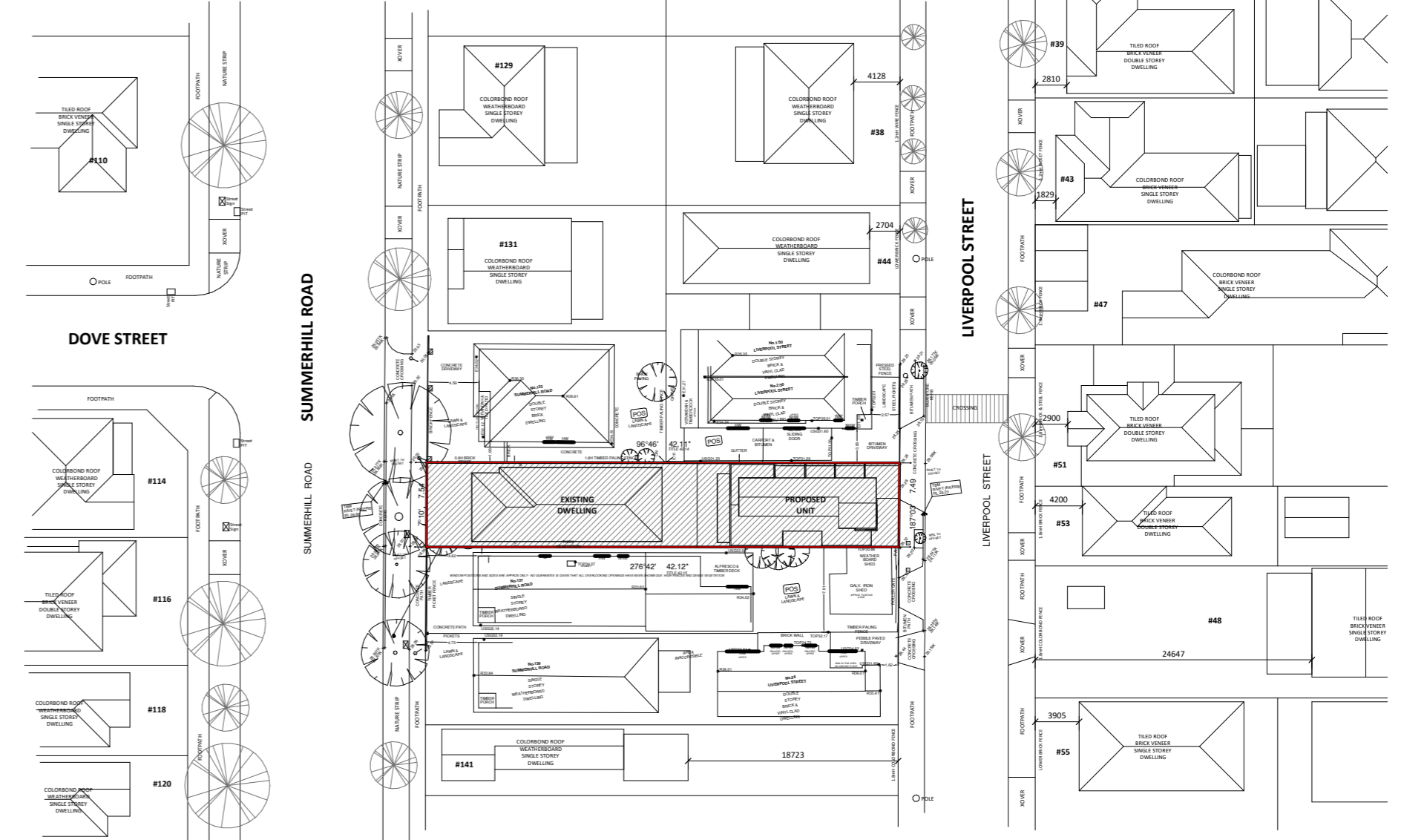
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Scale:	NTS	Date:	04/03/2024
Paper Size:	A2	Page:	1 / 11
Job Number:	- / 2023		



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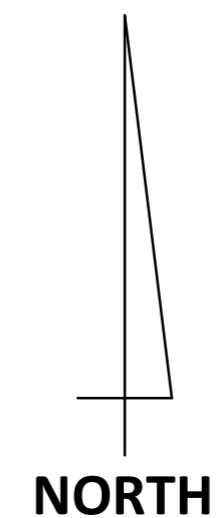
NEIGHBORHOOD & SITE DESCRIPTION PLAN
SCALE 1:500



DESIGN RESPONSE PLAN
SCALE 1:500

LEGEND

- 700M TO WESTERN PRIVTAE HOSPITAL
- 500M TO ST JOHN PRIMARYSCHOOL
- 1.1KM TO BRENBEAL CHILDREN CENTER
- 700M TWEDDLE CHILD AND FAMILY HEALTH SERVICE
- 1.3KM TO FOOTSCRAY HOSPITAL
- 600M TO WHITTEN OVA STADIUM
- 6.3KM TO MELBOURNE CBD



Project:
PROPOSED REAR UNIT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client:
CLIENT

Drawing:
TOWN PLANNING

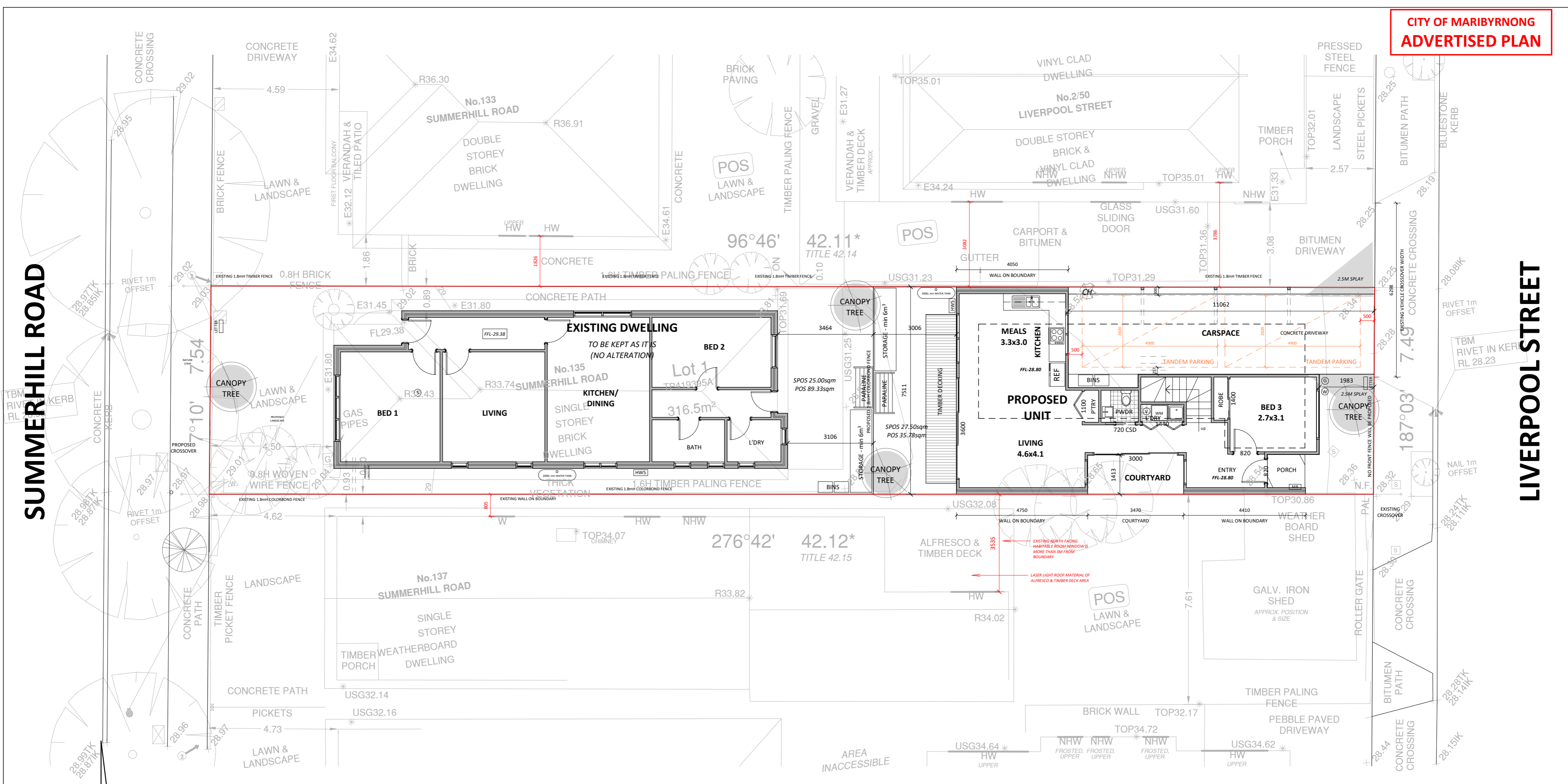
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Issue:	Revision Description	Date:	Building Area

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SITE & GROUND FLOOR PLAN

SCALE 1:100

BUILDING AREA	EXISTING DWELLING		PROPOSED UNIT	
	GROUND FLOOR	FIRST FLOOR	PORCH	TOTAL AREA
GROUND FLOOR	89.35sqm	9.6sq	61.53sqm	6.6sq
FIRST FLOOR	-	-	43.49sqm	4.7sq
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq
TOTAL AREA	92.42sqm	9.9sq	106.98sqm	11.5sq

Project:
PROPOSED REAR UNIT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client:
CLIENT

Drawing:
TOWN PLANNING

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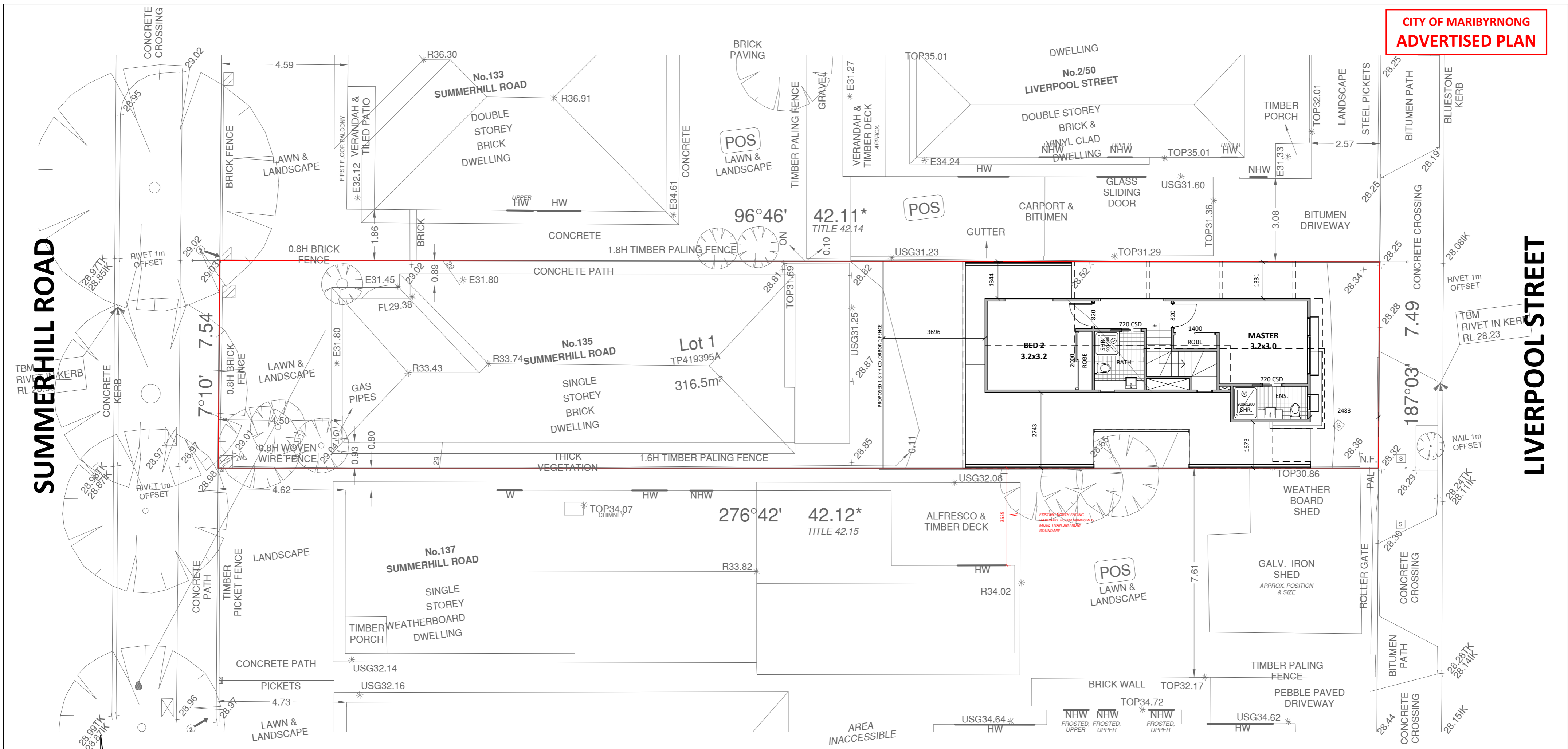
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Issue:	Revision Description	Date:	Building Area

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Scale: **1:100**
Paper Size: **A2**
Job Number: **- / 2023**

Checked: **RT**
Date: **04/03/2024**
Page: **3 / 11**





SITE & FIRST FLOOR PLAN

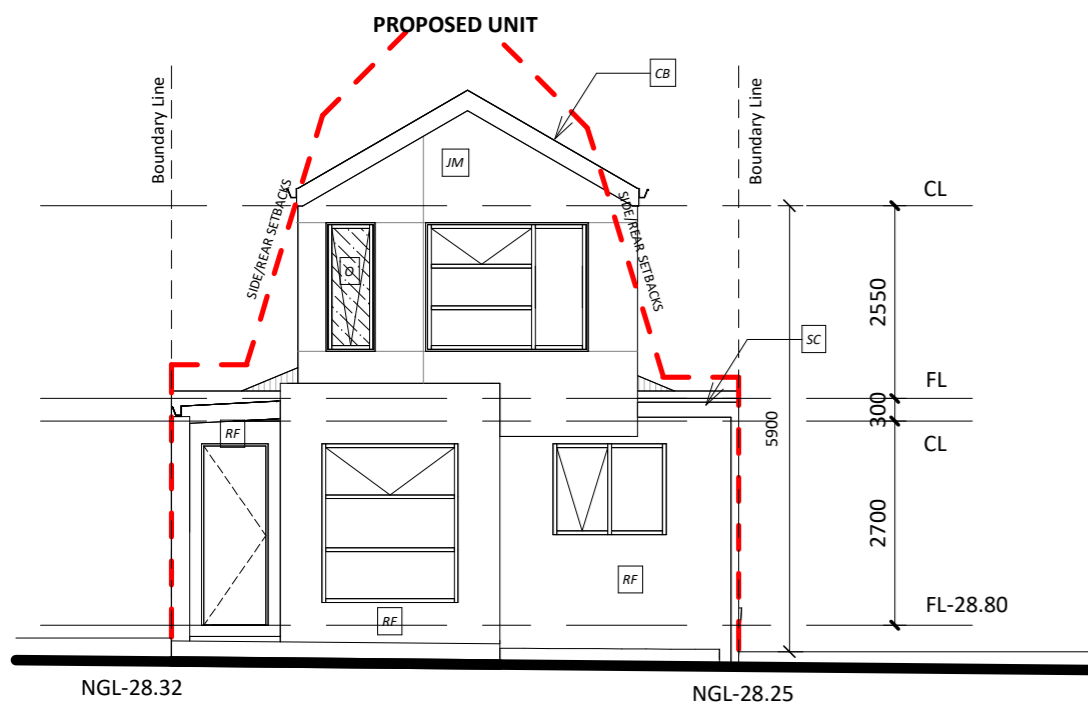
SCALE 1:100

	BUILDING AREA		EXISTING DWELLING		PROPOSED UNIT	
GROUND FLOOR	89.35sqm	9.6sq	61.53sqm	6.6sq		
FIRST FLOOR	-	-	43.49sqm	4.7sq		
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq		
TOTAL AREA	92.42sqm	9.9sq	106.98sqm	11.5sq		

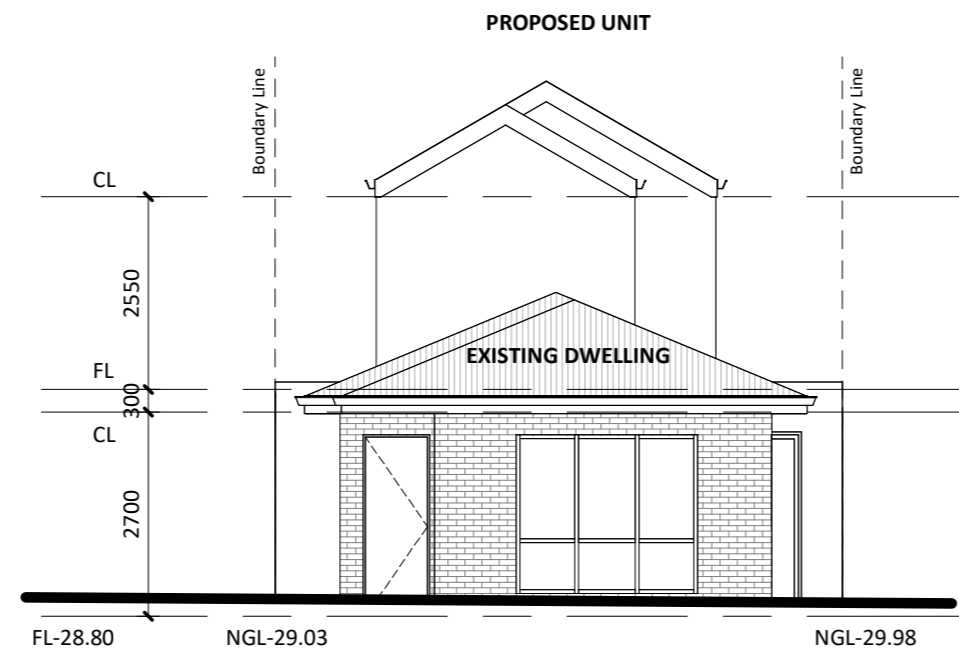
NORTH

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Address: 135 SUMMERHILL ROAD FOOTSCRAY VIC 3011	Drawing: TOWN PLANNING								Scale: 1:100
								Paper Size: A2	Page: 4 / 11
								Job Number:	- / 2023

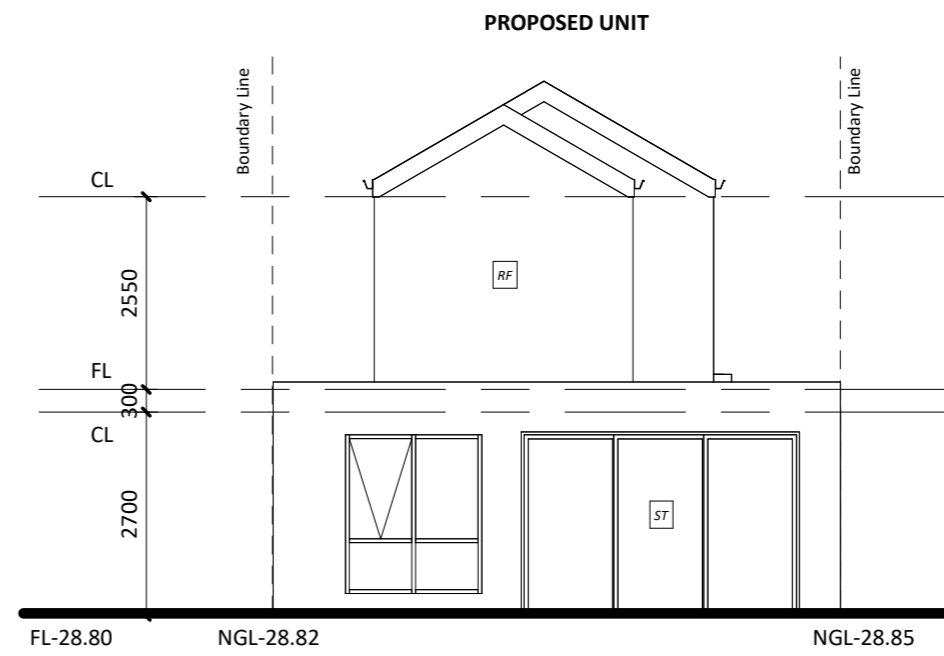




1 West
1 : 100

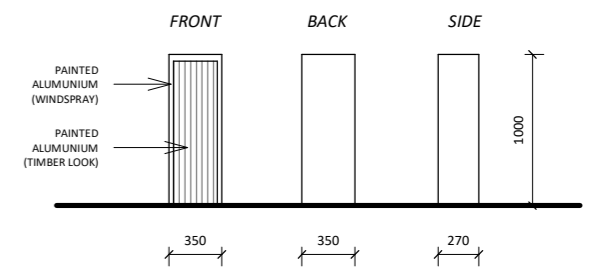


2 East
1 : 100



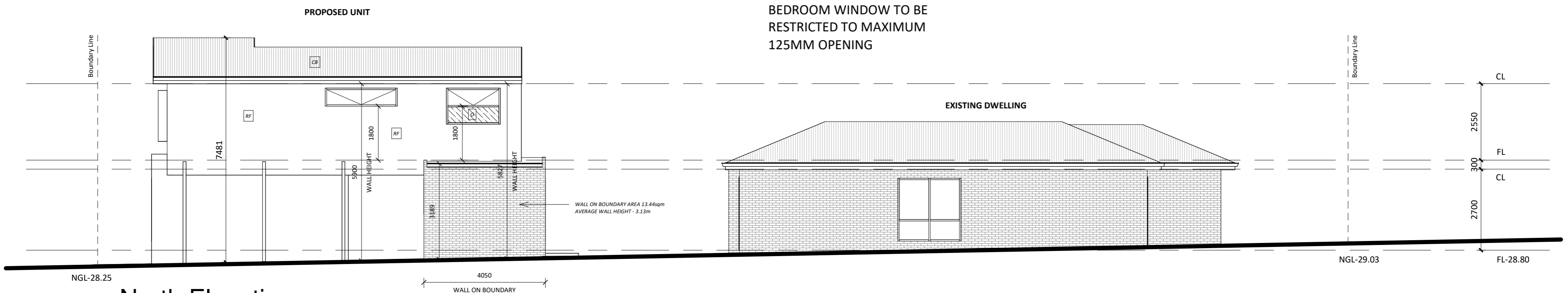
3 Internal East
1 : 100

- LEGEND**
- RF RENDERED FINISH CEMENT SHEET FINISH
 - BR BRICKWORK FINISH
 - JM JAMES HARDIE MATRIX CLADDING
 - O OBSCURED GLASS
 - ST STACKER DOOR
 - SC STEEL COLUMNS
 - CB COLORBOND ROOF AT 30°



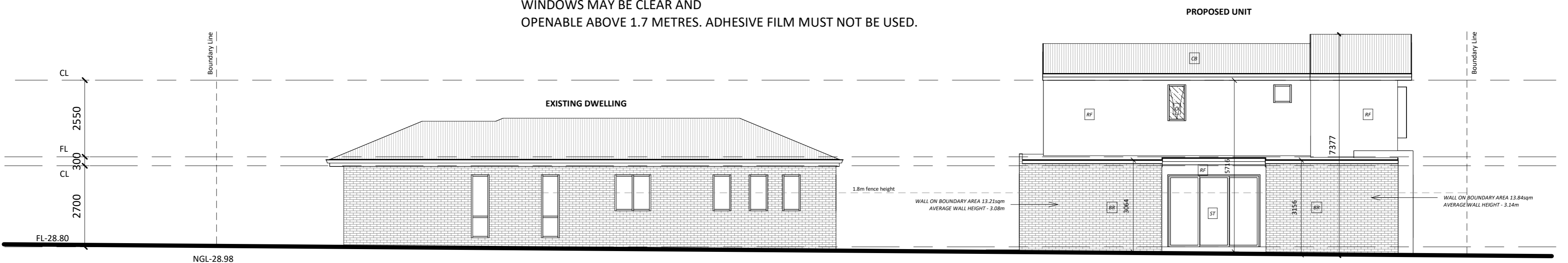
LETTERBOX ELEVATION
SCALE 1:100

NOTE:
ALL UPPER STOREY
BEDROOM WINDOW TO BE
RESTRICTED TO MAXIMUM
125MM OPENING



4 North Elevation
1 : 100

NOTE:
WINDOWS TO BE SCREENED WILL HAVE FIXED OBSCURE GLAZING (NON-
OPENABLE) TO A HEIGHT OF 1.7 METRES ABOVE FINISHED FLOOR LEVEL. THE
WINDOWS MAY BE CLEAR AND
OPENABLE ABOVE 1.7 METRES. ADHESIVE FILM MUST NOT BE USED.



5 South Elevation
1 : 100

NGL-28.32
**CITY OF MARIBYRNONG
ADVERTISED PLAN**

Project:
PROPOSED REAR UNIT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client:
CLIENT

Drawing:
TOWN PLANNING

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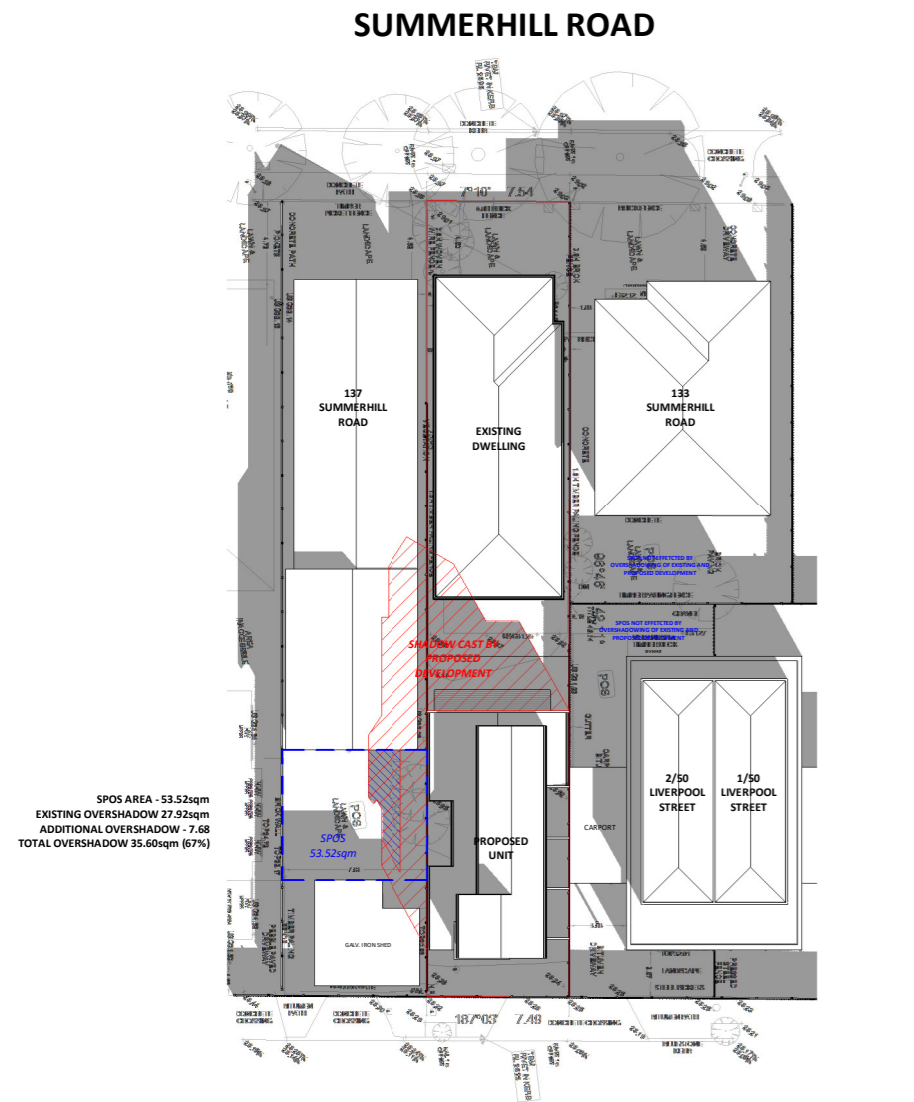
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Scale: **1:100** Date: **04/03/2024**

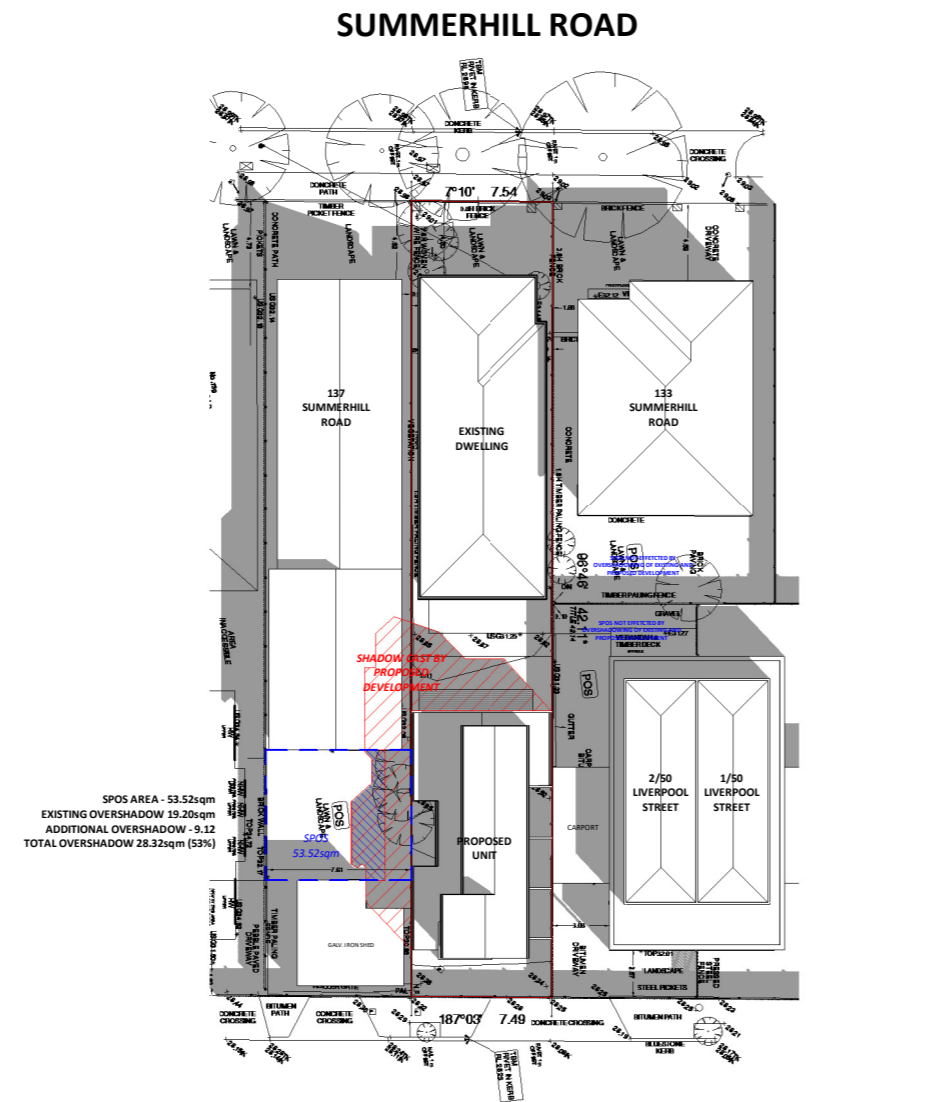
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Job Number: **- / 2023**

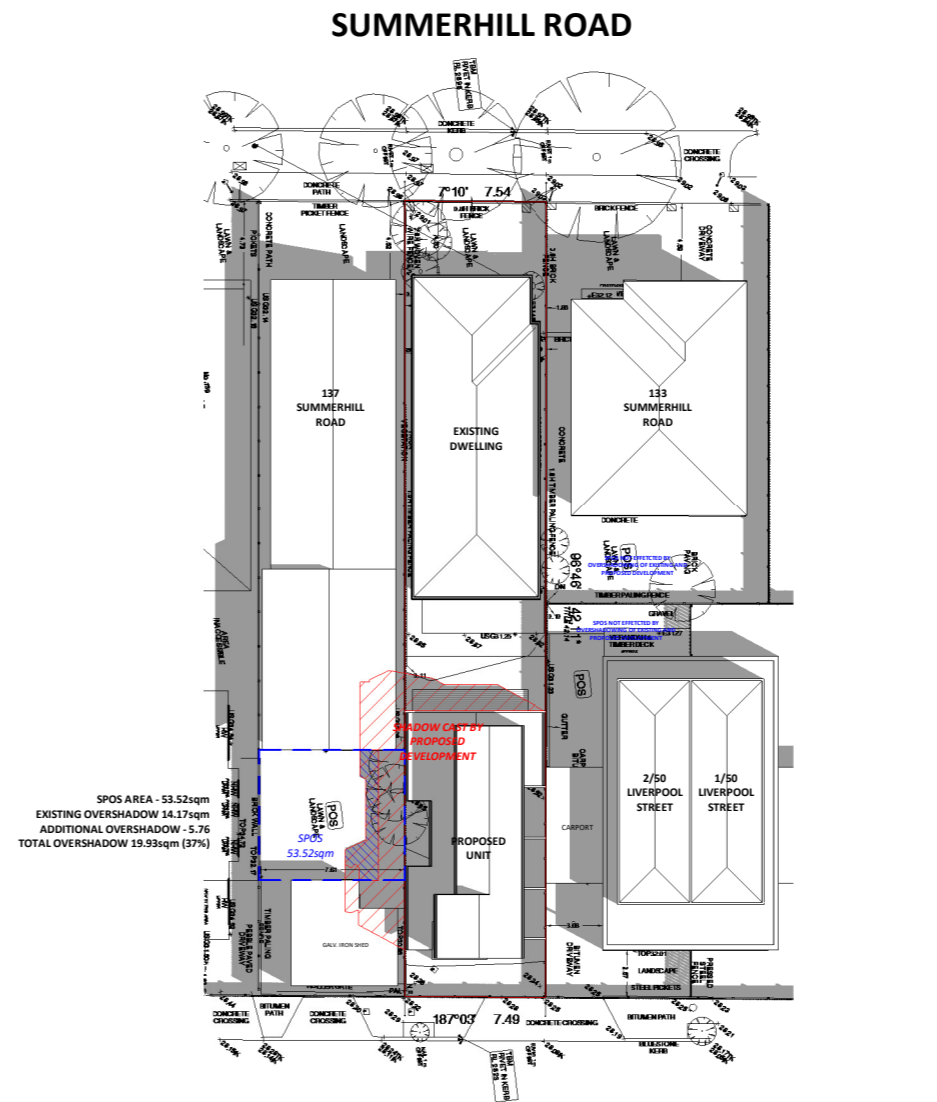
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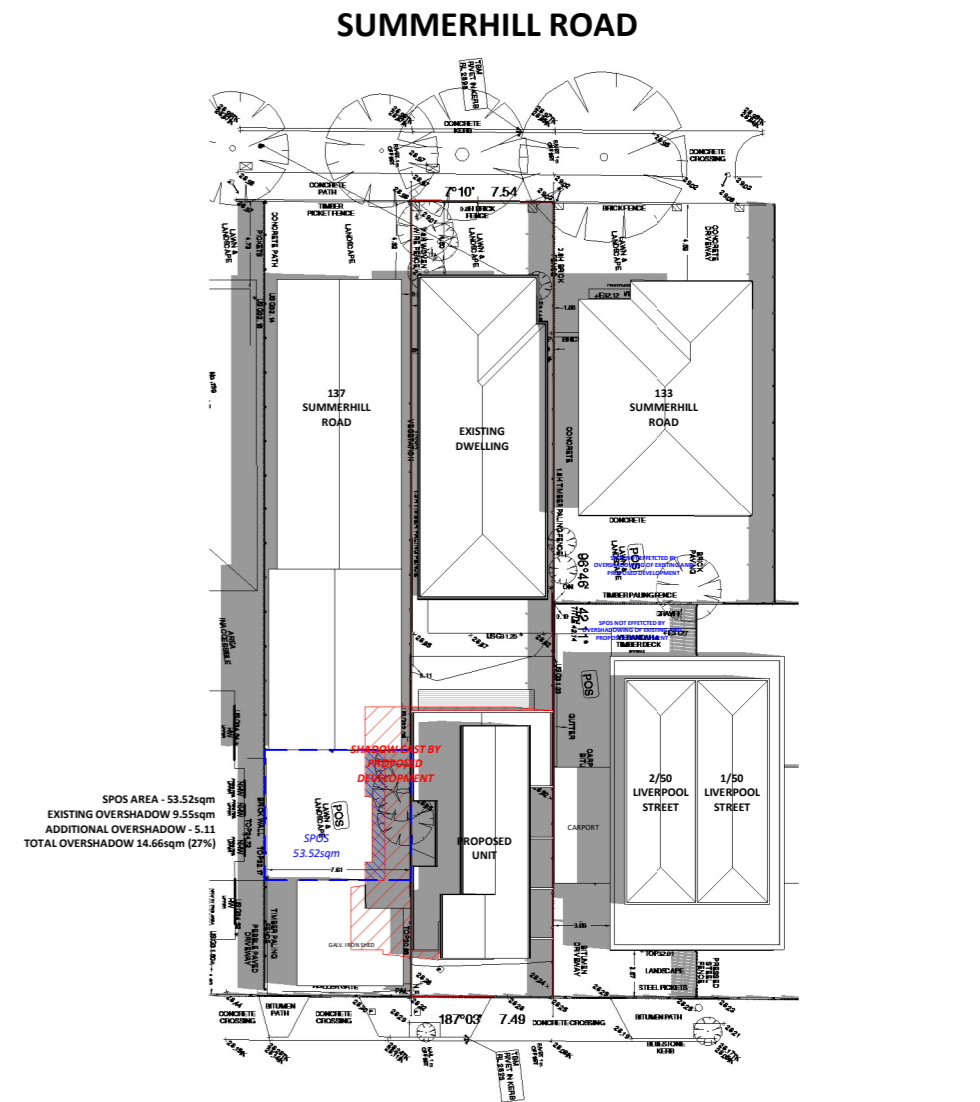
LIVERPOOL STREET
SHADOW DIAGRAM @9am
SEPTEMBER EQUINOX - SCALE 1:400
SUMMERHILL ROAD



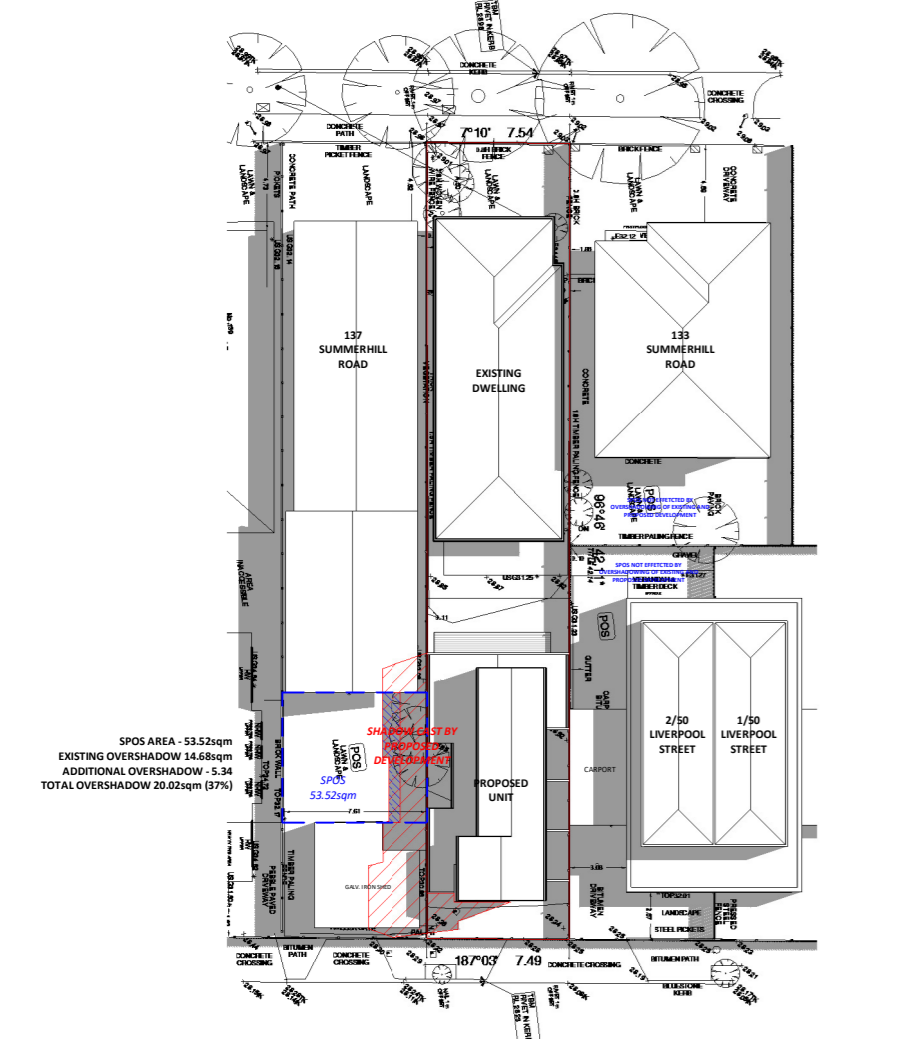
LIVERPOOL STREET
SHADOW DIAGRAM @10am
SEPTEMBER EQUINOX - SCALE 1:400
SUMMERHILL ROAD



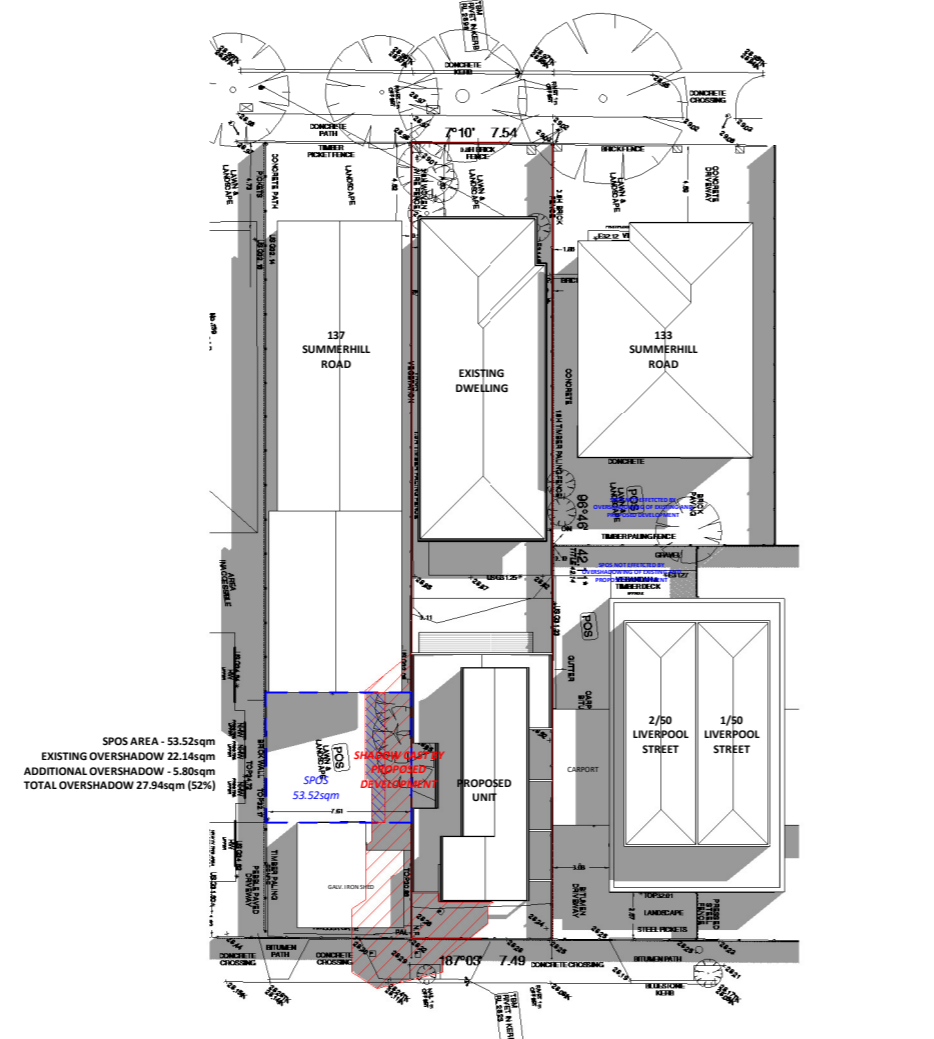
LIVERPOOL STREET
SHADOW DIAGRAM @11am
SEPTEMBER EQUINOX - SCALE 1:400
SUMMERHILL ROAD



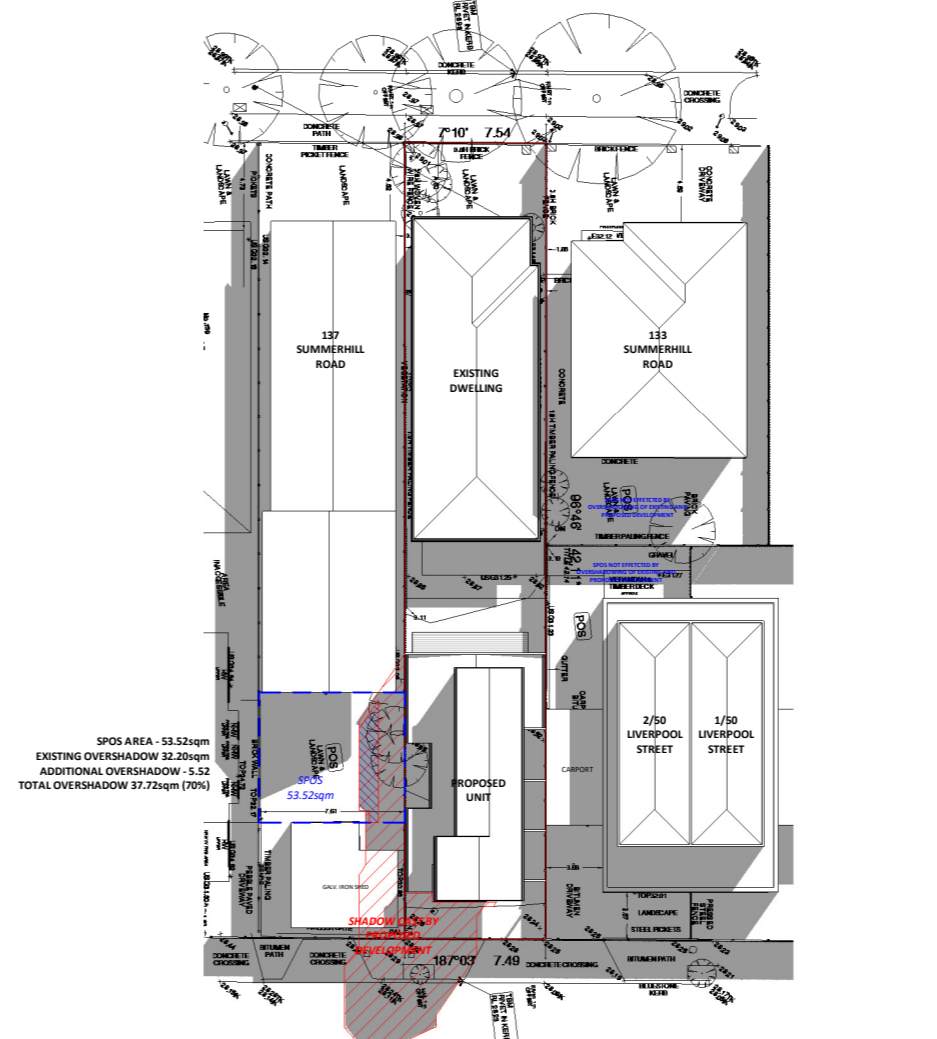
LIVERPOOL STREET
SHADOW DIAGRAM @12pm
SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET
SHADOW DIAGRAM @1pm
SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET
SHADOW DIAGRAM @2pm
SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET
SHADOW DIAGRAM @3pm
SEPTEMBER EQUINOX - SCALE 1:400

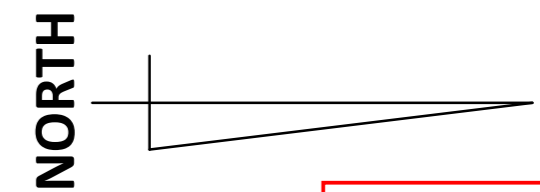
NOTE
GREY HATCH - THE SHADOW CAST BY ALL EXISTING STRUCTURE INCLUDING ADJOINING PROPERTIES AND THEIR EXISTING FENCES
BLUE DASHED LINE - NEIGHBOURS SPOS AREAS
RED LINE HATCH - SHADOW CAST BY PROPOSED DEVELOPMENT
BLUE LINE HATCH - ADDITIONAL OVERSHADOW TO SPOS BY PROPOSED DEVELOPMENT

OVERSHADOWING CALCULATION - STANDARD 21
 Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the

137 SUMMERHILL ROAD

Hour	Existing Sunlight to SPOS (sqm)	Existing Overshadowing to SPOS (sqm)	Additional Overshadow by Development (sqm)	Total Sunlight Area (sqm)	Total Overshadow Area (sqm)
9am	25.60	27.92	7.68	17.92	35.60
10am	34.32	19.20	9.12	25.20	28.32
11am	39.35	14.17	5.76	33.59	19.93
12pm	43.97	9.55	5.11	38.86	14.66
1pm	38.84	14.68	5.34	33.50	20.02
2pm	31.38	22.14	5.80	25.58	27.94
3pm	21.32	32.20	5.52	15.80	37.72



CITY OF MARIBYRNONG
ADVERTISED PLAN

Project:
PROPOSED REAR UNIT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client:
CLIENT

Drawing:
TOWN PLANNING

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Issue:	Revision Description	Date:	Building Area

Drawn: **TS** Checked: **RT**

Scale: **1:400** Date: **04/03/2024**

Paper Size: **A2** Page: **6 / 11**

Job Number: **- / 2023**

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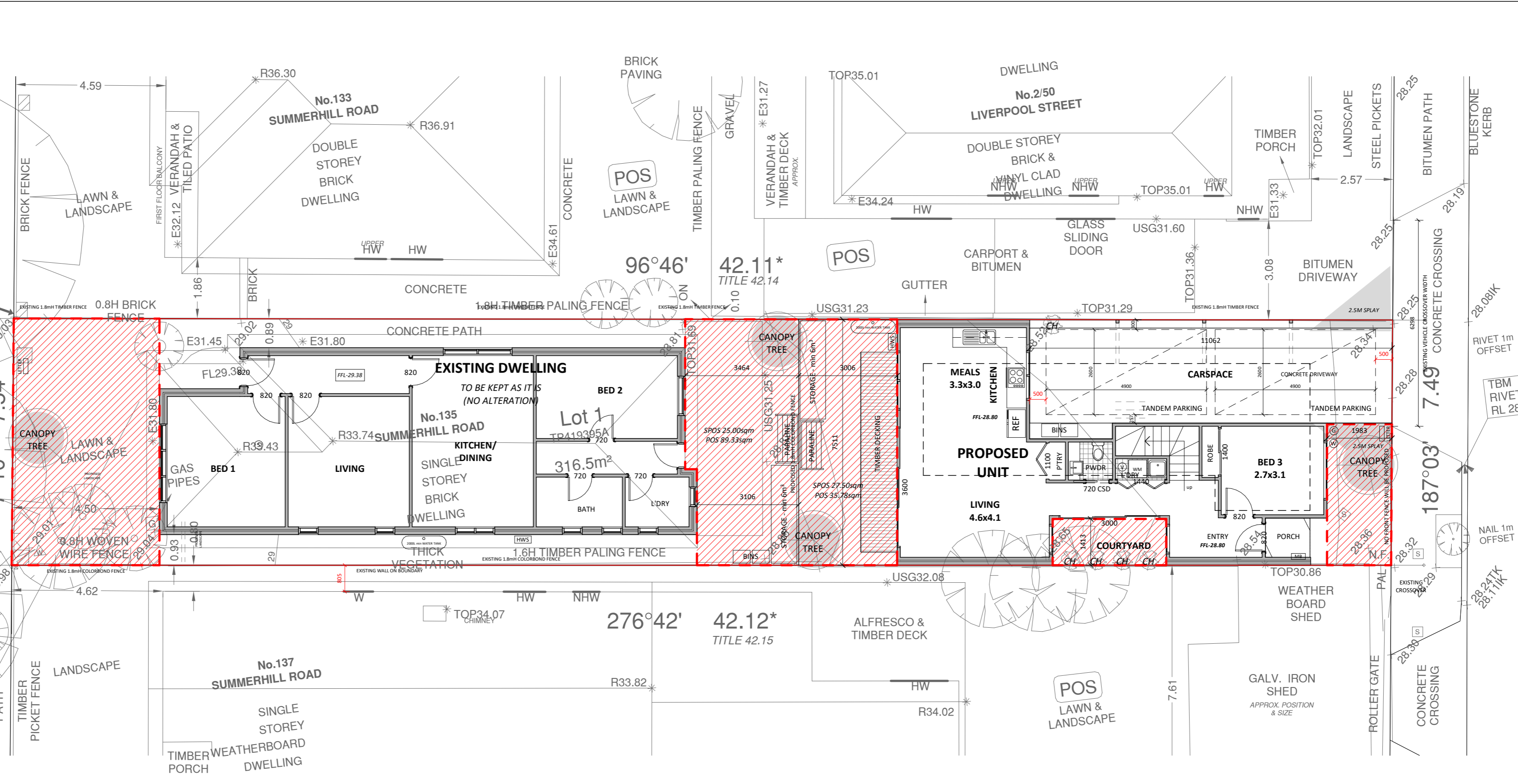
SUMMERHILL ROAD

LIVERPOOL STREET

SITE & GARDEN AREA PLAN

SCALE 1:100

NORTH



DEVELOPMENT SUMMARY

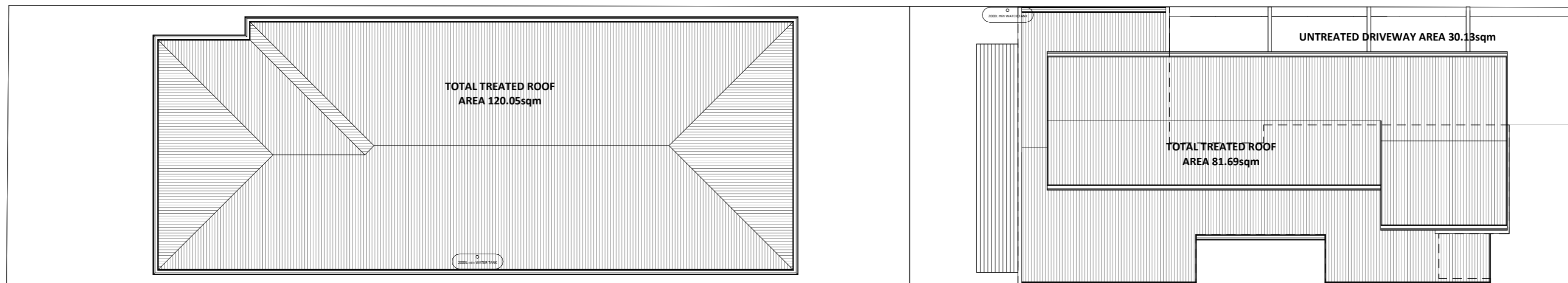
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CITY OF MARIBYRNONG
ADVERTISED PLAN

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Address: 135 SUMMERHILL ROAD FOOTSCRAY VIC 3011	Drawing: TOWN PLANNING							Scale: 1:100	Date: 04/03/2024	
								Paper Size: A2	Page: 7 / 11	
								Job Number:	- / 2023	

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SUMMERHILL ROAD



LIVERPOOL STREET

ROOF CATCHMENT PLAN

SCALE 1:100

STORMWATER MANAGEMENT DURING CONSTRUCTION

This project is required to be constructed in line with "Keeping Our Stormwater Clean- A Builder's Guide (Melbourne Water, 2002)" by implementing the WSUD maintenance practices described in appendices A and B. Construction practices will aim to: mitigate erosion, protect stockpiles, keep mud off the road and on site, keep litter contained on site and clean and wash up on site.

Practices must adhere to:

SITE RULE 1:
Check Council requirements and plan before you start work on site.

Crossover away from lowest point
Sediment control fence on lowest side
Stockpiles away from lowest point
Marked trees and vegetation to keep on site

SITE RULE 2:
Stop erosion on site and contain sediments
Sediment control fence in place
Catch drains on high side of site
Vegetation areas kept at boundary
Downpipes set up as early as possible

SITE RULE 3:
Protect stockpiles
Base and cover for stockpiles
Gravel sausage at stormwater pit

SITE RULE 4:
Keep mud off road and on site
Crushed rock access point
Vehicles keep to crushed rock areas
Mud removed from tyres before leaving site
Clean road if muddy

SITE RULE 5:
Keep litter contained on site. Site fencing in place
Litter bins in place with lid closed

SITE RULE 6:
Clean and wash up on site
Cutting and clean up area on site
Clean equipment off before washing
Sediment filter downslope
Contain all washing on site



STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 135 Summerhill Road

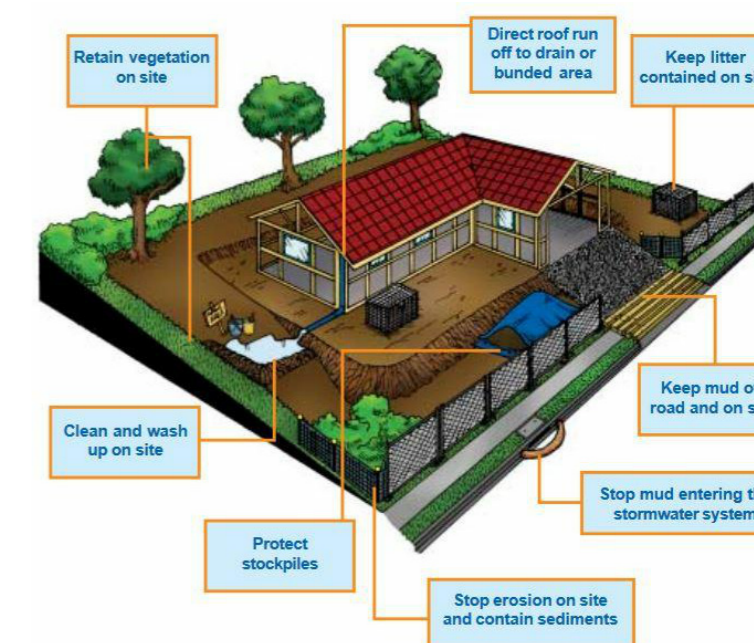
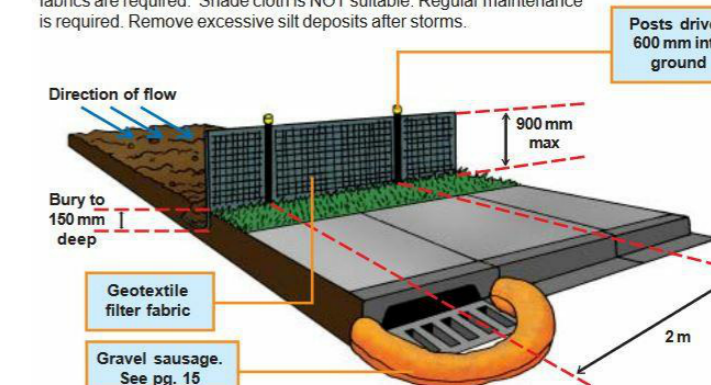
Footscray
VIC 3011
Assessor: Steve
Development Type: Residential - Multiunit
Allotment Site (m2): 316.50
STORM Rating %: 105

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Treated Existing Roof	120.05	Rainwater Tank	2,000.00	2	99.00	95.60
Treated Proposed Roof	81.69	Rainwater Tank	2,000.00	3	152.80	84.60
Untreated Driveway	30.13	None	0.00	0	0.00	0.00

METHODS TO CONTAIN SEDIMENT ON SITE

Method 1 - Sediment Control Fences

Sediment control fences stop sediment from being washed off site. The fence allows muddy water to pond behind it and for sediment to settle as the water slowly filters through. Geotextile fabrics are required. Shade cloth is NOT suitable. Regular maintenance is required. Remove excessive silt deposits after storms.



Project: PROPOSED REAR UNIT

Client: CLIENT

Address: 135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Drawing: TOWN PLANNING

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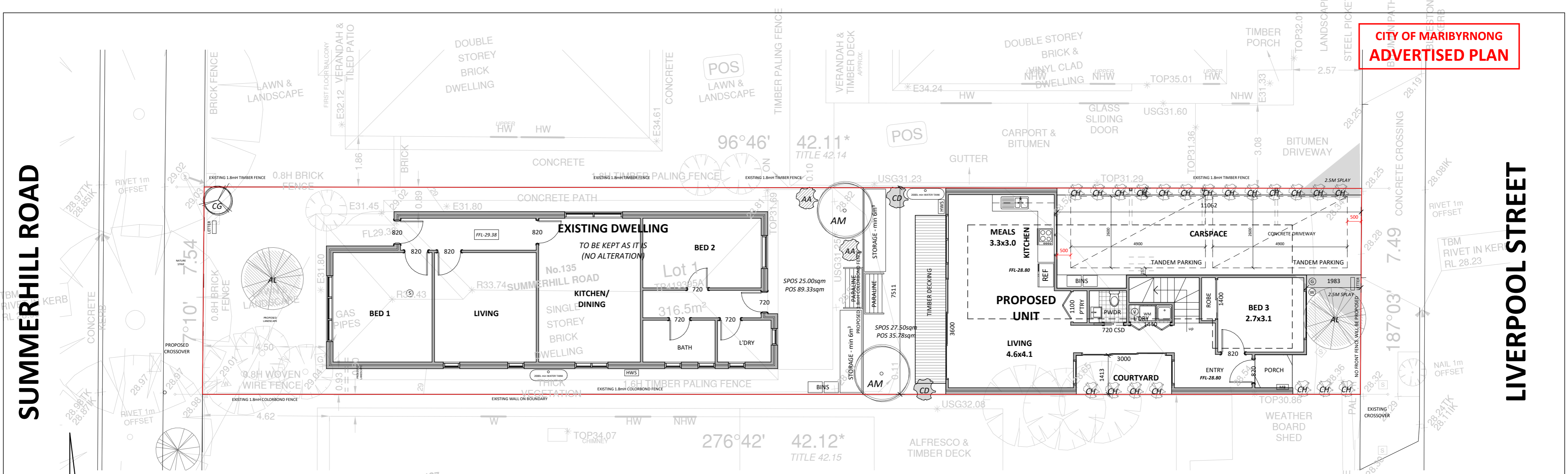
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SUMMERHILL ROAD

LIVERPOOL STREET



LANDSCAPE PLAN

SCALE 1:100



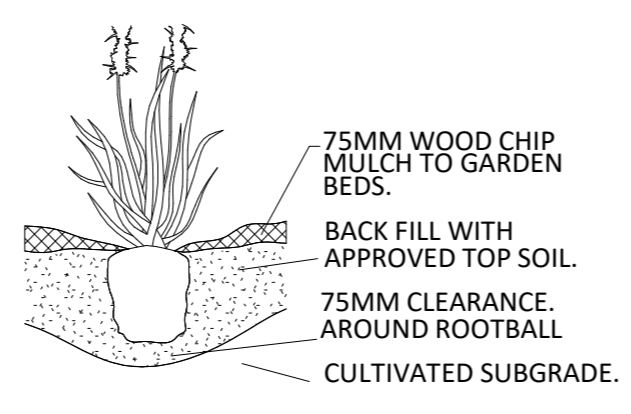
LANDSCAPE LEGEND

- EXISTING TRESS TO BE RETAINED
- EXISTING TRESS TO BE REMOVED
- BLACKWOOD
- BLACK SHEOKE
- GOLD DUST WATTLE
- ROCK CORREA
- DUSKY BELLS CORREA
- NATIVE VIOLET

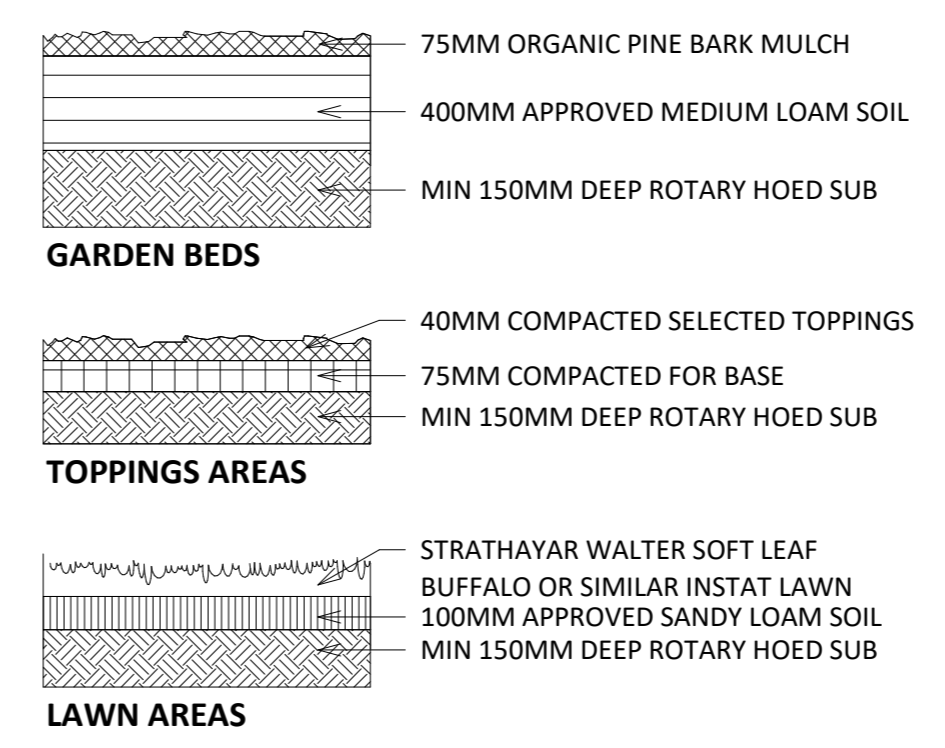
LANDSCAPE SCHEDULE

BOTANICAL NAME	QTY	HxW	P/S	COMMAN NAME
Trees				
AL Allocasuarina Littoralis	2	12 x 6	25	Black Sheoke
AM Acacia Melanoxyton	2	9 x 5	25	Blackwood
Shrubs				
AA Acacia Azinazea	3	1.0 x 0.3	14	Gold Dust Wattle
CG Correa Glabra	1	2.0 x 2.0	14	Rock Correa
CD Correa Dusky Bells	2	1.0 x 3.0	14	Dusky Bells Correa
Groundcover				
VH Viola Hederacea	19	0.15 x 0.25	14	Native Violet

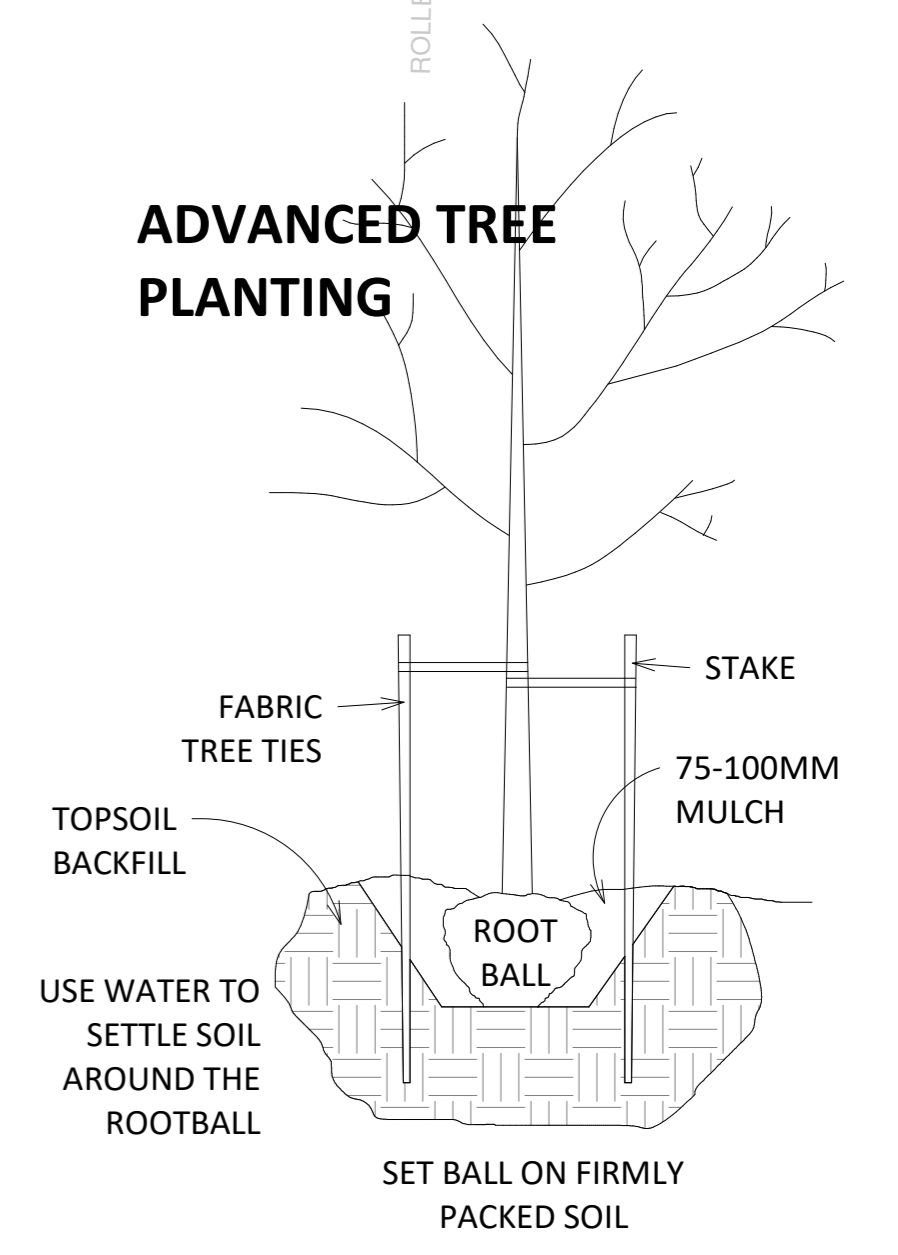
SHRUB PLANTING



SURFACE FINISH DETAIL



ADVANCED TREE PLANTING



Project: PROPOSED REAR UNIT
Address: 135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client: CLIENT
Drawing: TOWN PLANNING

Important Notes:
These drawings must not be scaled. Figure dimensions take precedence. It is the builders and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement to any works and ordering of materials. Any discrepancies are to be reported to this office immediately. This drawings shall not be altered in any form without the written permission from 2 Form Consulting.

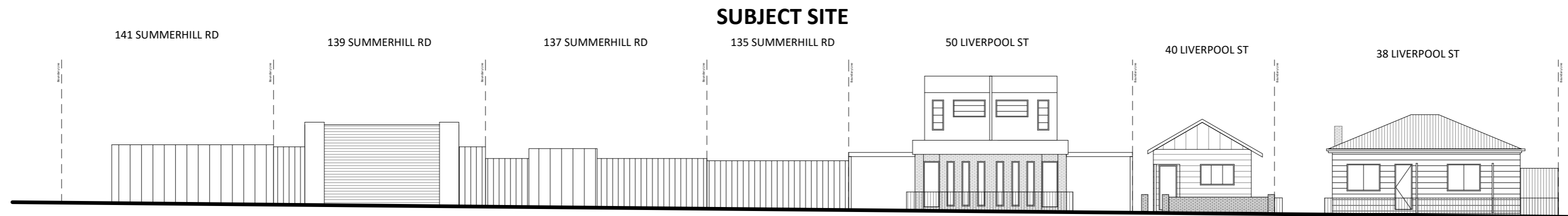
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Issue:	Revision Description	Date:	Building Area

Drawn: TS
Scale: 1:100
Paper Size: A2
Job Number: - / 2023

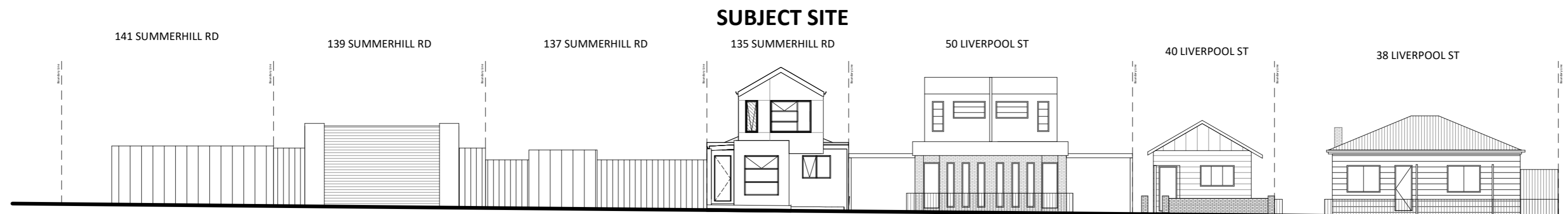
Checked: RT
Date: 04/03/2024
Page: 9 / 11





EXISTING STREETScape

SCALE 1:200



PROPOSED STREETScape

SCALE 1:200

Project:
PROPOSED REAR UNIT

Address:
135 SUMMERHILL ROAD
FOOTSCRAY VIC 3011

Client:
CLIENT

Drawing:
TOWN PLANNING

Important Notes:
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Issue:	Revision Description	Date:	Building Area

Drawn:	TS	Checked:	RT
Scale:	1:200	Date:	04/03/2024
Paper Size:	A2	Page:	10 / 11
Job Number:	- / 2023		



2Form Consulting Pty Ltd
PO Box 430 Yarraville vic 3013
Ph: 9687 2585 Mob: 0419 585 604
E-mail: rob@2form.com.au

MATERIALS, COLOURS AND FINISHES SCHEDULE



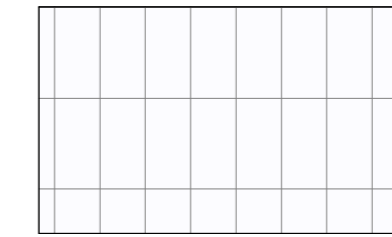
ROOF
SELECTED COLORBOND ROOF
WINDSPRAY - DULUX



FASCIA/GUTTER
SELECTED COLORBOND
WINDSPRAY - DULUX



DOWNPIPES
SELECTED COLORBOND
WINDSPRAY - DULUX



MATRIX CLADDING
JAMES HARDIE AXON
WINDSPRAY



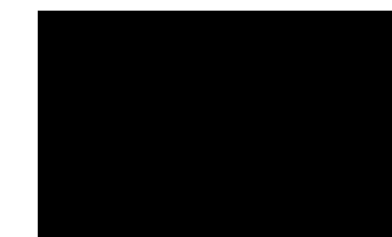
BRICK WALL
SELECTED BRICK WALL
ZINC - AUSTRALBRICK



RENDERED WALL
RENDERED CEMENT SHEET
VIVID WHITE - DULUX



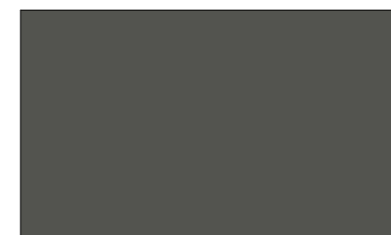
COLUMNS
PAINTED STEEL COLUMNS
WINDSPRAY - DULUX



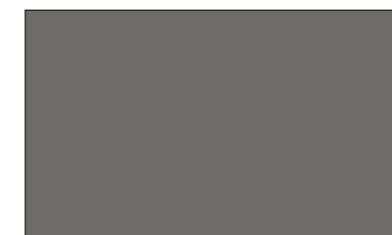
WINDOW/DOOR FRAME
PAINTED ALUMINIUM FRAME
BLACK



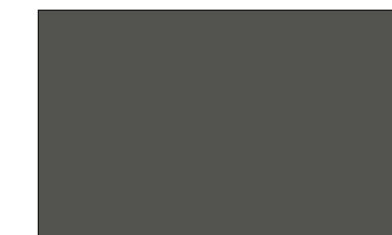
GARAGE PANEL
VERTICAL TIMBER FINISH
WINDSPRAY - DULUX



FENCE
COLORBOND FENCE
WOODLAND GREY



DRIVEWAY
CONCRETE
GREY



METER BOX
RENDERED PILLAR
WOODLAND GREY

Project: PROPOSED REAR UNIT	Client: CLIENT	Important Notes: These drawings must not be scaled. Figure dimensions take precedence. It is the builders and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement to any works and ordering of materials. Any discrepancies are to be reported to this office immediatly. This drawings shall not be altered in any form without the written permission from 2 Form Consulting.	Copyright on these drawings and associated documentation is own by 2 Form Consulting. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2 Form Consulting, will constitute an infringement of copyright. Remedies of infringement of copyright will be taken in accordance with the provision of the Copyright Act 1968. All windows and door sizes to be verify on site prior to ordering.	Issue:	Revision Description	Date:	Building Area	Drawn: TS	Checked: RT
Address: 135 SUMMERHILL ROAD FOOTSCRAY VIC 3011	Drawing: TOWN PLANNING								Scale: NTS
								Paper Size: A2	Page: 11 / 11
								Job Number:	- / 2023

PLAN OF SURVEY

CONTENTS:
**TITLE RE-ESTABLISHMENT,
 LEVEL & FEATURE SURVEY**

LOCATION:
 135 Summerhill Road Footscray

EASEMENT DETAILS:
 Nil Registered

PARCEL PARTICULARS:
 TP 419395A Lot 1

REF No: 6272
 VERSION: 01

SURVEYOR:
 Anthony Ford LS

DATE OF SURVEY:
 05.10.2023

LEVEL DATUM:
 AHD

SHEET DETAILS:
 A1 - Sheet 1 of 1

CONTOURS:
 0.20m Interval
 1.00m Index

SCALE:
 1:100 @ A1

LEGEND:

- TBM
- Reduced Level
- Elevation
- Significant Tree
- Street Sign
- Stay
- Power Pole
- Power Point
- Power Pit
- Utility Pit/Meter Unclassified
- Tele. Comm Pit
- Gas Pit/Valve
- Gas Meter
- Grated Pit
- Drainage Pit
- Side Entry Pit
- Sewer Pit
- Sewer Vent / Access Point
- Water Meter
- Water Tap
- Water Stop Valve
- Fire Hydrant/Plug
- Fence Post
- Fence Pillar - Brick
- Private Open Space
- Habitable Window
- Non Habitable Window
- H5.00 Window Head RL
- S5.00 Window Sill RL
- R5.00 Ridge Level RL
- E5.00 Eave Level RL
- USG5.00 Underside Gutter RL
- TOP5.00 Top of Wall
- 10.00T Top of Retaining Wall RL
- 9.90B Base (Toe) Wall RL
- 20.00TK Top of Kerb
- 19.90IK Invert of Kerb

NOTES:

THE LAND IN THE SURVEY IS ENCLOSED WITHIN THICK CONTINUOUS LINES.

ENLARGEMENTS ARE NOT SHOWN TO SCALE PRIOR TO DESIGN, PLANNING, DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE SHOWN, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATIONS OF ALL UNDERGROUND SERVICES. THIS IS AN INTEGRAL PART OF THIS PLAN.

EVERY ATTEMPT HAS BEEN MADE TO LOCATE SERVICES AT GROUND LEVEL, HOWEVER THERE ARE SOME INSTANCES WHERE SERVICES ARE NOT VISIBLE AT THE TIME OF SURVEY AND THEREFORE MAY NOT BE SHOWN ON THIS PLAN.

EVERY ATTEMPT HAS BEEN MADE TO DETERMINE HABITABILITY STATUS OF ADJACENT OVERLOOKING WINDOWS, HOWEVER THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE DETERMINATION WITHOUT INTERNAL ACCESS TO ADJACENT DWELLINGS. FROSTED, OPAQUE AND LOUVRE TYPE WINDOWS HAVE BEEN LABELED AS NON HABITABLE. IF A DETERMINATION CANNOT BE MADE THEN THE WINDOW WILL BE LABELED AS W.

RE-ESTABLISHMENT NOTES:

TITLE DIMENSIONS SHOWN WITH AN ASTERISK (*) HAVE BEEN ADJUSTED BASED ON THE RESULTS OF THE TITLE RE-ESTABLISHMENT SURVEY UNDERTAKEN ON THIS SITE

WHERE THE OCCUPATION (FENCING/ OR BUILDINGS) IS INSIDE THE TITLE BOUNDARY, WE RECOMMEND LIMITING ANY DEVELOPMENT (DESIGN AND CONSTRUCTION) TO THE LOCATION OF THE EXISTING FENCE LINE. THIS IS UNDER THE ASSUMPTION THAT THE ADJOINING LAND OWNERS MAY HAVE ACCRUED POSSESSORY RIGHTS OVER THAT PORTION OF LAND THEY OCCUPY. YOU MAY NEGOTIATE WITH YOUR NEIGHBOUR TO REMOVE A FENCE AND BUILD TO THE BOUNDARY IF NEEDED, HOWEVER PLEASE ENSURE YOU HAVE WRITTEN CONSENT FROM YOUR NEIGHBOUR PRIOR TO ANY WORKS COMMENCING.

ALTERNATIVELY, WHERE THE OCCUPATION IS OUTSIDE THE TITLE BOUNDARY, ANY DEVELOPMENT (DESIGN AND CONSTRUCTION) SHOULD BE LIMITED TO THE TITLE POSITION AS SHOWN. NO DESIGN OR CONSTRUCTION SHOULD CROSS A BOUNDARY UNLESS A PRIOR ADVERSE POSSESSION APPLICATION IS APPROVED BY THE TITLES OFFICE.

SUBTRACT 7°10' FOR TITLE BEARINGS.

**CITY OF MARIBYRNONG
 ADVERTISED PLAN**

