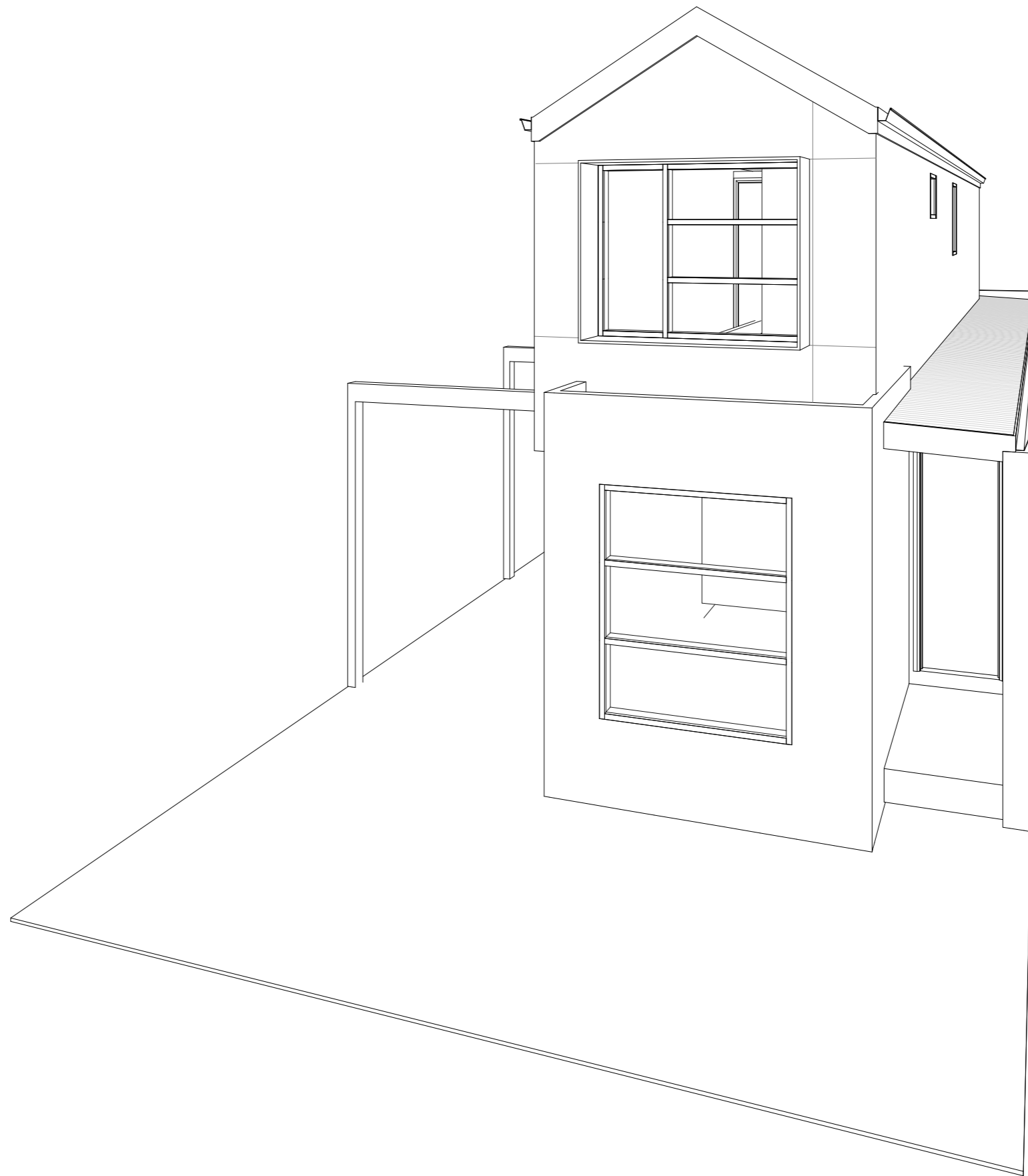


# PROPOSED REAR UNIT

135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011



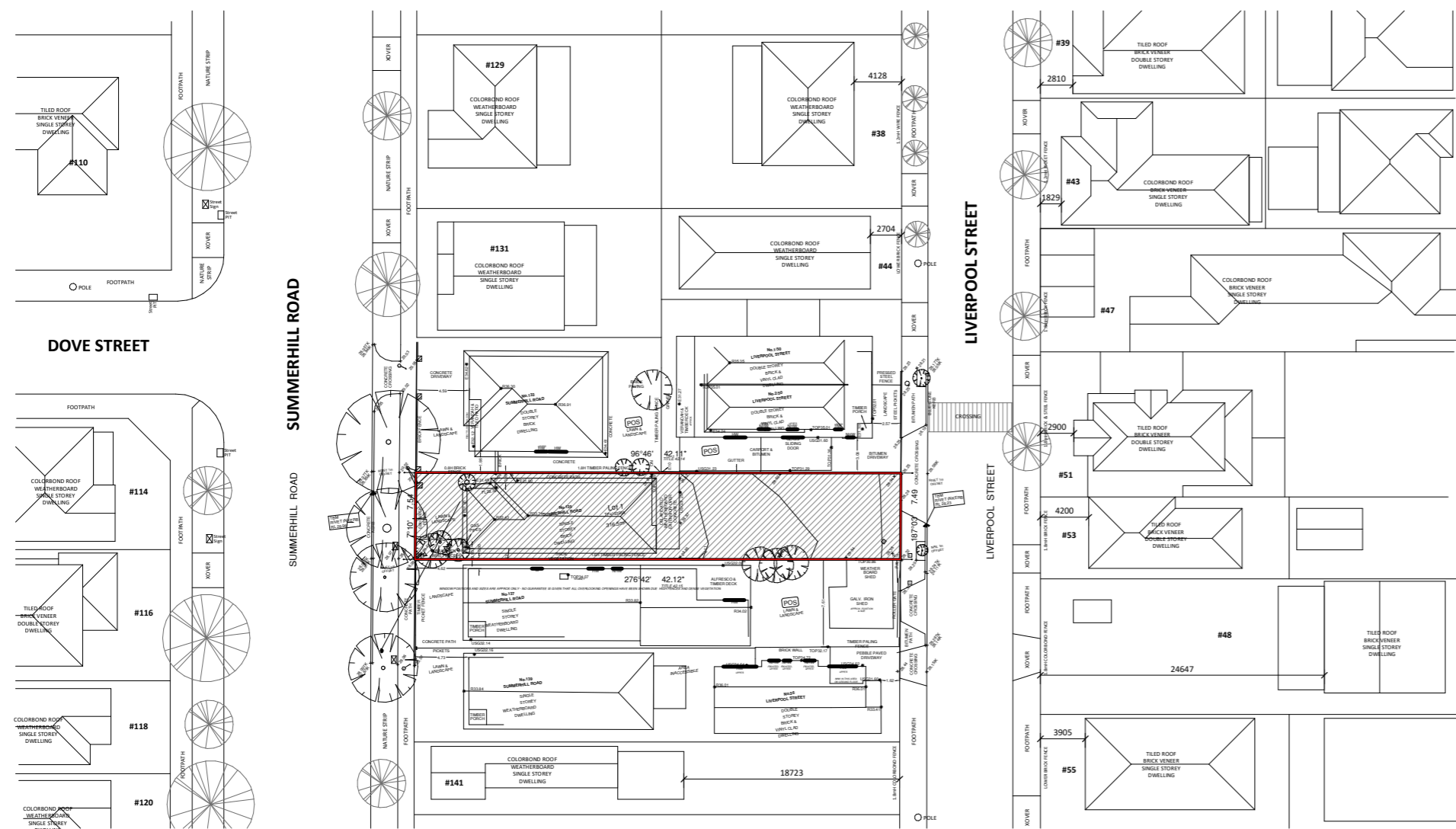
## DEVELOPMENT SUMMARY

AREA	EXISTING DWELLING	PROPOSED UNIT	TOTAL
TOTAL GROUND FLOOR	92.42sqm	58.45sqm	150.87sqm
SITE COVERAGE	29.20%	18.47%	47.67%
CAR PARKING SPACES	- spaces	2 space	2 space
TOTAL PRIVATE OPEN SPACE (POS)	89.33sqm	35.78sqm	125.11sqm
SECLUDED POS	25.00sqm	27.50sqm	52.50sqm
TOTAL SITE AREA : 316.5sqm    PERMEABLE AREA : 103.35sqm (32.65%)    GARDEN AREA : 93.95sqm (29.68%)			

BUILDING AREA	EXISTING DWELLING		PROPOSED UNIT	
GROUND FLOOR	89.35sqm	9.6sq	56.49sqm	6.1sq
FIRST FLOOR	-	-	43.49sqm	4.7sq
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq
TOTAL AREA	92.42sqm	9.9sq	101.94sqm	11.0sq

Project: <b>PROPOSED REAR UNIT</b>	Client: <b>CLIENT</b>	<b>Important Notes:</b> These drawings must not be scaled. Figure dimensions take precedence. It is the builders and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement to any works and ordering of materials. Any discrepancies are to be reported to this office immediatly. This drawings shall not be altered in any form without the written permission from 2 Form Consulting.	Copyright on these drawings and associated documentation is own by 2 Form Consulting. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2 Form Consulting, will constitute an infringement of copyright. Remedies of infringement of copyright will be taken in accordance with the provision of the Copyright Act 1968. All windows and door sizes to be verify on site prior to ordering.	Issue:	Revision Description	Date:	Building Area	Drawn: <b>TS</b>	Checked: <b>RT</b>
Address: 135 SUMMERHILL ROAD FOOTSCRAY VIC 3011	Drawing: <b>TOWN PLANNING</b>								Scale: <b>NTS</b>
								Paper Size: <b>A2</b>	Page: <b>1 / 11</b>
								Job Number:	<b>- / 2023</b>



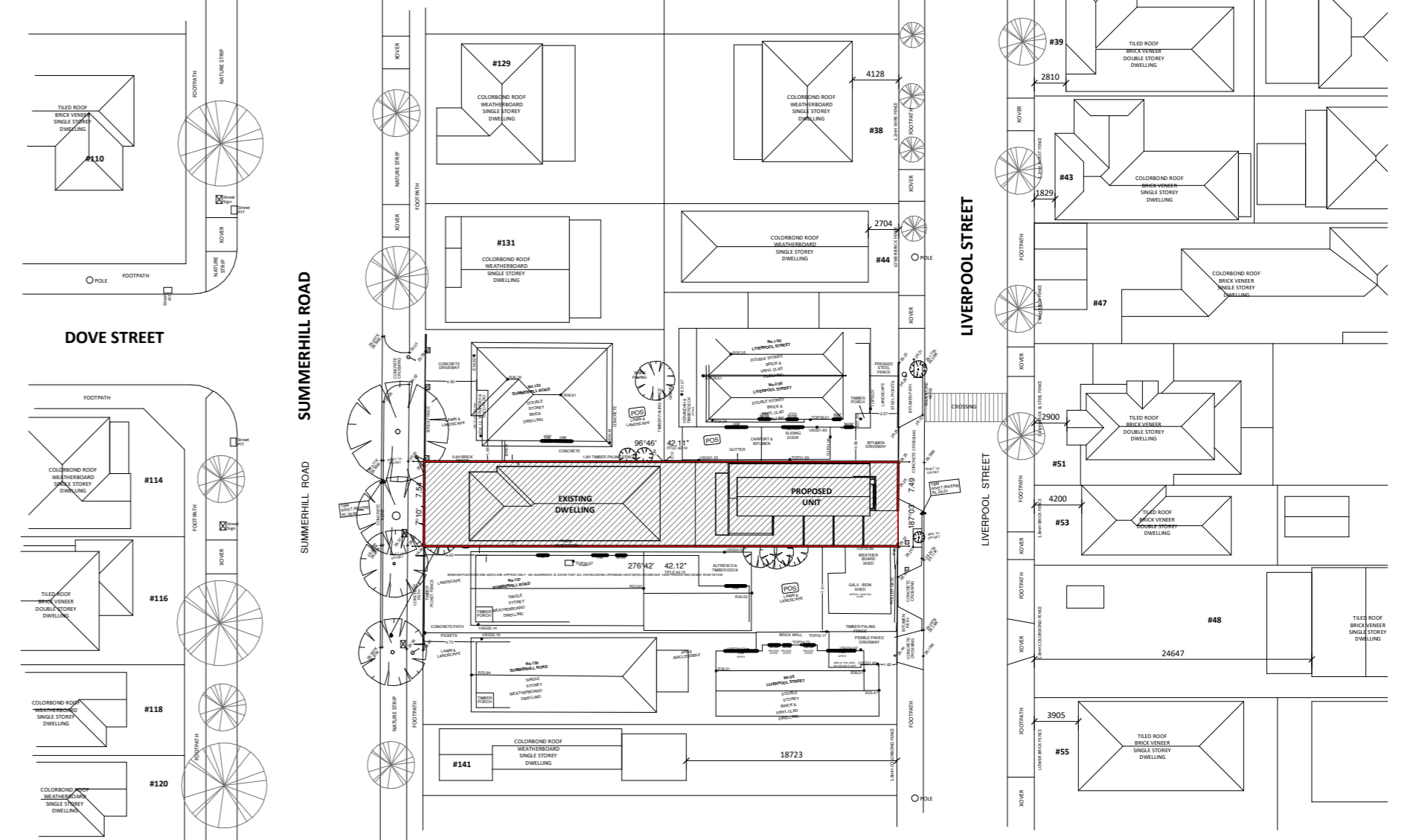


## NEIGHBORHOOD & SITE DESCRIPTION PLAN

SCALE 1:500

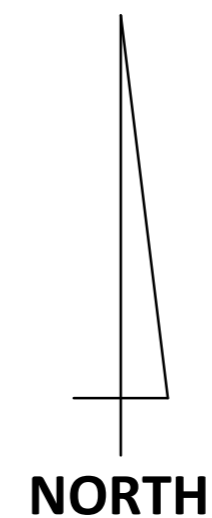
### LEGEND

- 700M TO WESTERN PRIVTAE HOSPITAL
- 500M TO ST JOHN PRIMARYSCHOOL
- 1.1KM TO BRENBEAL CHILDREN CENTER
- 700M TWEDDLE CHILD AND FAMILY HEALTH SERVICE
- 1.3KM TO FOOTSCRAY HOSPITAL
- 600M TO WHITTEN OVA STADIUM
- 6.3KM TO MELBOURNE CBD



## DESIGN RESPONSE PLAN

SCALE 1:500



Project:  
**PROPOSED REAR UNIT**

Address:  
135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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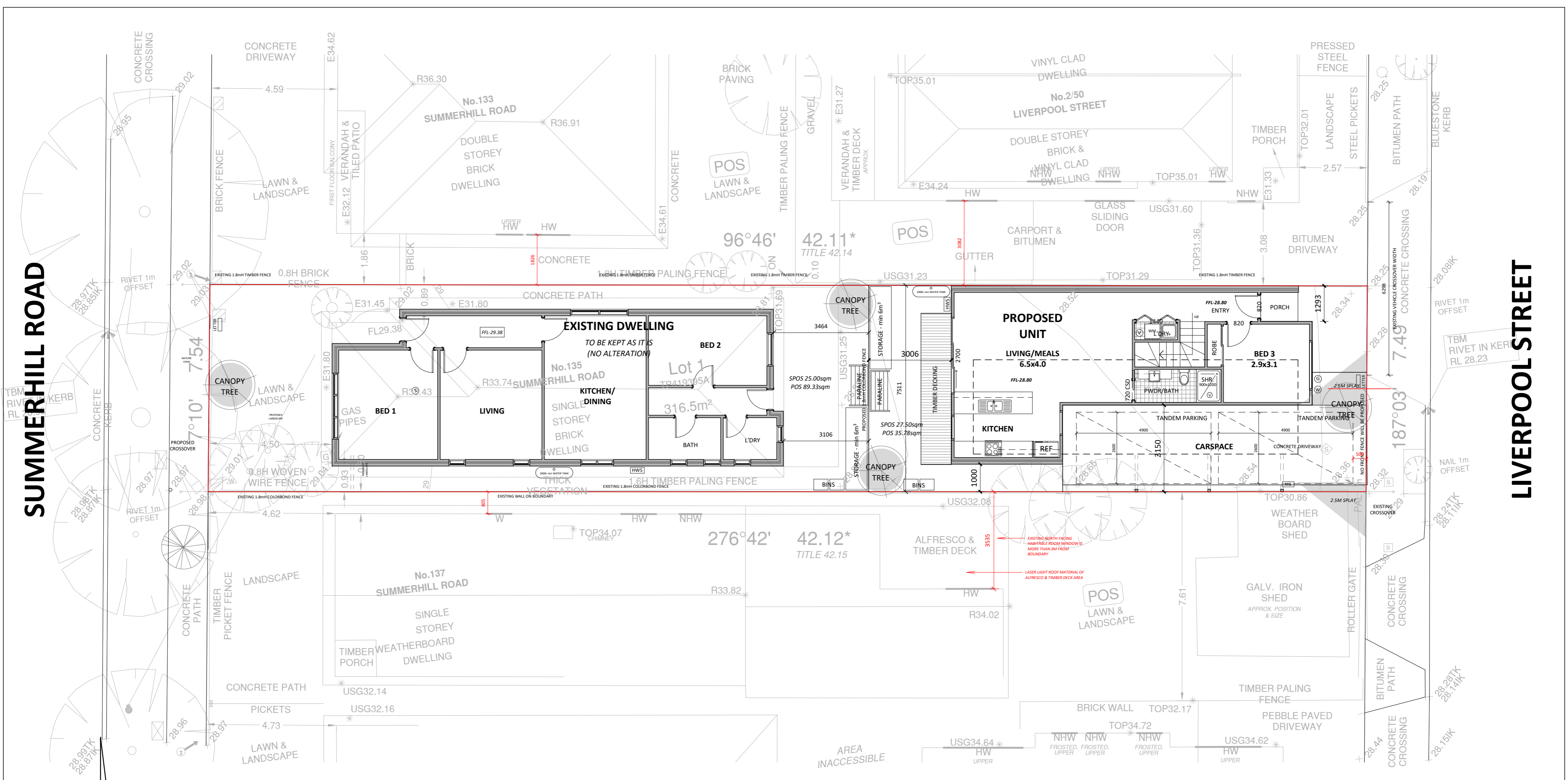
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Issue:	Revision Description	Date:

Building Area

Drawn:	Checked:
TS	RT
Scale: 1:500/1:200	Date: 06/08/2024
Paper Size: A2	Page: 2 / 11
Job Number:	- / 2023

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PO Box 430 Yarraville vic 3013  
Ph: 9687 2585 Mob: 0419 585 604  
E-mail: rob@2form.com.au



# SITE & GROUND FLOOR PLAN

## SCALE 1:100

BUILDING AREA	EXISTING DWELLING		PROPOSED UNIT	
	GROUND FLOOR	FIRST FLOOR	PORCH	TOTAL AREA
GROUND FLOOR	89.35sqm	9.6sq	56.49sqm	6.1sq
FIRST FLOOR	-	-	43.49sqm	4.7sq
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq
TOTAL AREA	92.42sqm	9.9sq	101.94sqm	11.0sq

Project:  
**PROPOSED REAR UNIT**

Address:  
135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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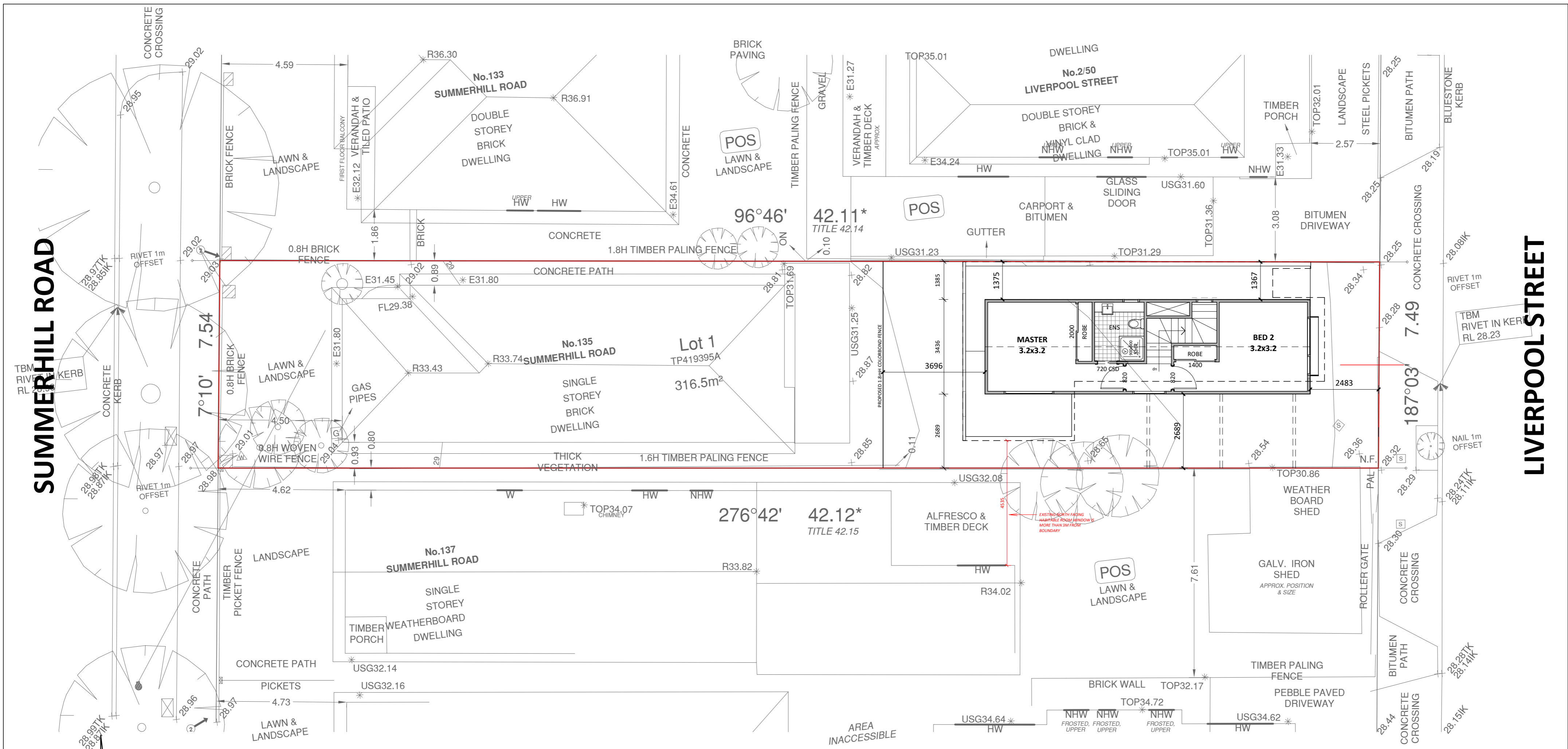
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Issue:	Revision Description	Date:	Building Area

Drawn: **TS**  
Scale: **1:100**  
Paper Size: **A2**  
Job Number: **- / 2023**

Checked: **RT**  
Date: **06/08/2024**  
Page: **3 / 11**





# SITE & FIRST FLOOR PLAN

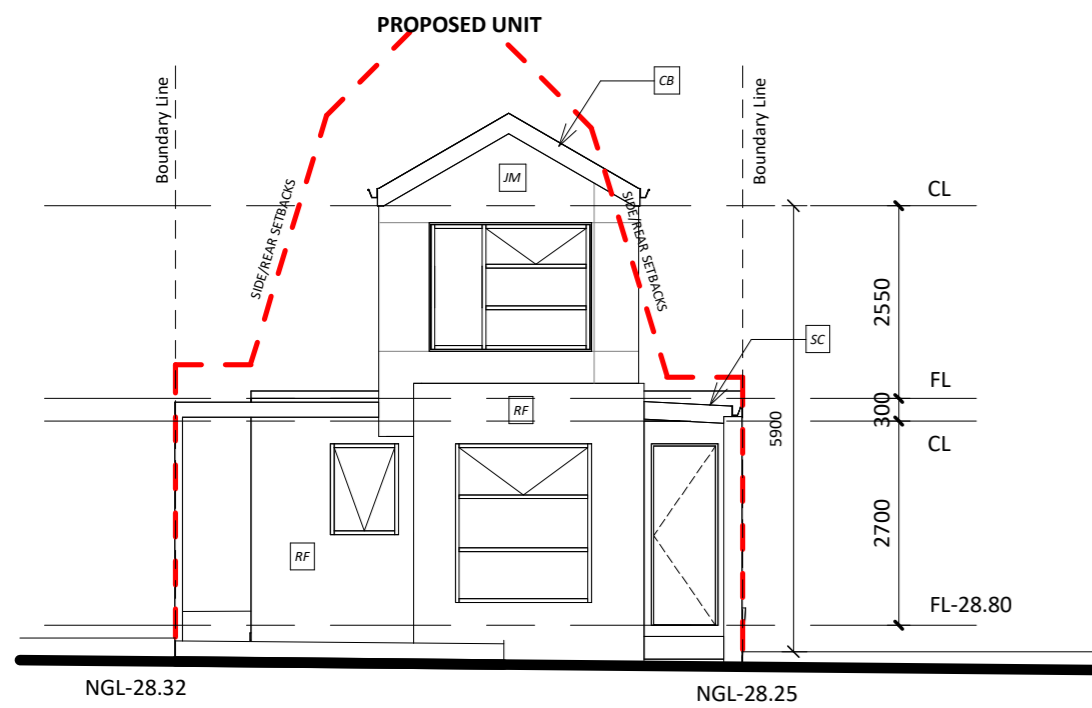
SCALE 1:100

	EXISTING DWELLING		PROPOSED UNIT	
<b>BUILDING AREA</b>				
GROUND FLOOR	89.35sqm	9.6sq	56.49sqm	6.1sq
FIRST FLOOR	-	-	43.49sqm	4.7sq
PORCH	3.07sqm	0.3sq	1.96sqm	0.2sq
<b>TOTAL AREA</b>	<b>92.42sqm</b>	<b>9.9sq</b>	<b>101.94sqm</b>	<b>11.0sq</b>

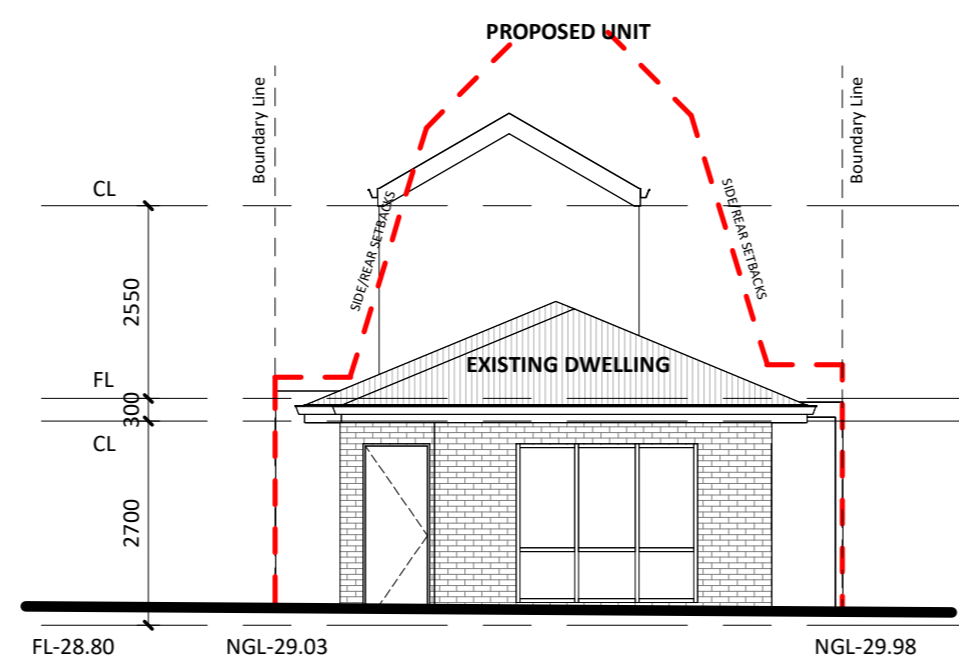
NORTH

Project: <b>PROPOSED REAR UNIT</b>	Client: <b>CLIENT</b>	<b>Important Notes:</b> These drawings must not be scaled. Figure dimensions take precedence. It is the builders and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement to any works and ordering of materials. Any discrepancies are to be reported to this office immediately. This drawings shall not be altered in any form without the written permission from 2 Form Consulting.	Copyright on these drawings and associated documentation is own by 2 Form Consulting. Reproduction in part or in whole of these drawings and associated documentation without the permission of 2 Form Consulting, will constitute an infringement of copyright. Remedies of infringement of copyright will be taken in accordance with the provision of the Copyright Act 1968. All windows and door sizes to be verify on site prior to ordering.	Issue:	Revision Description	Date:	Building Area	Drawn: <b>TS</b>	Checked: <b>RT</b>
Address: 135 SUMMERHILL ROAD FOOTSCRAY VIC 3011	Drawing: <b>TOWN PLANNING</b>								Scale: <b>1:100</b>
								Job Number: <div style="text-align: right;">- / 2023</div>	

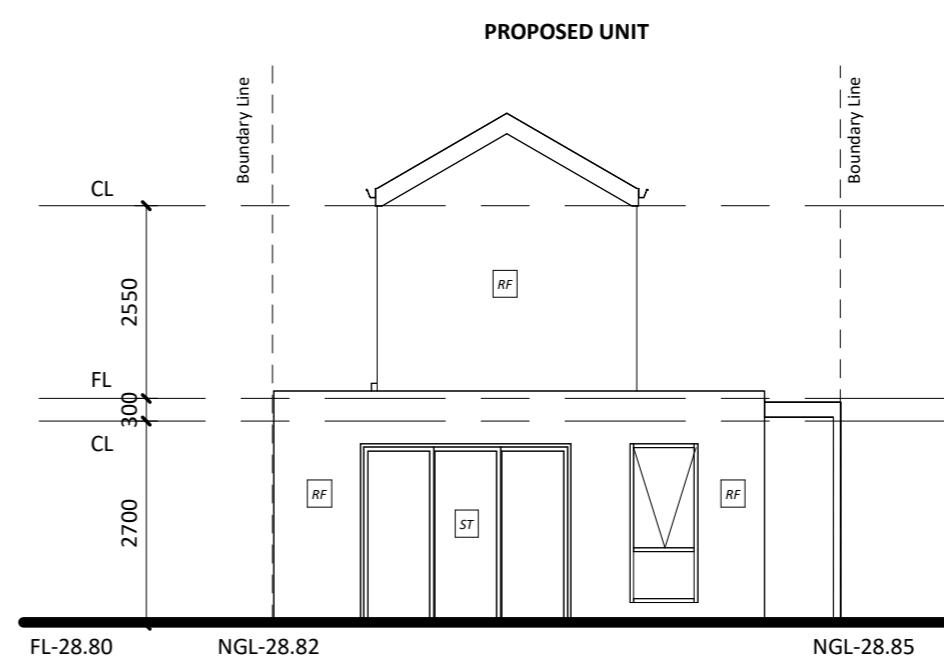




1 West  
1 : 100

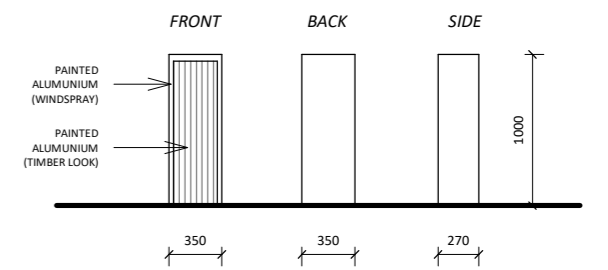


2 East  
1 : 100



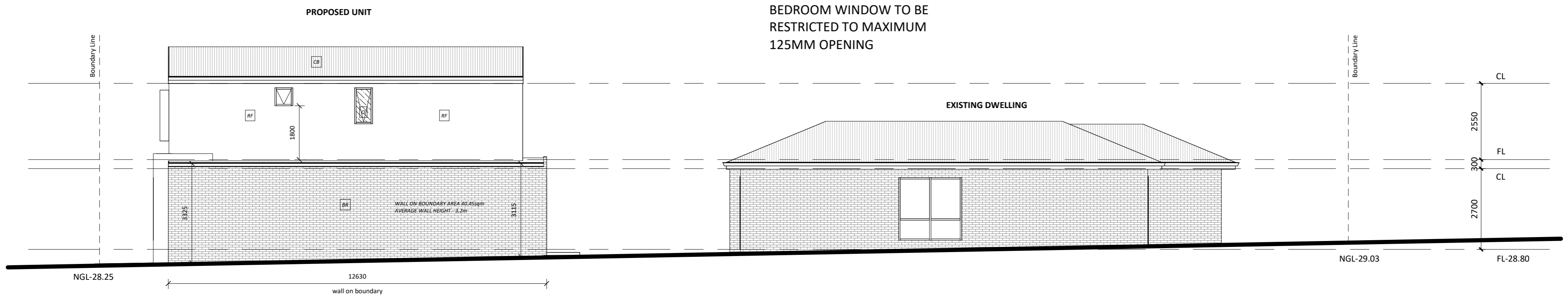
3 Internal East  
1 : 100

- LEGEND**
- RF RENDERED FINISH CEMENT SHEET FINISH
  - BR BRICKWORK FINISH
  - JM JAMES HARDIE MATRIX CLADDING
  - O OBSCURED GLASS
  - ST STACKER DOOR
  - SC STEEL COLUMNS
  - CB COLORBOND ROOF AT 30°



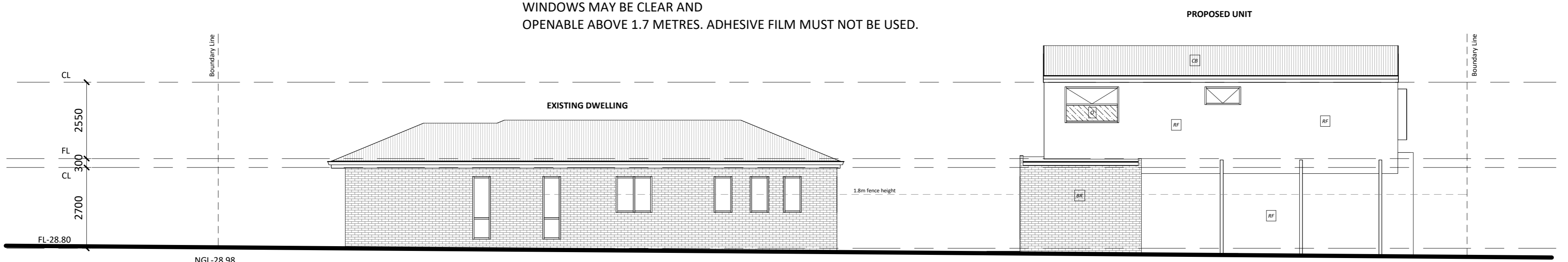
LETTERBOX ELEVATION  
SCALE 1:100

**NOTE:**  
ALL UPPER STOREY  
BEDROOM WINDOW TO BE  
RESTRICTED TO MAXIMUM  
125MM OPENING



4 North Elevation  
1 : 100

**NOTE:**  
WINDOWS TO BE SCREENED WILL HAVE FIXED OBSCURE GLAZING (NON-  
OPENABLE) TO A HEIGHT OF 1.7 METRES ABOVE FINISHED FLOOR LEVEL. THE  
WINDOWS MAY BE CLEAR AND  
OPENABLE ABOVE 1.7 METRES. ADHESIVE FILM MUST NOT BE USED.



5 South Elevation  
1 : 100

Project:  
**PROPOSED REAR UNIT**

Address:  
135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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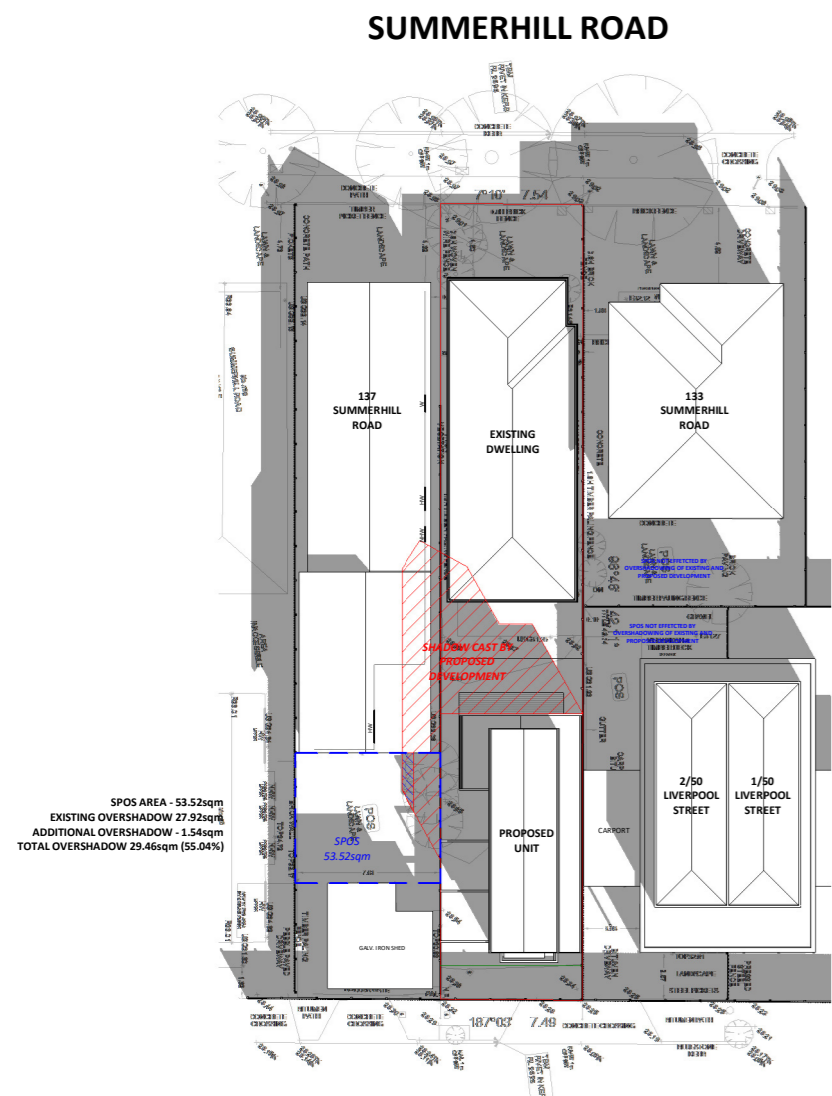
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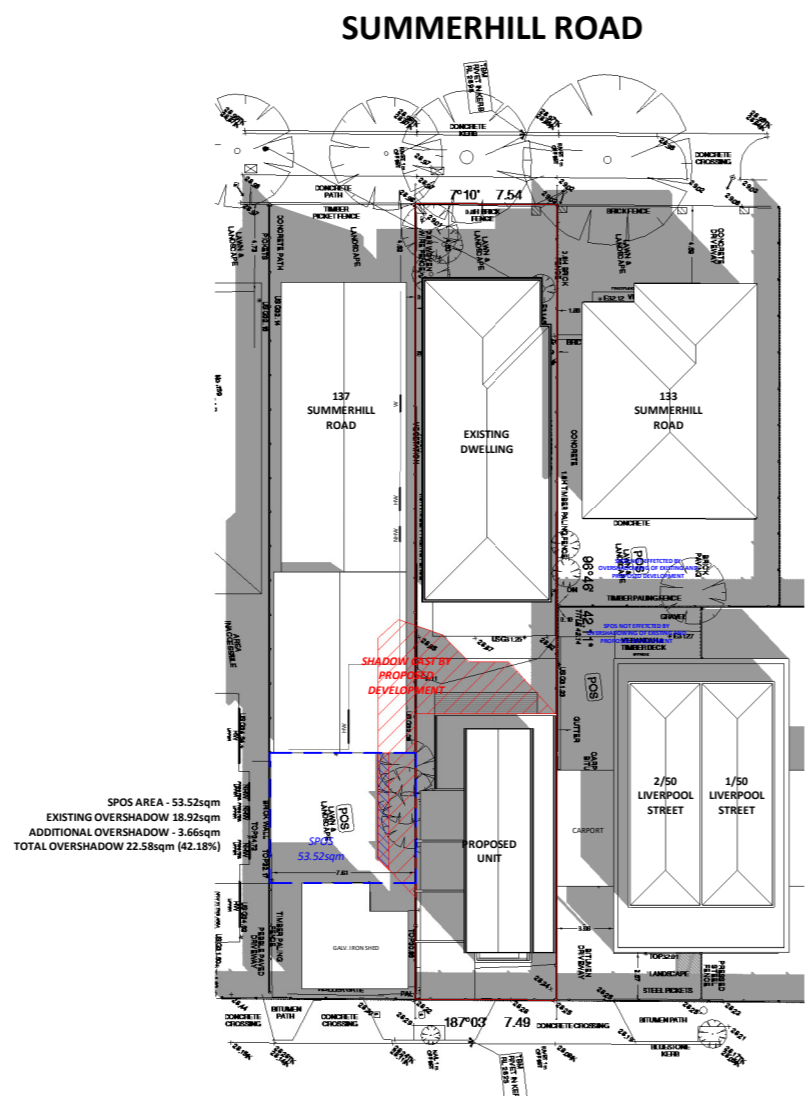
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Job Number:

Checked: **RT**  
Date: **06/08/2024**  
Page: **5 / 11**  
- / 2023

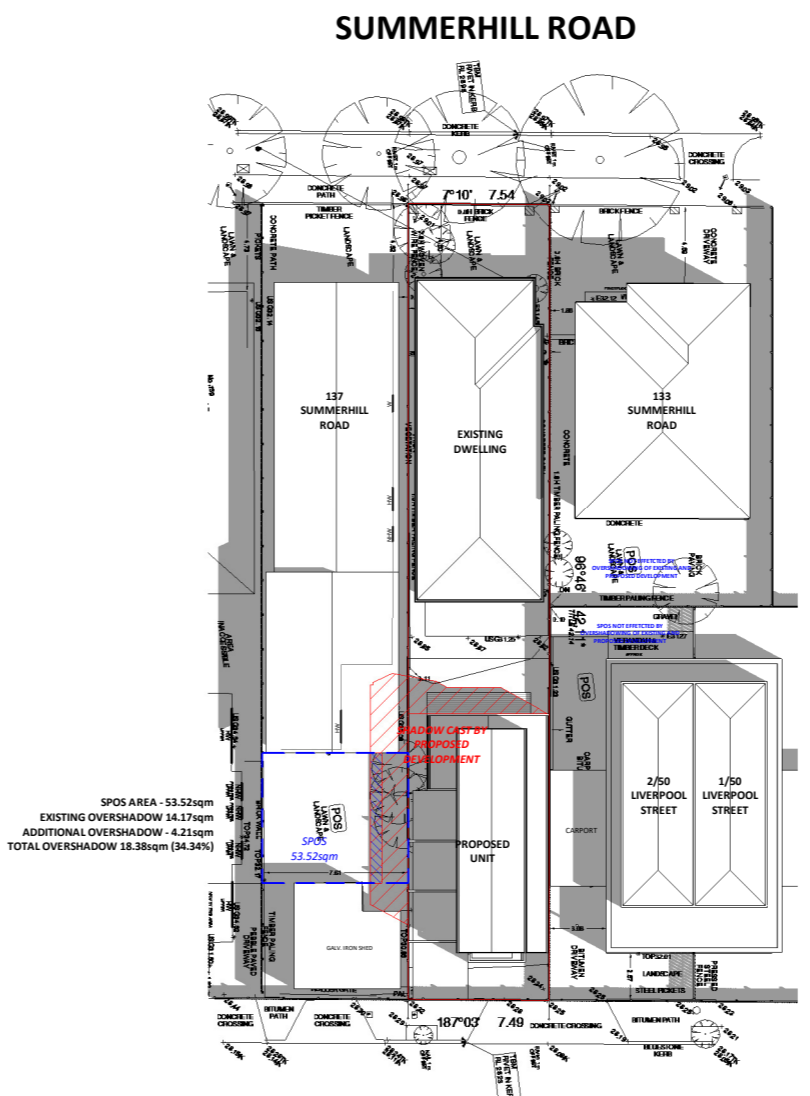
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Ph: 9687 2585 Mob: 0419 585 604  
E-mail: rob@2form.com.au



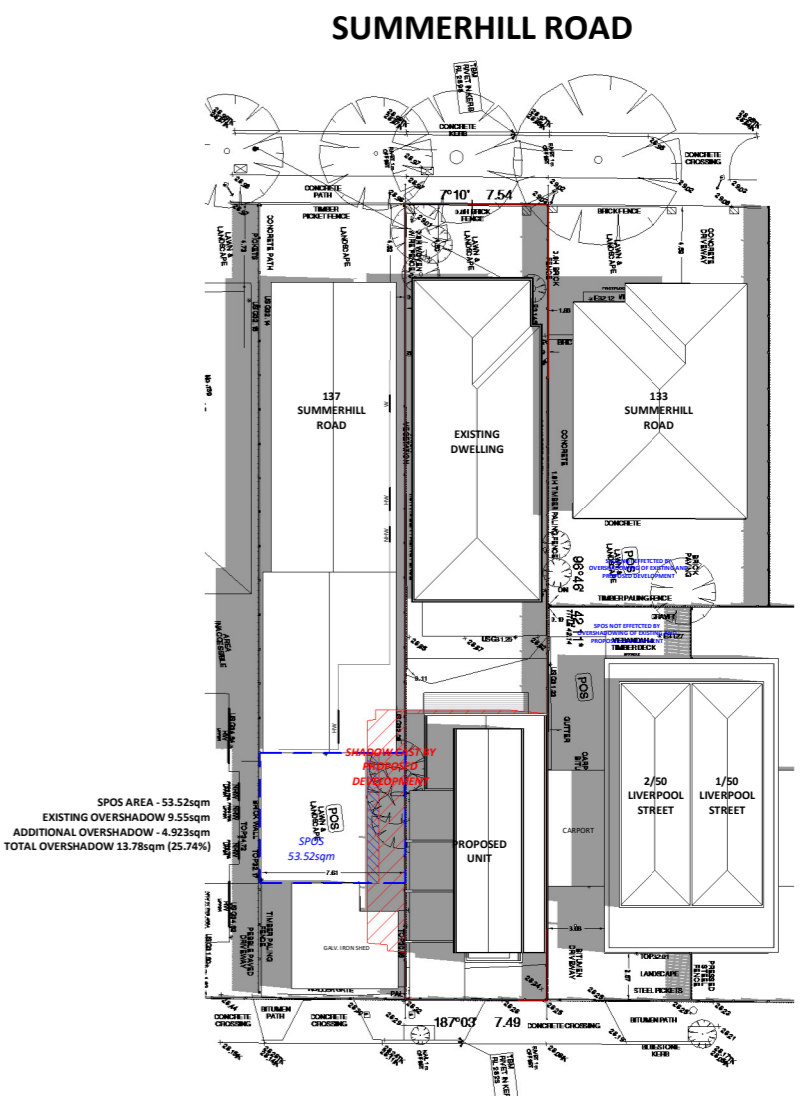
LIVERPOOL STREET  
**SHADOW DIAGRAM @9am**  
 SEPTEMBER EQUINOX - SCALE 1:400  
 SUMMERHILL ROAD



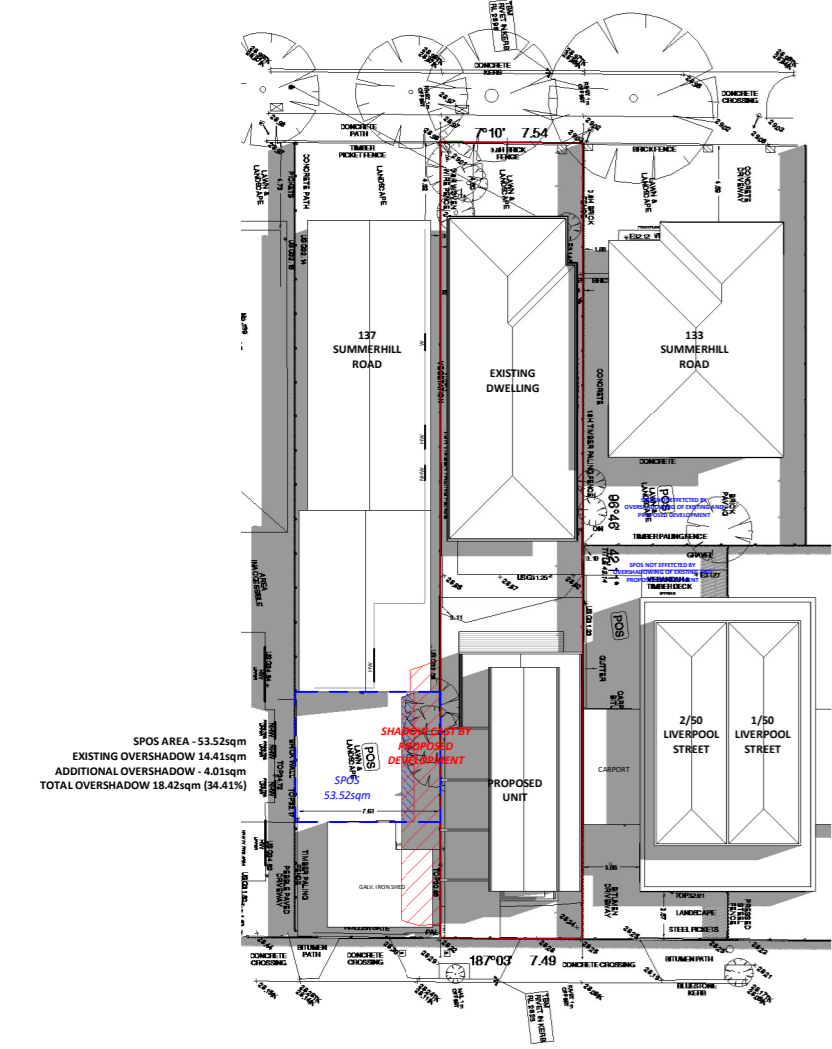
LIVERPOOL STREET  
**SHADOW DIAGRAM @10am**  
 SEPTEMBER EQUINOX - SCALE 1:400  
 SUMMERHILL ROAD



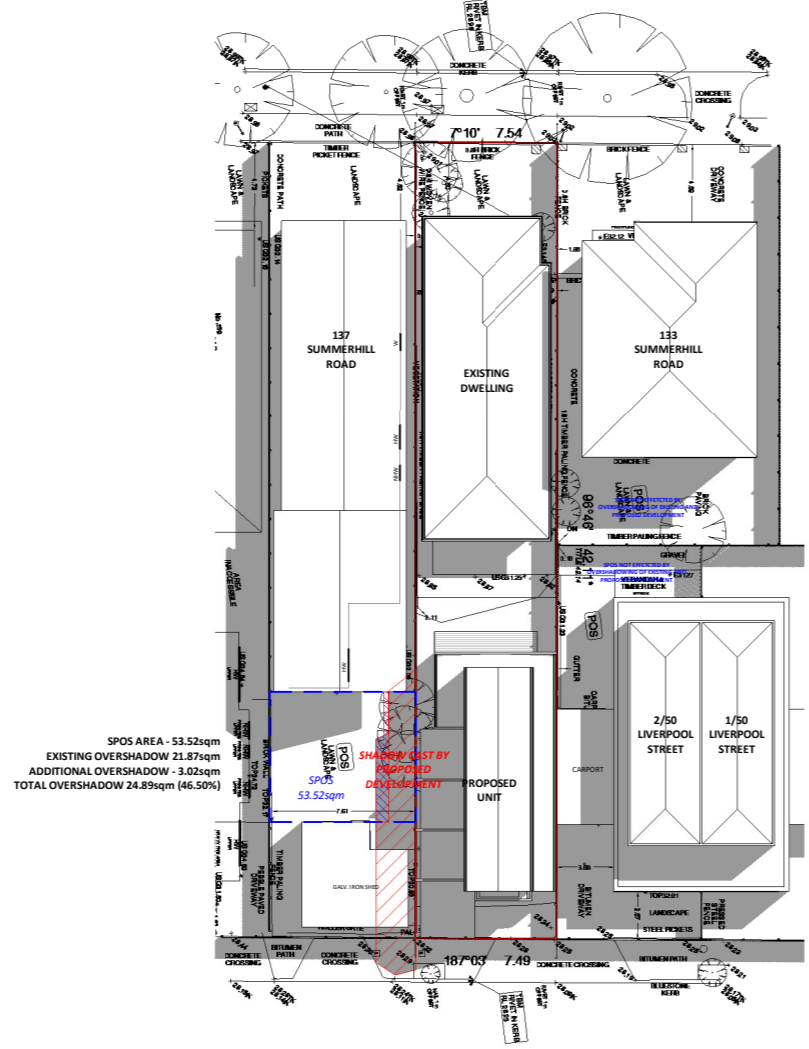
LIVERPOOL STREET  
**SHADOW DIAGRAM @11am**  
 SEPTEMBER EQUINOX - SCALE 1:400  
 SUMMERHILL ROAD



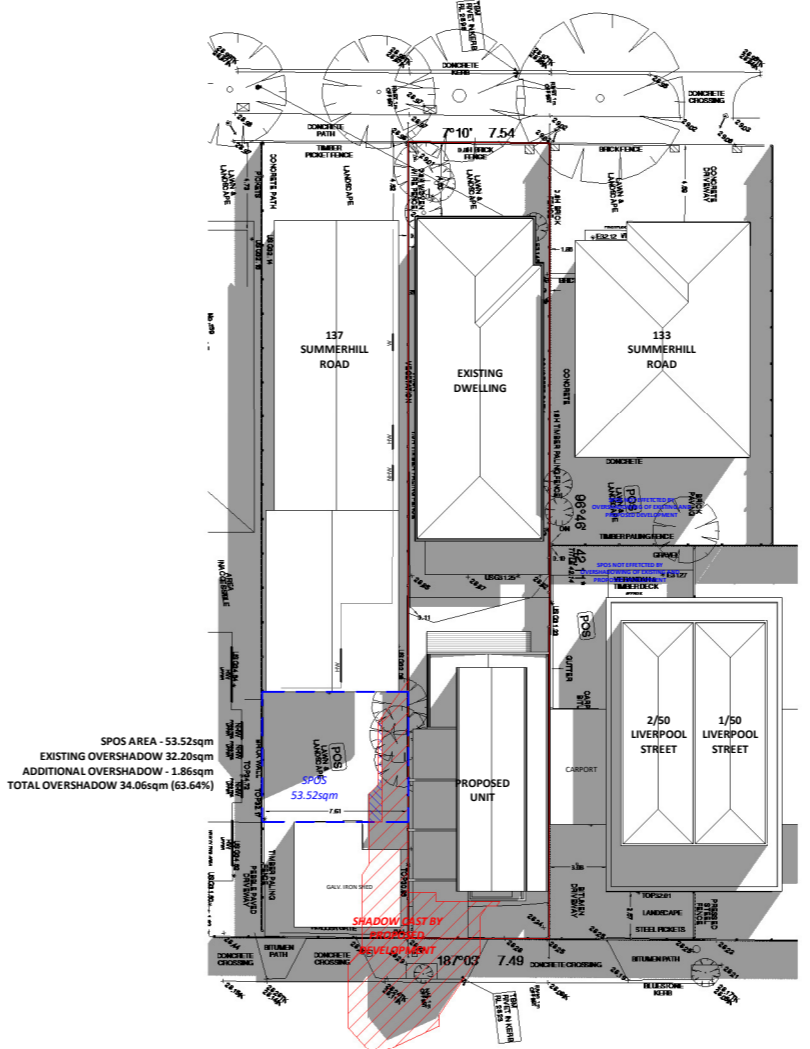
LIVERPOOL STREET  
**SHADOW DIAGRAM @12pm**  
 SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET  
**SHADOW DIAGRAM @1pm**  
 SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET  
**SHADOW DIAGRAM @2pm**  
 SEPTEMBER EQUINOX - SCALE 1:400



LIVERPOOL STREET  
**SHADOW DIAGRAM @3pm**  
 SEPTEMBER EQUINOX - SCALE 1:400

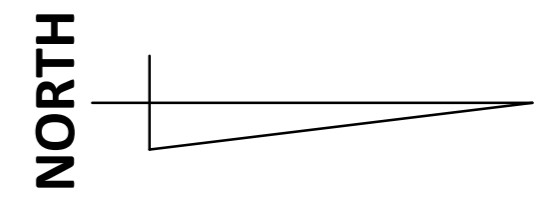
**NOTE**  
 GREY HATCH - THE SHADOW CAST BY ALL EXISTING STRUCTURE INCLUDING ADJOINING PROPERTIES AND THEIR EXISTING FENCES  
 BLUE DASHED LINE - NEIGHBOURS SPOS AREAS  
 RED LINE HATCH - SHADOW CAST BY PROPOSED DEVELOPMENT  
 BLUE LINE HATCH - ADDITIONAL OVERSHADOW TO SPOS BY PROPOSED DEVELOPMENT

**OVERSHADOWING CALCULATION - STANDARD 21**  
 Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the

**137 SUMMERHILL ROAD**

SPOS area (sqm)		53.52		40.14	
Min 75% sunlight area (sqm)					
HOUR	EXISTING SUNLIGHT TO SPOS (sqm)	EXISTING OVERSHADOWING TO SPOS (sqm)	ADDITIONAL OVERSHADOW BY DEVELOPMENT (sqm)	TOTAL SUNLIGHT AREA (sqm)	TOTAL OVERSHADOW AREA (sqm)
9am	25.60	27.92	1.54	24.06	29.46
10am	34.60	18.92	3.66	30.94	22.58
11am	39.35	14.17	4.21	35.14	18.38
12pm	43.97	9.55	4.23	39.74	13.78
1pm	39.11	14.41	4.01	35.10	18.42
2pm	31.65	21.87	3.02	28.63	24.89
3pm	21.32	32.20	1.86	19.46	34.06



Project:  
**PROPOSED REAR UNIT**

Address:  
 135 SUMMERHILL ROAD  
 FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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Issue:	Revision Description	Date:	Building Area

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 Job Number: **- / 2023**

Checked: **RT**  
 Date: **06/08/2024**  
 Page: **6 / 11**



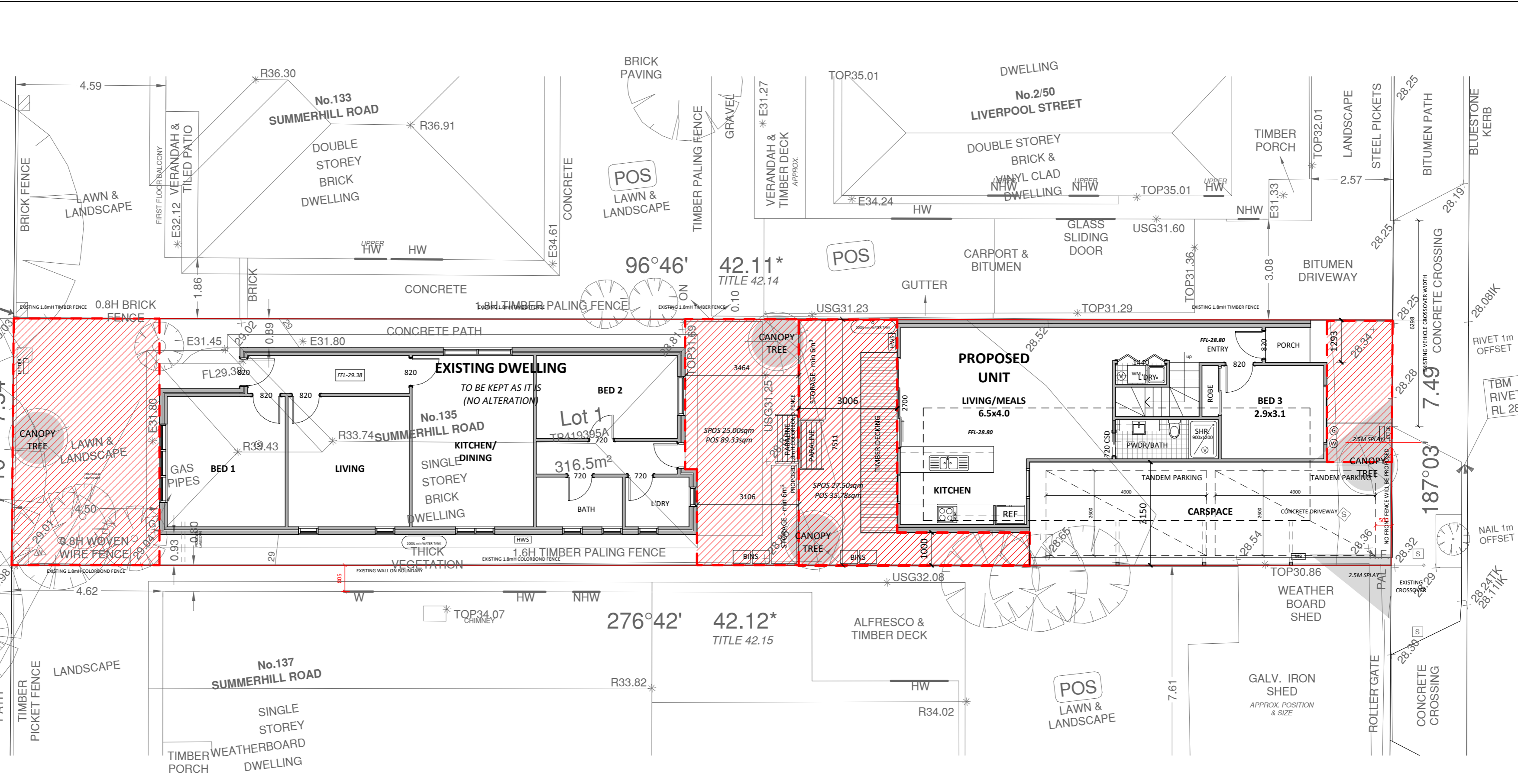
SUMMERHILL ROAD

LIVERPOOL STREET

# SITE & GARDEN AREA PLAN

SCALE 1:100

NORTH



## DEVELOPMENT SUMMARY

AREA	EXISTING DWELLING	PROPOSED UNIT	TOTAL
TOTAL GROUND FLOOR	92.42sqm	58.45sqm	150.87sqm
SITE COVERAGE	29.20%	18.47%	47.67%
CAR PARKING SPACES	- spaces	2 space	2 space
TOTAL PRIVATE OPEN SPACE (POS)	89.33sqm	35.78sqm	125.11sqm
SECLUDED POS	25.00qm	27.50sqm	52.50sqm
<b>TOTAL SITE AREA : 316.5sqm</b>			<b>PERMEABLE AREA : 103.35sqm (32.65%)</b>
			<b>GARDEN AREA : 93.95sqm (29.68%)</b>

Project:  
**PROPOSED REAR UNIT**

Address:  
135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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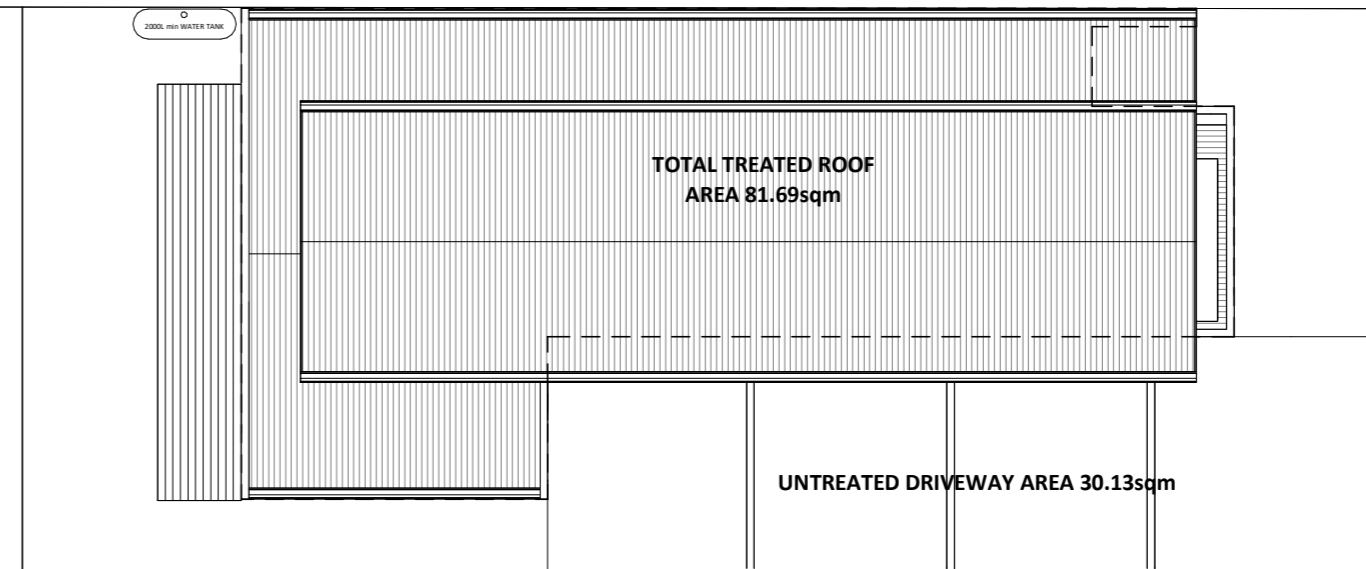
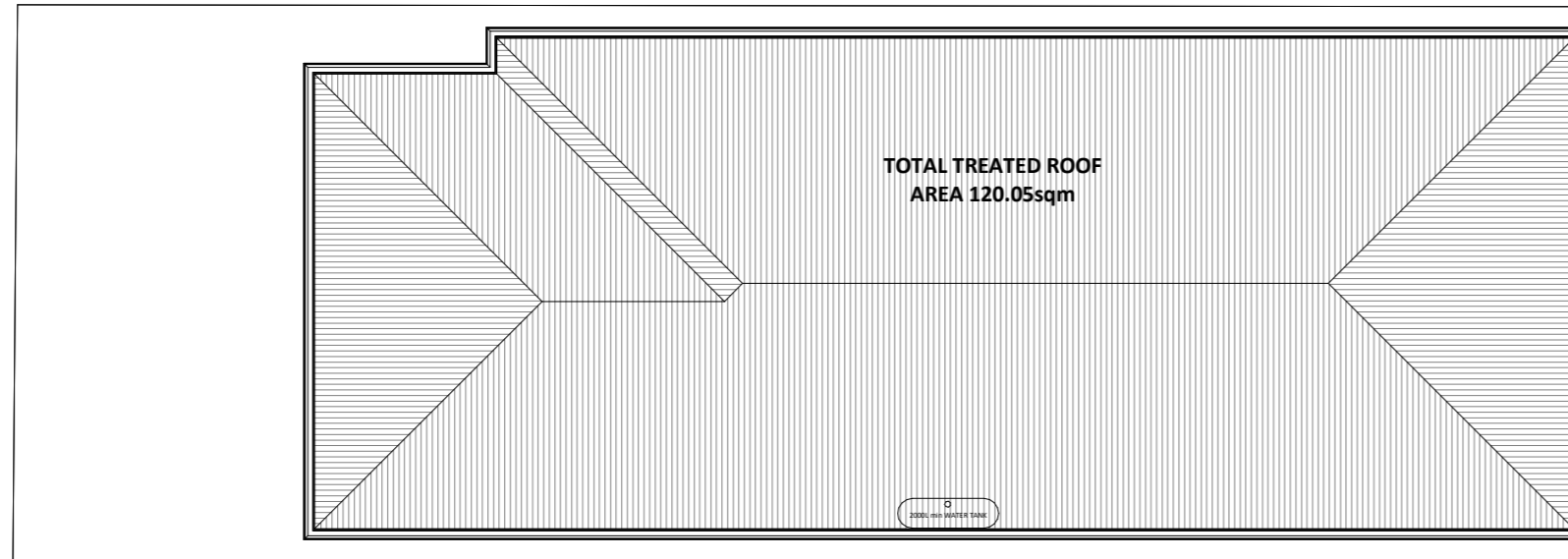
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Issue:	Revision Description	Date:	Building Area

Drawn:	Checked:
TS	RT
Scale: 1:100	Date: 06/08/2024
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Job Number:	- / 2023

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Ph: 9687 2585 Mob: 0419 585 604  
E-mail: rob@2form.com.au

SUMMERHILL ROAD



LIVERPOOL STREET

# ROOF CATCHMENT PLAN

SCALE 1:100

### STORMWATER MANAGEMENT DURING CONSTRUCTION

This project is required to be constructed in line with "Keeping Our Stormwater Clean- A Builder's Guide (Melbourne Water, 2002)" by implementing the WSUD maintenance practices described in appendices A and B. Construction practices will aim to: mitigate erosion, protect stockpiles, keep mud off the road and on site, keep litter contained on site and clean and wash up on site.

Practices must adhere to:

**SITE RULE 1:**  
Check Council requirements and plan before you start work on site.

Crossover away from lowest point  
Sediment control fence on lowest side  
Stockpiles away from lowest point  
Marked trees and vegetation to keep on site

**SITE RULE 2:**  
Stop erosion on site and contain sediments  
Sediment control fence in place  
Catch drains on high side of site  
Vegetation areas kept at boundary  
Downpipes set up as early as possible

**SITE RULE 3:**  
Protect stockpiles  
Base and cover for stockpiles  
Gravel sausage at stormwater pit

**SITE RULE 4:**  
Keep mud off road and on site  
Crushed rock access point  
Vehicles keep to crushed rock areas  
Mud removed from tyres before leaving site  
Clean road if muddy

**SITE RULE 5:**  
Keep litter contained on site. Site fencing in place  
Litter bins in place with lid closed

**SITE RULE 6:**  
Clean and wash up on site  
Cutting and clean up area on site  
Clean equipment off before washing  
Sediment filter downslope  
Contain all washing on site



## STORM Rating Report

TransactionID: 0  
Municipality: MARIBYRNONG  
Rainfall Station: MARIBYRNONG  
Address: 135 Summerhill Road

Footscray  
VIC 3011

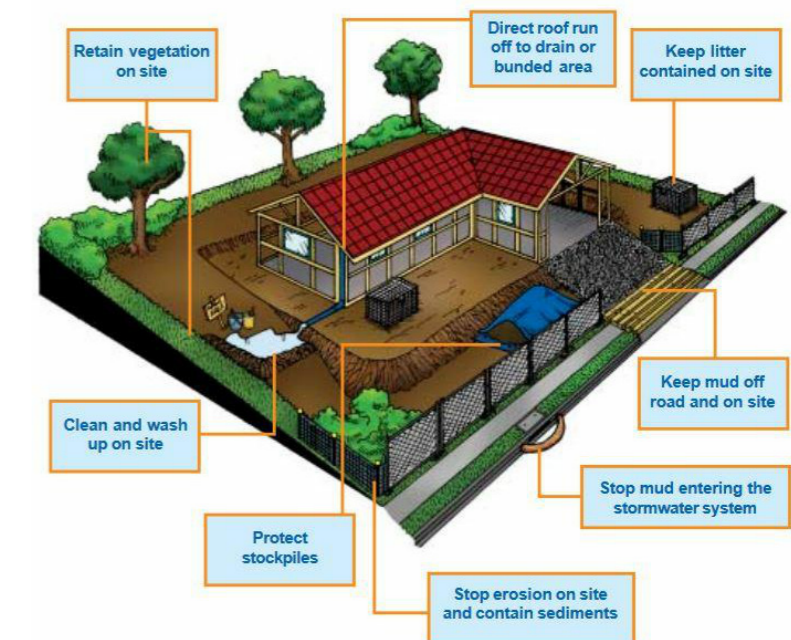
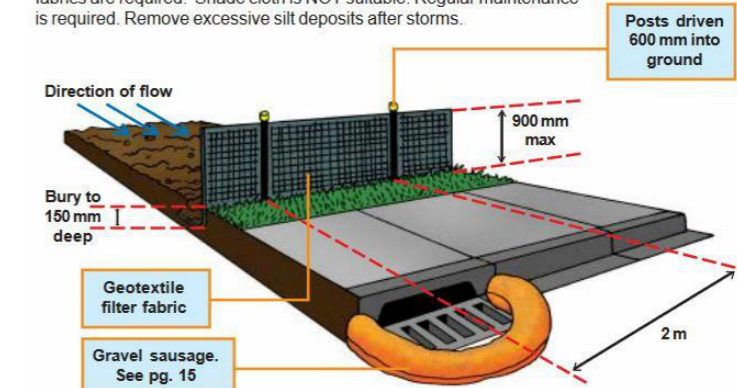
Assessor: Steve  
Development Type: Residential - Multiunit  
Allotment Site (m2): 316.50  
STORM Rating %: 105

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Treated Existing Roof	120.05	Rainwater Tank	2,000.00	2	99.00	95.60
Treated Proposed Roof	81.69	Rainwater Tank	2,000.00	3	152.80	84.60
Untreated Driveway	30.13	None	0.00	0	0.00	0.00

### METHODS TO CONTAIN SEDIMENT ON SITE

#### Method 1 - Sediment Control Fences

Sediment control fences stop sediment from being washed off site. The fence allows muddy water to pond behind it and for sediment to settle as the water slowly filters through. Geotextile fabrics are required. Shade cloth is NOT suitable. Regular maintenance is required. Remove excessive silt deposits after storms.



Project: PROPOSED REAR UNIT

Client: CLIENT

Address: 135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Drawing: TOWN PLANNING

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Issue:	Revision Description	Date:	Building Area

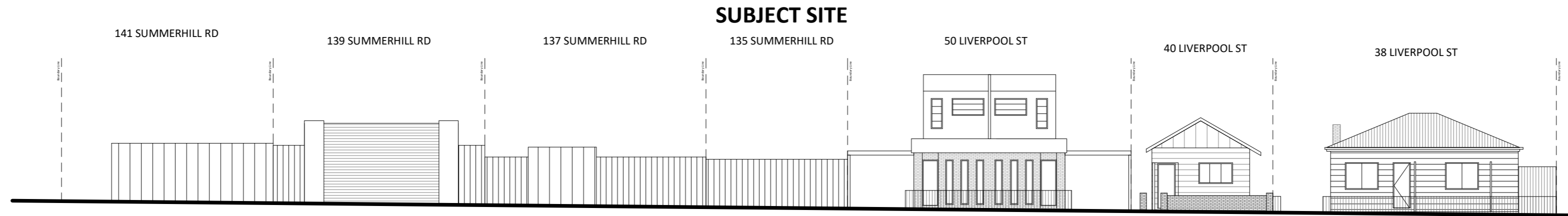
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Scale: 1:100  
Paper Size: A2  
Job Number: - / 2023

Checked: RT  
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Page: 8 / 11

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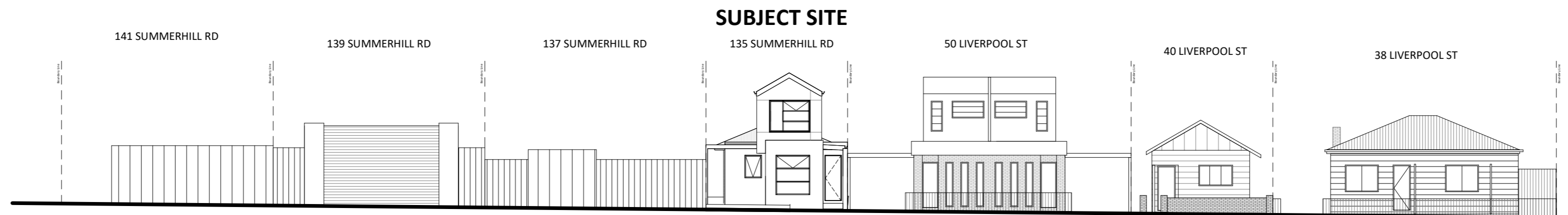






## EXISTING STREETScape

SCALE 1:200



## PROPOSED STREETScape

SCALE 1:200

Project:  
**PROPOSED REAR UNIT**

Client:  
**CLIENT**

Address:  
**135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011**

Drawing:  
**TOWN PLANNING**

**Important Notes:**

These drawings must not be scaled.  
Figure dimensions take precedence.  
It is the builders and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement to any works and ordering of materials.  
Any discrepancies are to be reported to this office immediatly.  
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All windows and door sizes to be verify on site prior to ordering.

Issue:	Revision Description	Date:	Building Area

Drawn:	TS	Checked:	RT
Scale:	1:200	Date:	06/08/2024
Paper Size:	A2	Page:	10 / 11
Job Number:	- / 2023		



**2Form Consulting Pty Ltd**  
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Ph: 9687 2585 Mob: 0419 585 604  
E-mail: rob@2form.com.au

# MATERIALS, COLOURS AND FINISHES SCHEDULE



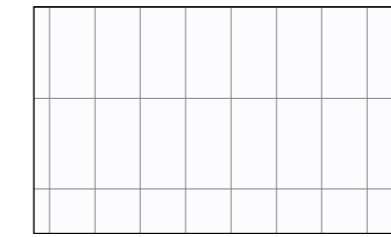
**ROOF**  
SELECTED COLORBOND ROOF  
*WINDSPRAY - DULUX*



**FASCIA/GUTTER**  
SELECTED COLORBOND  
*WINDSPRAY - DULUX*



**DOWNPIPES**  
SELECTED COLORBOND  
*WINDSPRAY - DULUX*



**MATRIX CLADDING**  
JAMES HARDIE AXON  
*WINDSPRAY*



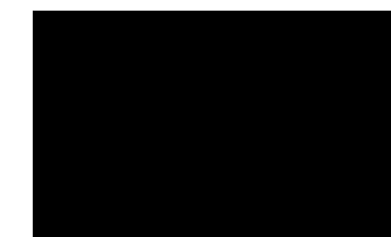
**BRICK WALL**  
SELECTED BRICK WALL  
*ZINC - AUSTRALBRICK*



**RENDERED WALL**  
RENDERED CEMENT SHEET  
*VIVID WHITE - DULUX*



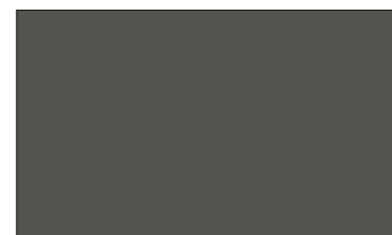
**COLUMNS**  
PAINTED STEEL COLUMNS  
*WINDSPRAY - DULUX*



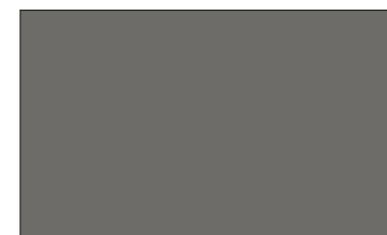
**WINDOW/DOOR FRAME**  
PAINTED ALUMINIUM FRAME  
*BLACK*



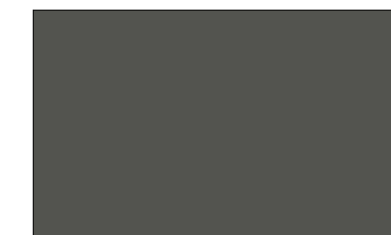
**GARAGE PANEL**  
VERTICAL TIMBER FINISH  
*WINDSPRAY - DULUX*



**FENCE**  
COLORBOND FENCE  
*WOODLAND GREY*



**DRIVEWAY**  
CONCRETE  
*GREY*



**METER BOX**  
RENDERED PILLAR  
*WOODLAND GREY*

Project:  
**PROPOSED REAR UNIT**

Address:  
135 SUMMERHILL ROAD  
FOOTSCRAY VIC 3011

Client:  
**CLIENT**

Drawing:  
**TOWN PLANNING**

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