

Our Reference: G33043L-01A

10 August 2023

Explode Pty Ltd
608-614 Somerville Road,
SUNSHINE WEST VIC 3020

Attention: Maria Neskovski

Dear Madam,

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

54-62 Ashley Street, West Footscray – Proposed Residential Development Traffic Engineering Assessment

Further to your instructions, please find following our review of the proposed residential development at 54-62 Ashley Street, West Footscray. The following letter provides a traffic engineering assessment of vehicle access arrangements only.

Proposal

The proposal is to develop the site for the purpose of nine dwellings. 18 car spaces will be provided all within garages, accessed via Alma Street. Development plans prepared by Taouk Architects (dated August, 2023) are attached at Appendix A.

Carpark Access Assessment

Traffix Group has provided design advice to the project architect to achieve a satisfactory carpark layout.

Access to and from all car spaces has been checked using AutoTurn based on the B85 design car presented in AS2890.1-2004 and are attached at Appendix B. We are satisfied that vehicles will be able to safely manoeuvre to and from each space.

Some spaces may require a corrective manoeuvre either into or out of the garages. AS2890.1-2004 expressly permits the use of a corrective manoeuvre when accessing resident car parking (which may include a corrective manoeuvre into and out of a car space).

Overall, we are satisfied that the car parking arrangements and accessway layout are appropriate. Please contact me at Traffix Group if you require any further information.

Yours faithfully,



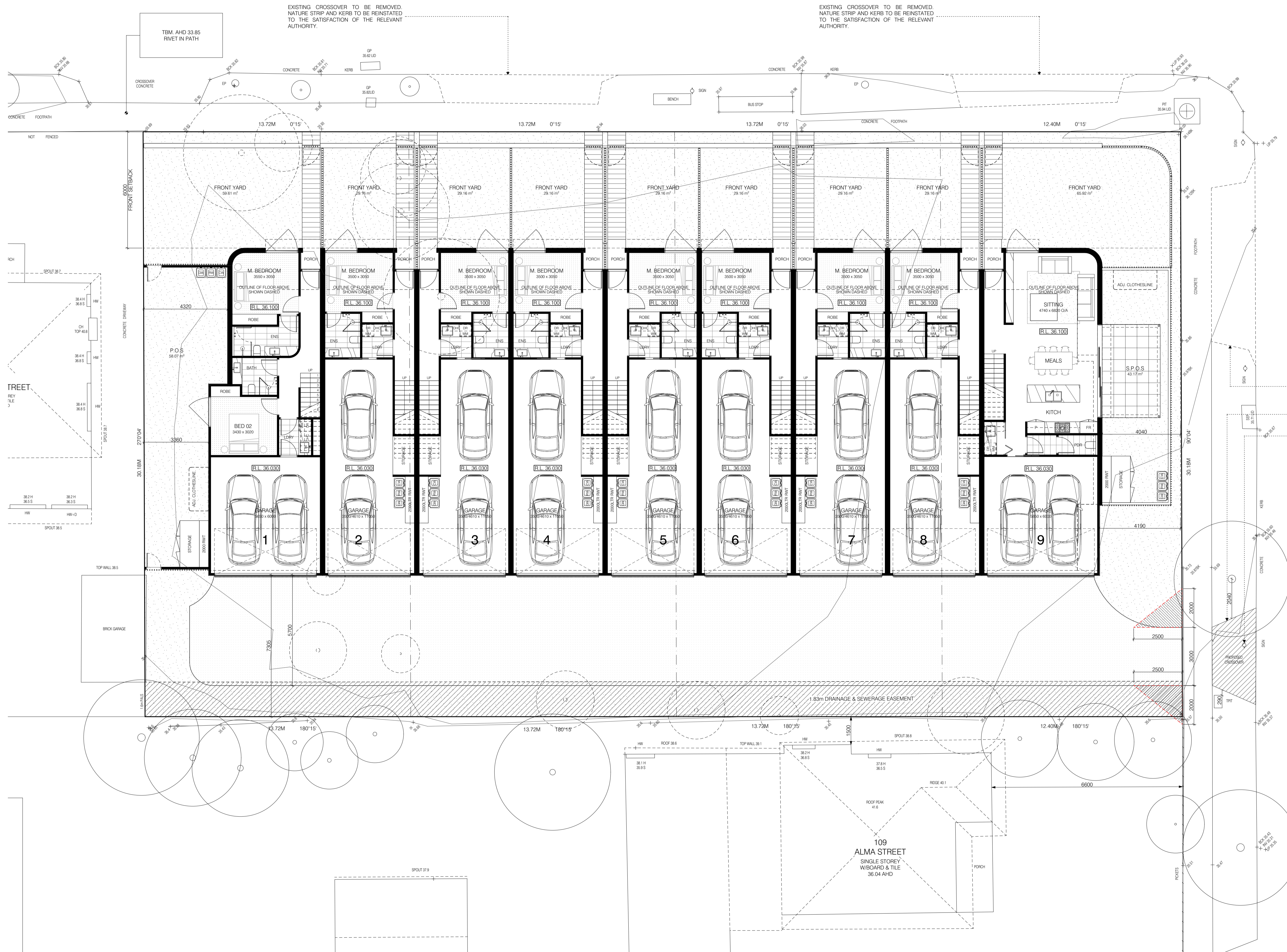
TRAFFIX GROUP PTY LTD
JASON STONE
Senior Associate



Appendix A

Development Plans

ASHLEY STREET



AREA ANALYSIS

SITE AREA		1615.67 m ²
SITE COVERAGE	49.30%	778.45 m ²
PERMEABLE SURFACE	34.95%	565.44 m ²
GARDEN AREA	35.00%	565.07 m ²

DWELLING 1		
GROUND FLOOR		55.03 m ²
GARAGE		35.72 m ²
PORCH		1.27 m ²
FIRST FLOOR		79.56 m ²
FRONT YARD		59.61 m ²
P.O.S		58.07 m ²
OVERALL [NOT INC. ALFRESCO]		171.58 m²

DWELLINGS 2-8		
GROUND FLOOR		31.52 m ²
GARAGE		49.20 m ²
PORCH		1.27 m ²
FIRST FLOOR		71.15 m ²
BALC.		19.80 m ²
FRONT YARD		29.16 m ²
SECOND FLOOR		72.99 m ²
OVERALL [NOT INC. ALFRESCO]		226.13 m²

DWELLING 9		
GROUND FLOOR		65.43 m ²
GARAGE		37.06 m ²
PORCH		1.27 m ²
FIRST FLOOR		77.63 m ²
FRONT YARD		65.92 m ²
S.P.O.S		43.17 m ²
OVERALL [NOT INC. ALFRESCO]		181.39 m²

EXISTING CROSSOVER TO BE REMOVED. NATURE STRIP AND KERB TO BE REINSTITATED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

PROPOSED CROSSOVER TO BE CONSTRUCTED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

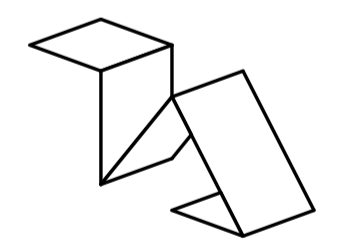
RELOCATE STREET SIGN/TELSTRA PIT TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

MINIMUM GRADE: A MINIMUM GRADE OF 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS IS REQUIRED FOR DRAINAGE PURPOSES

BOUNDARY FENCES: ALL SIDE BOUNDARY FENCES TO BE MINIMUM 1.80M HIGH ABOVE NGL AND TAPER DOWN 0.90M HIGH WITHIN THE FRONT SETBACK.

AHD LEVELS: ALL LEVELS ARE SURVEYED TO AHD BY A LICENSED LAND SURVEYOR

REVISION
4.08.23 TOWN PLANNING APPLICATION



TAOUKARCHITECTS

P. 9484 8080 448 HEIDELBERG ROAD FAIRFIELD VIC 3078
E. info@taoukarchitects.com.au W. taoukarchitects.com.au

PROJECT
**RESIDENTIAL DEVELOPMENT
54-62 ASHLEY STREET
WEST FOOTSCRAY VIC 3012**

CLIENT

DRAWING TITLE
GROUND FLOOR PLAN

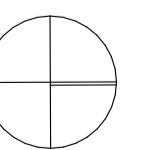
SCALE
1:100 @ A1

DATE
AUGUST 2023

ISSUE
TOWN PLANNING

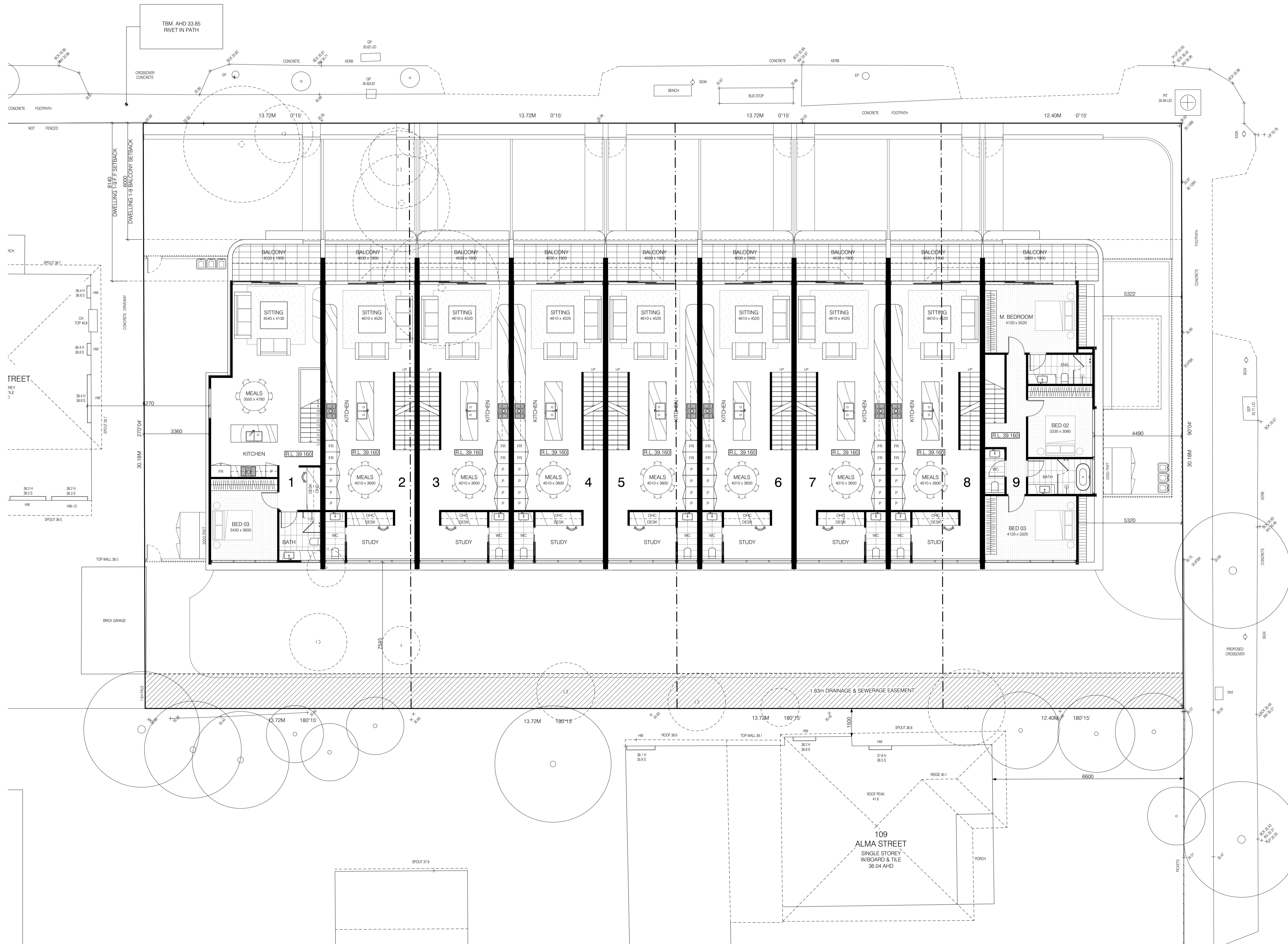
DRAWN
VG

DRAWING No.
TP_02



REVISION

ASHLEY STREET



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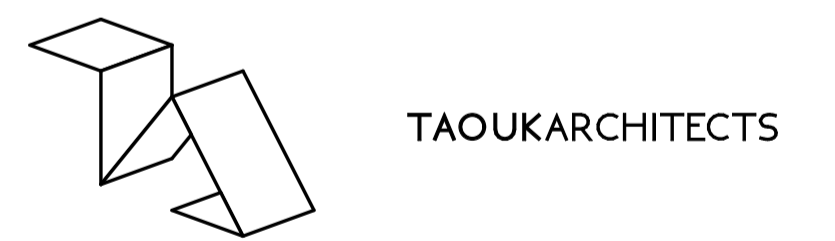
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GARAGE		37.06 m ²
PORCH		1.27 m ²
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REVISION
4.08.23 TOWN PLANNING APPLICATION



TAOUKARCHITECTS

P. 9486 8080 448 HEIDELBERG ROAD FAIRFIELD VIC 3078
E. info@taoukarchitects.com.au W. taoukarchitects.com.au

PROJECT
**RESIDENTIAL DEVELOPMENT
54-62 ASHLEY STREET
WEST FOOTSCRAY VIC 3012**

CLIENT
-

DRAWING TITLE
FIRST FLOOR PLAN

SCALE
1:100 @ A1

JOB No.
22-38

DATE
AUGUST 2023

ISSUE
TOWN PLANNING

DRAWN
VG

DRAWING No.
TP_03

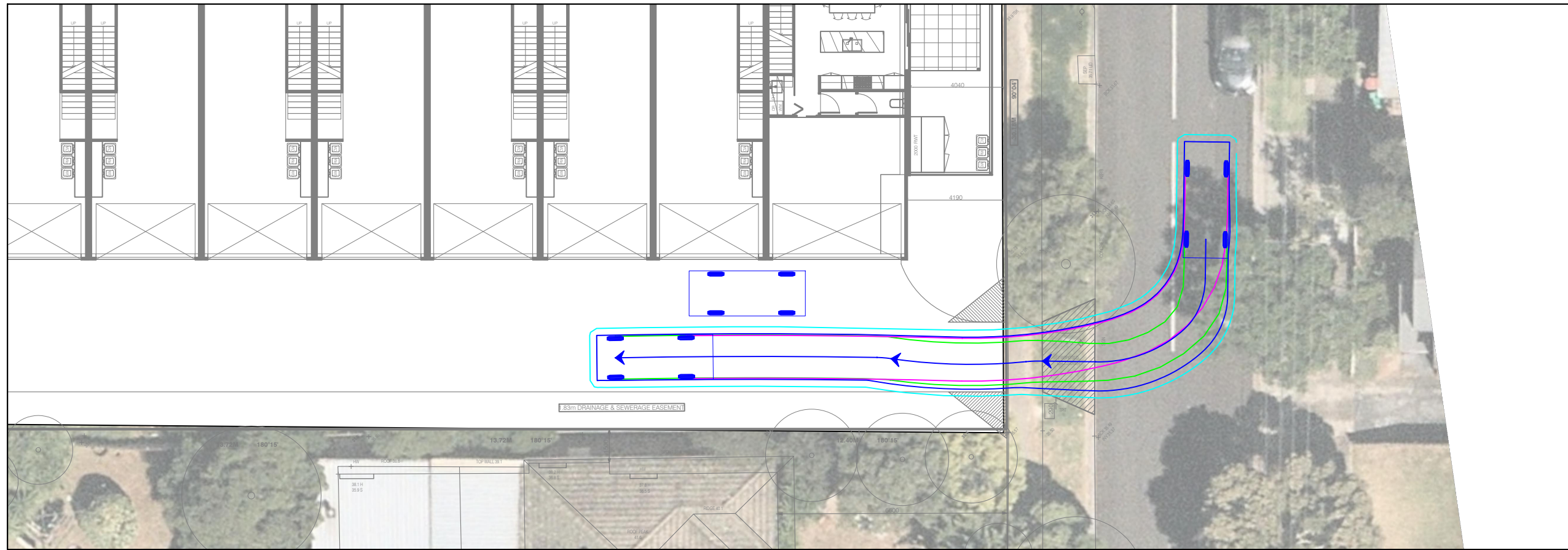
REVISION
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Appendix B

Swept Path Diagrams

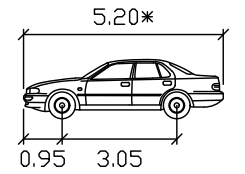
B99 PROP AND PASSING



VEHICLE PROFILE

VEHICLE USED IN SIMULATION

(VEHICLE SPEED - 5KM/H)



99th percentile
(AS/NZS 2890.1:2004)

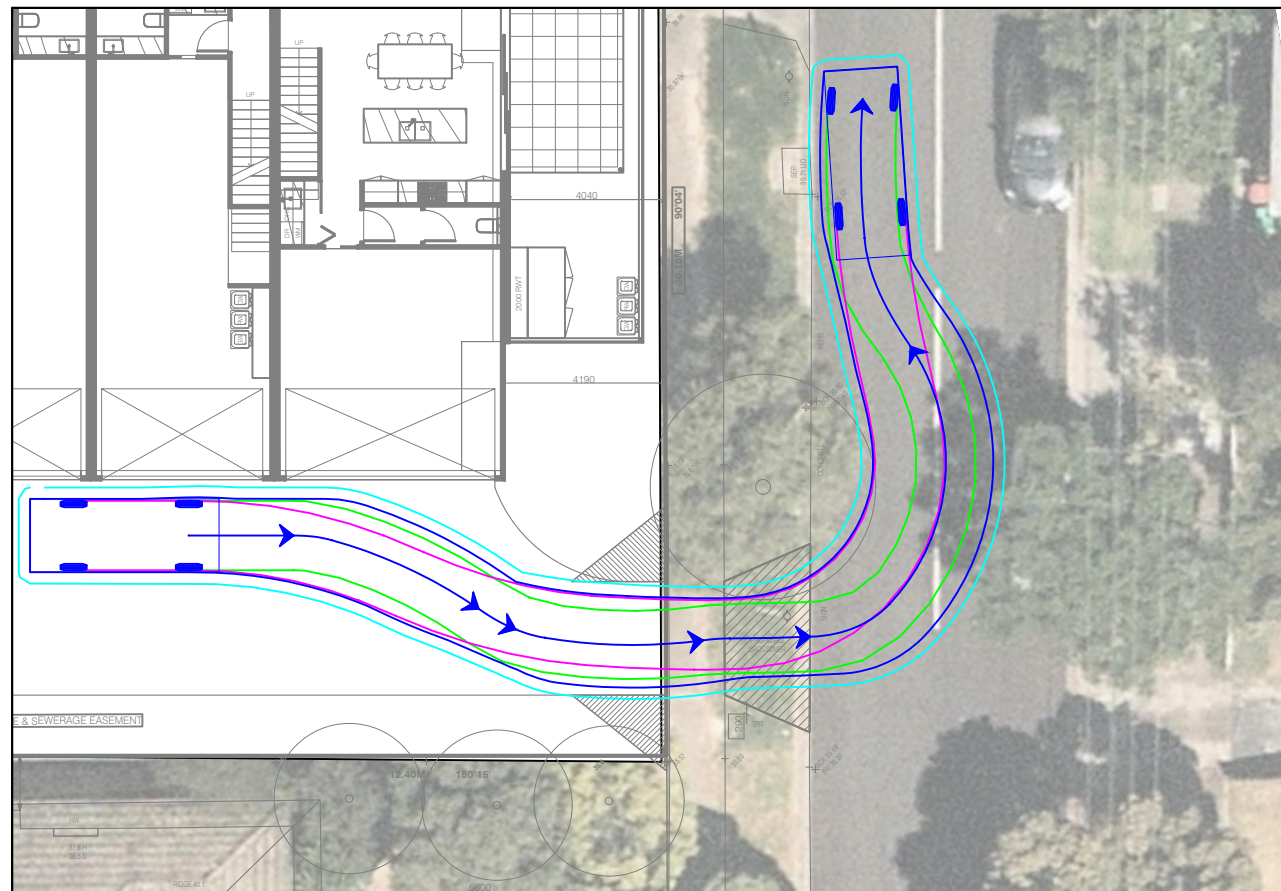
Width : 1.94
Track : 1.84
Kerb to Kerb Radius 12.5m

actual template based on 'relevant longitudinal dimensions that affect swept path' as set out in Section B2.1 of AS/NZS 2890.1:2004

LEGEND

- REAR WHEELS (magenta line)
- FRONT WHEELS (green line)
- VEHICLE BODY (blue line)
- BODY CLEARANCE (cyan line)

B99 SITE EGRESS



REV	DATE	NOTES	DESIGNED BY	CHECKED BY
A	10/08/2023	TOWN PLANNING	S. STEPHENSON	J. STONE

54-62 ASHLEY STREET, WEST FOOTSCRAY
PROPOSED RESIDENTIAL DEVELOPMENT

GENERAL NOTES:
BASE INFORMATION FROM: CPT_01 GROUND FLOOR PLAN.dwg
PREPARED BY: Taouk Architects

FILE NAME: G33043-01
SHEET NO.: 01



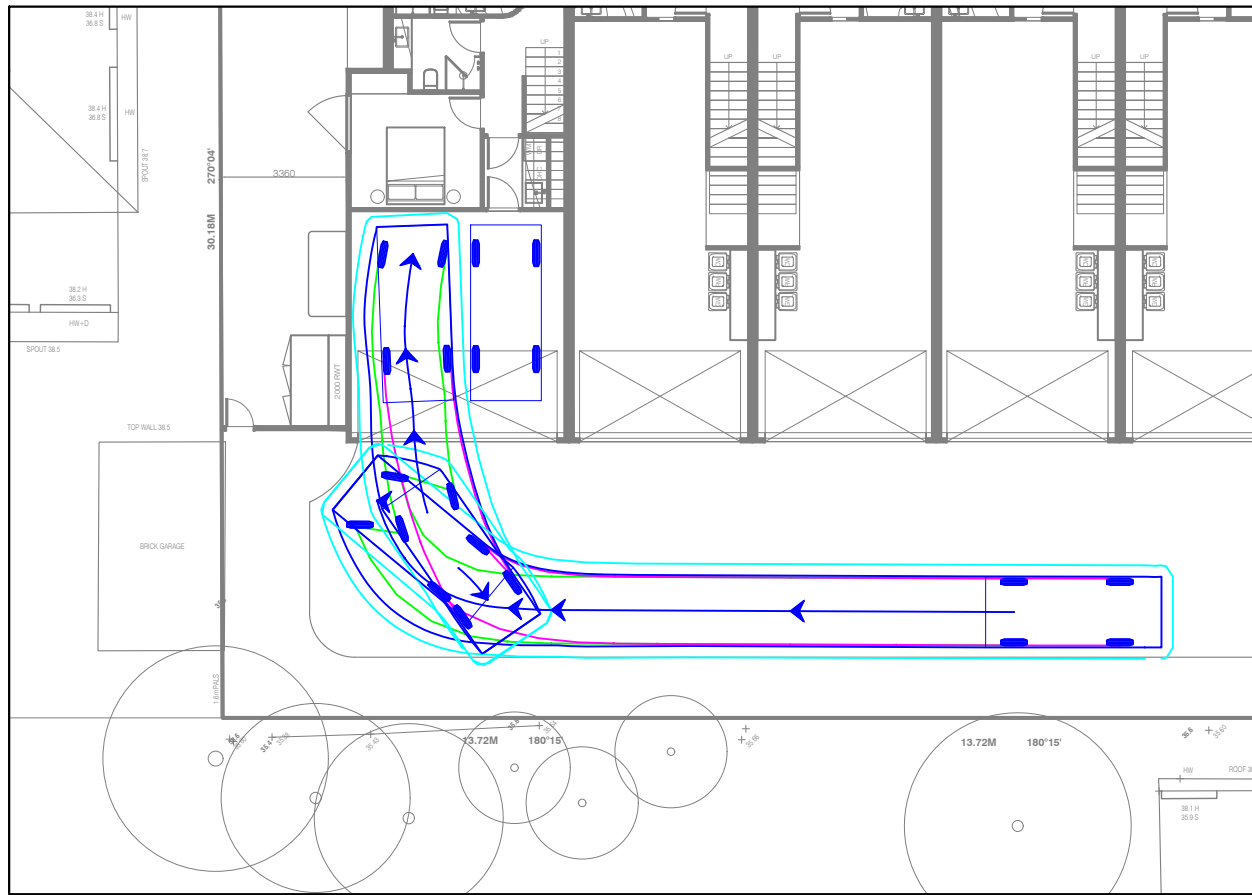
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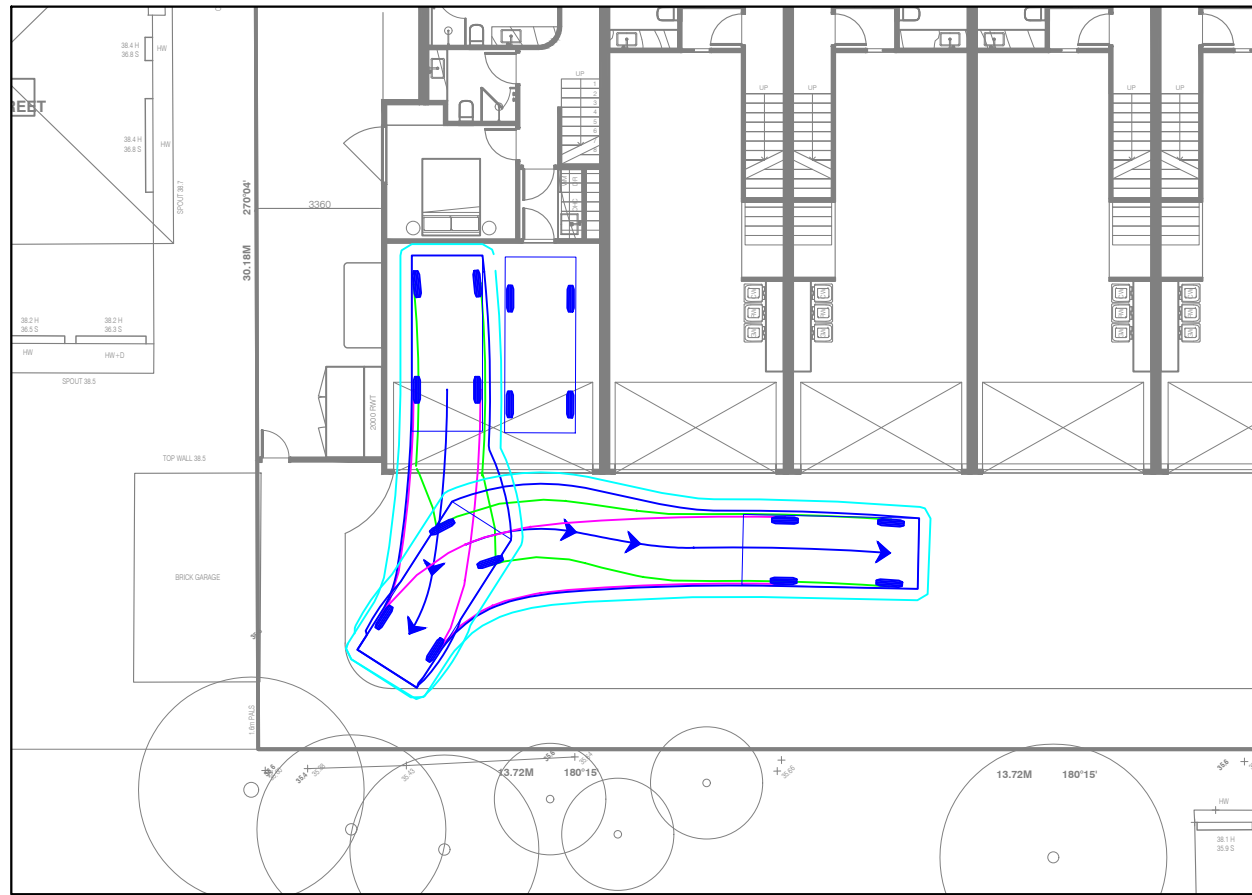
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T: (03) 9822 2888
www.trafficgroup.com.au

DWELLING 1 CAR SPACE 1 - INGRESS



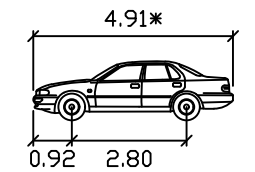
DWELLING 1 CAR SPACE 1 - EGRESS



VEHICLE PROFILE

VEHICLE USED IN SIMULATION

(VEHICLE SPEED - 5KM/H)



85th percentile
(AS/NZS 2890.1:2004)

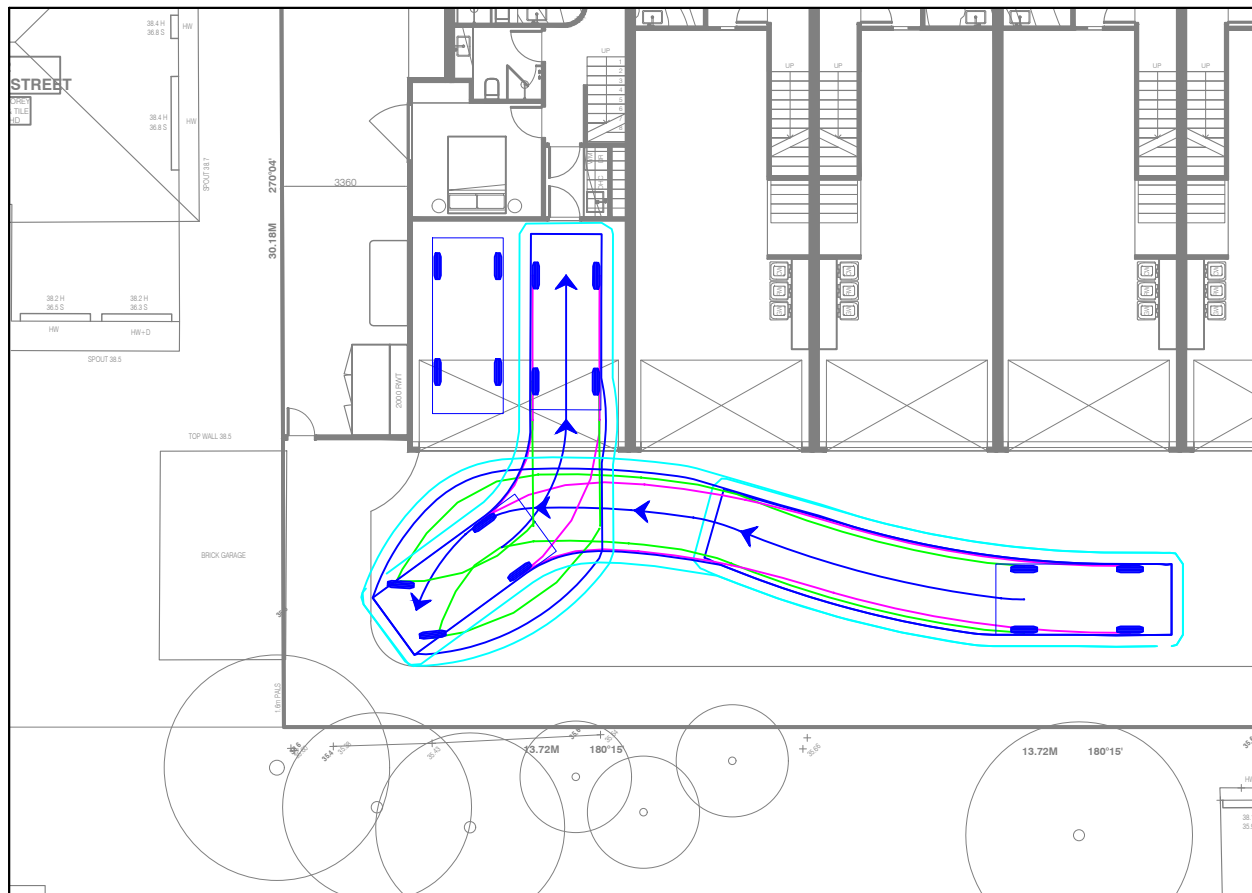
Width : 1.87m
Track : 1.77m
Kerb to Kerb Radius 1.5m

* actual template based on 'relevant longitudinal dimensions that affect swept path' as set out in Section B2.1 of AS/NZS 2890.1:2004

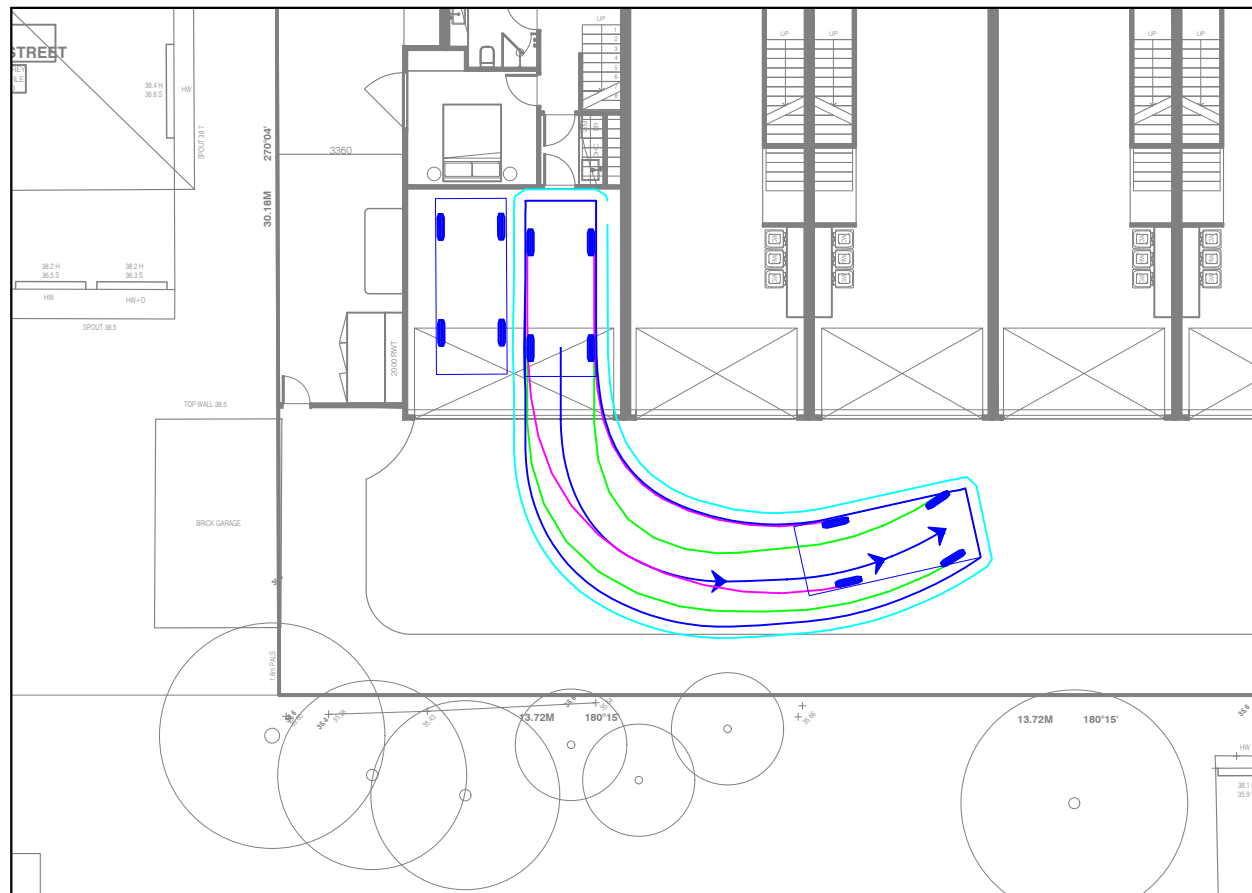
LEGEND

- REAR WHEELS (magenta line)
- FRONT WHEELS (green line)
- VEHICLE BODY (blue line)
- BODY CLEARANCE (cyan line)

DWELLING 1 CAR SPACE 2 - INGRESS



DWELLING 1 CAR SPACE 2 - EGRESS



REV	DATE	NOTES	DESIGNED BY	CHECKED BY
A	10/08/2023	TOWN PLANNING	S. STEPHENSON	J. STONE

54-62 ASHLEY STREET, WEST FOOTSCRAY
PROPOSED RESIDENTIAL DEVELOPMENT

GENERAL NOTES:
BASE INFORMATION FROM: CPT_01 GROUND FLOOR PLAN.dwg
PREPARED BY: Taouk Architects

FILE NAME: G33043-01
SHEET NO.: 02



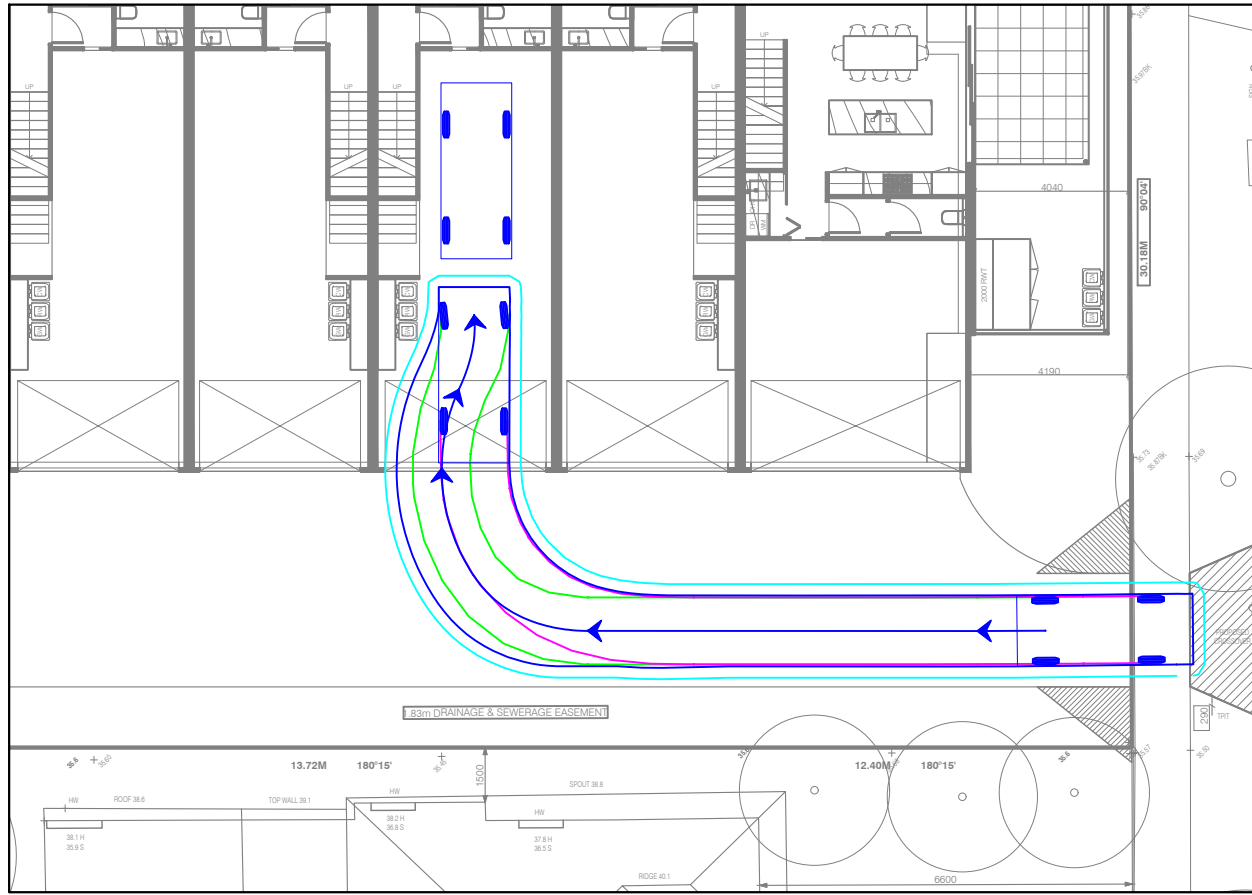
SCALE: 1:200 (A3)

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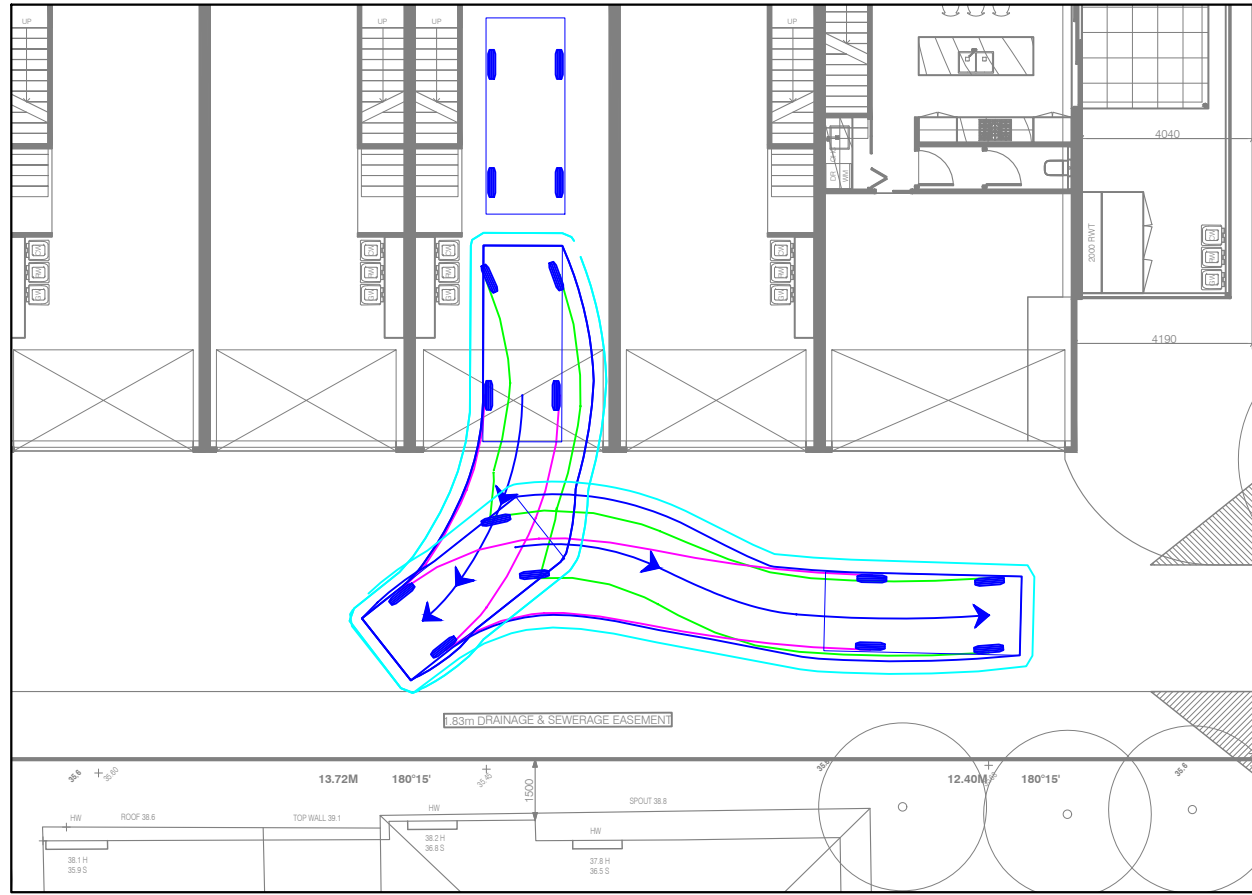
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DWELLING 7 CAR SPACE 2 - INGRESS



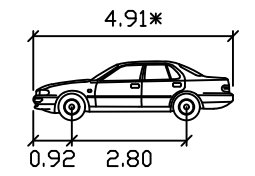
DWELLING 7 CAR SPACE 2 - EGRESS



VEHICLE PROFILE

VEHICLE USED IN SIMULATION

(VEHICLE SPEED - 5KM/H)



85th percentile
(AS/NZS 2890.1:2004)

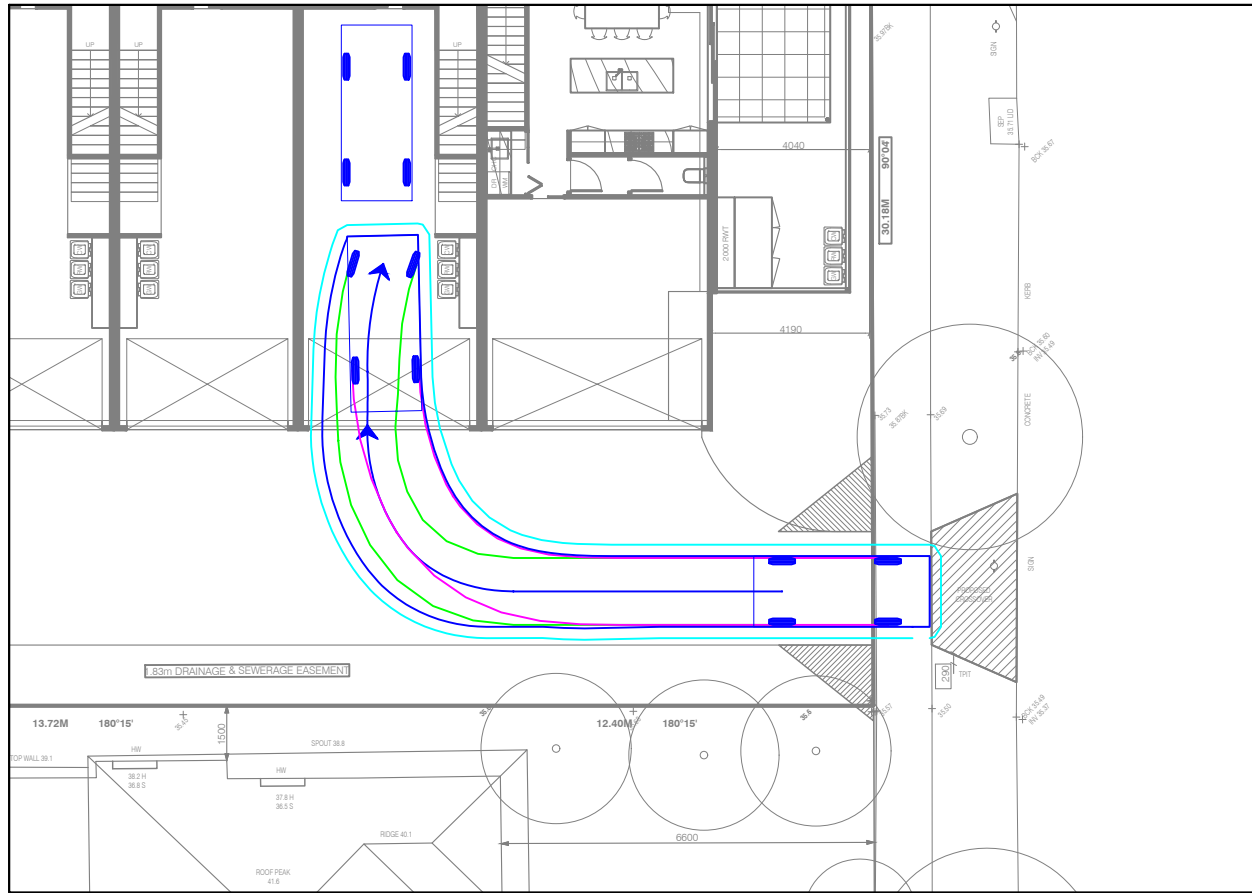
Width : 1.87m
Track : 1.77m
Kerb to Kerb Radius 1.5m

* actual template based on 'relevant longitudinal dimensions that affect swept path' as set out in Section B2.1 of AS/NZS 2890.1:2004

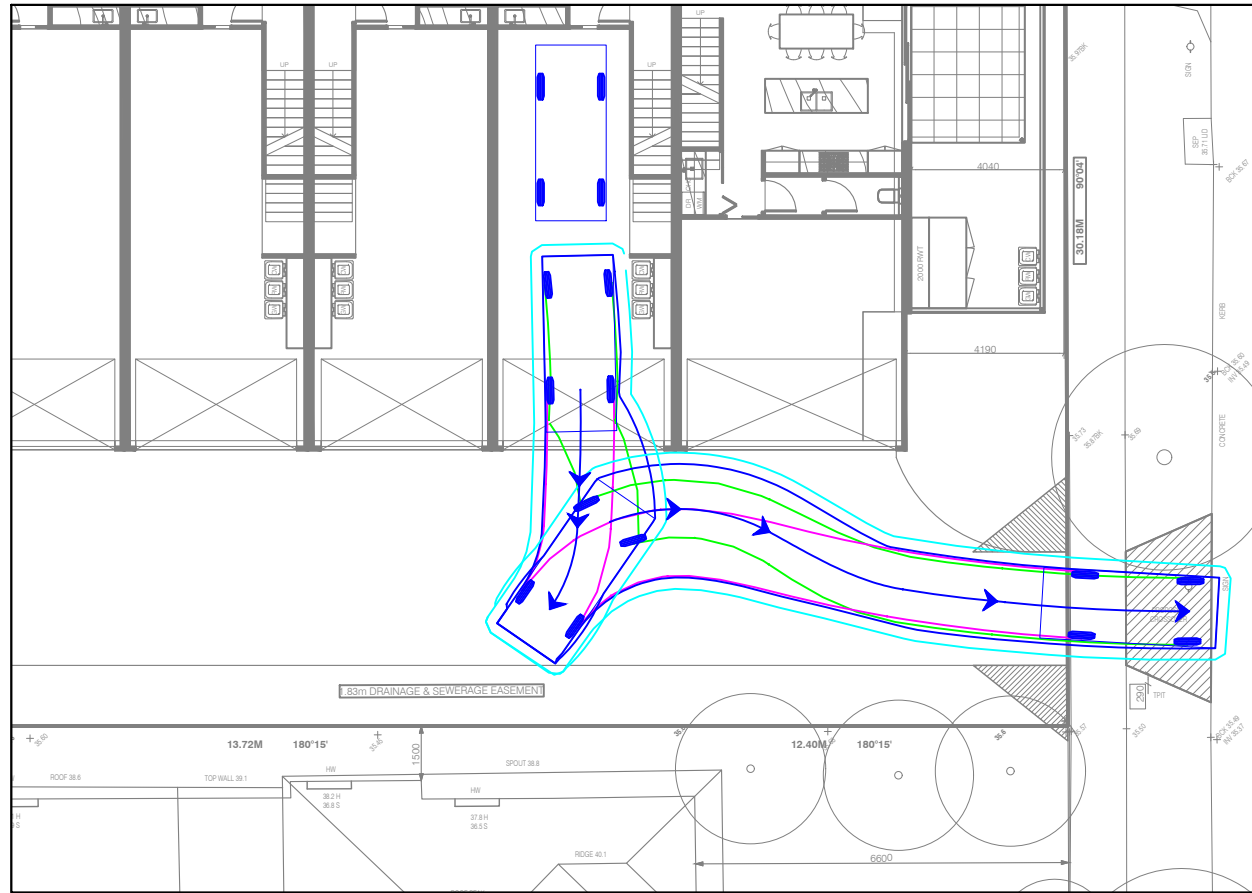
LEGEND

- REAR WHEELS (pink line)
- FRONT WHEELS (green line)
- VEHICLE BODY (blue line)
- BODY CLEARANCE (cyan line)

DWELLING 8 CAR SPACE 1 - INGRESS



DWELLING 8 CAR SPACE 1 - EGRESS



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54-62 ASHLEY STREET, WEST FOOTSCRAY
PROPOSED RESIDENTIAL DEVELOPMENT

GENERAL NOTES:
BASE INFORMATION FROM: CPT_01 GROUND FLOOR PLAN.dwg
PREPARED BY: Taouk Architects

FILE NAME: G33043-01
SHEET NO.: 03



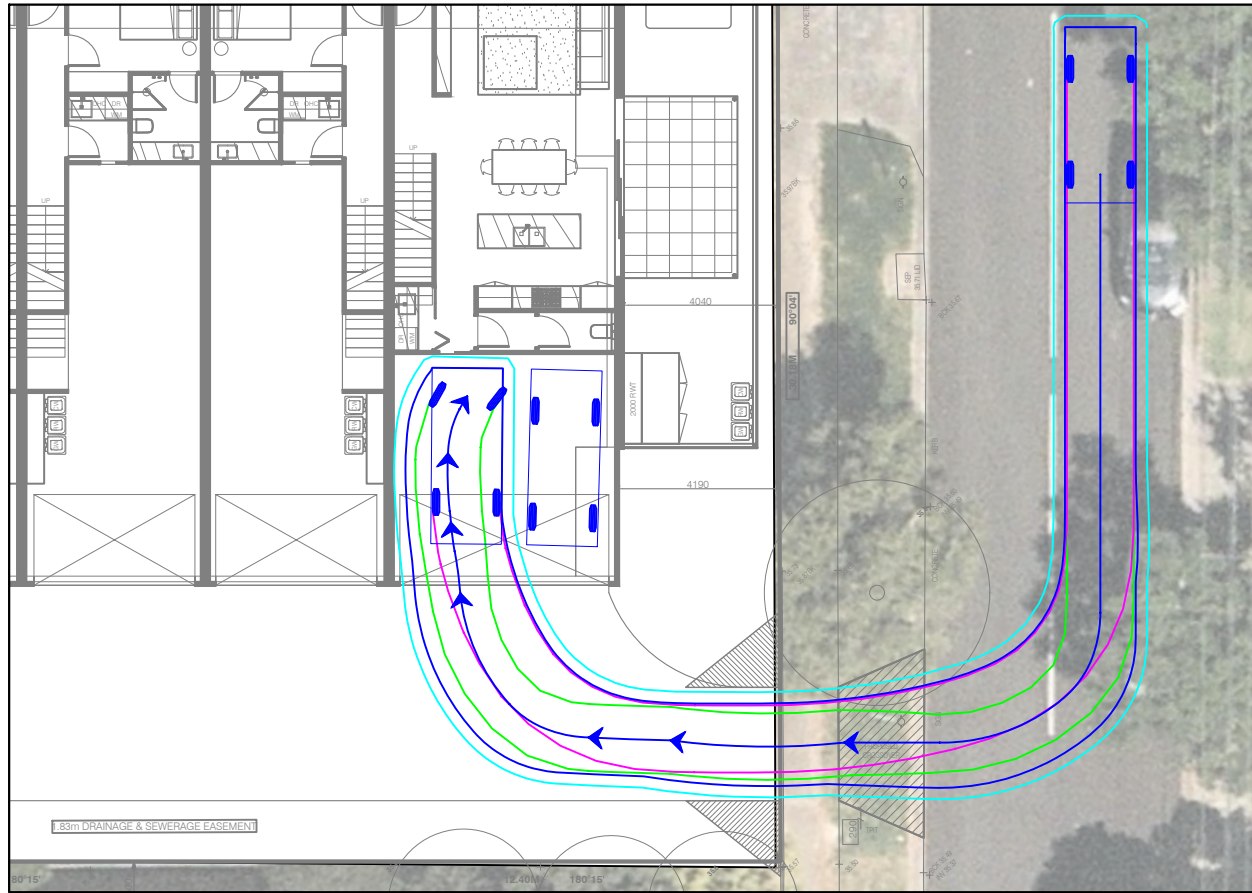
SCALE: 1:200 (A3)

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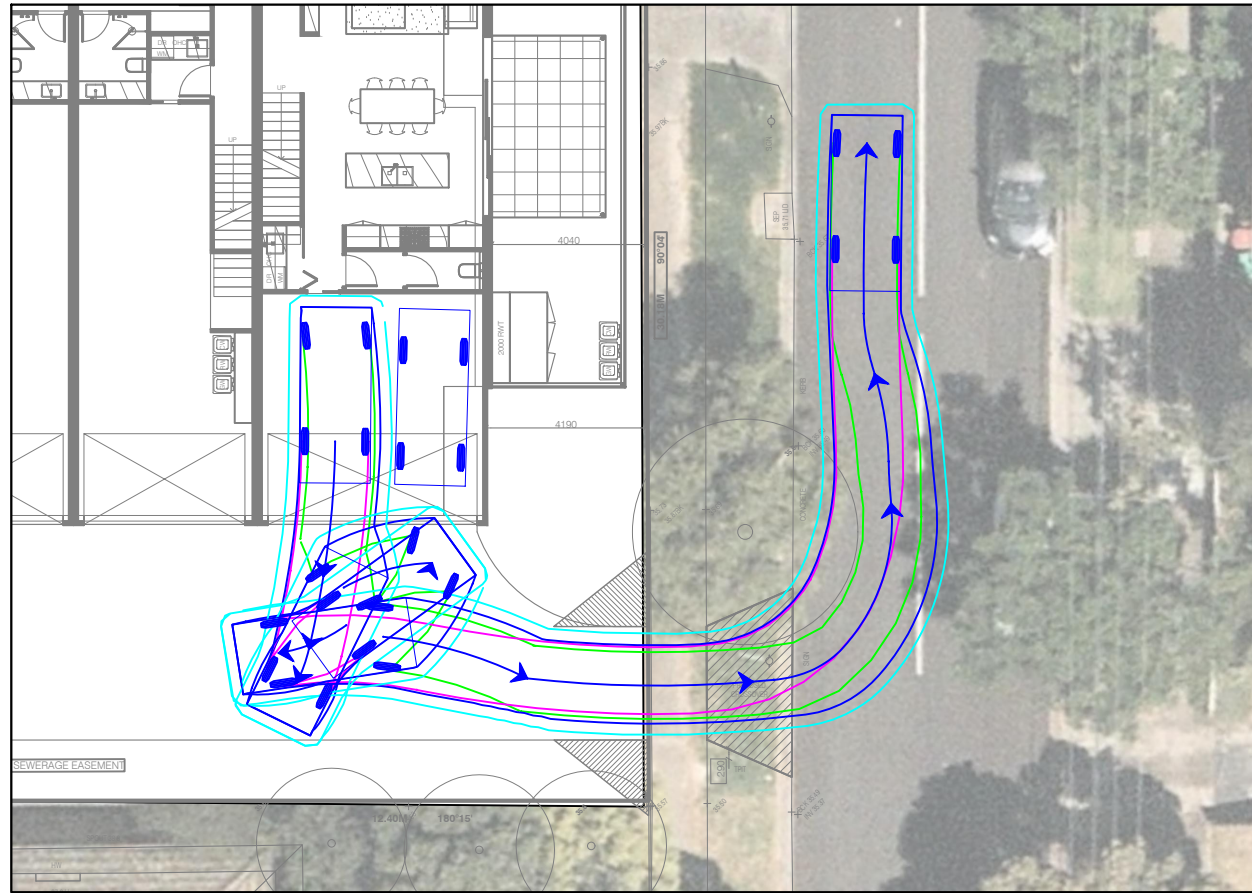


Level 28, 459 Collins St, MELBOURNE VIC 3000
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DWELLING 9 CAR SPACE 1 - INGRESS



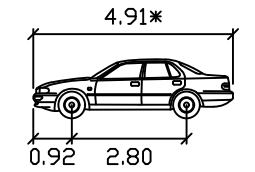
DWELLING 9 CAR SPACE 1 - EGRESS



VEHICLE PROFILE

VEHICLE USED IN SIMULATION

(VEHICLE SPEED - 5KM/H)



85th percentile
(AS/NZS 2890.1:2004)

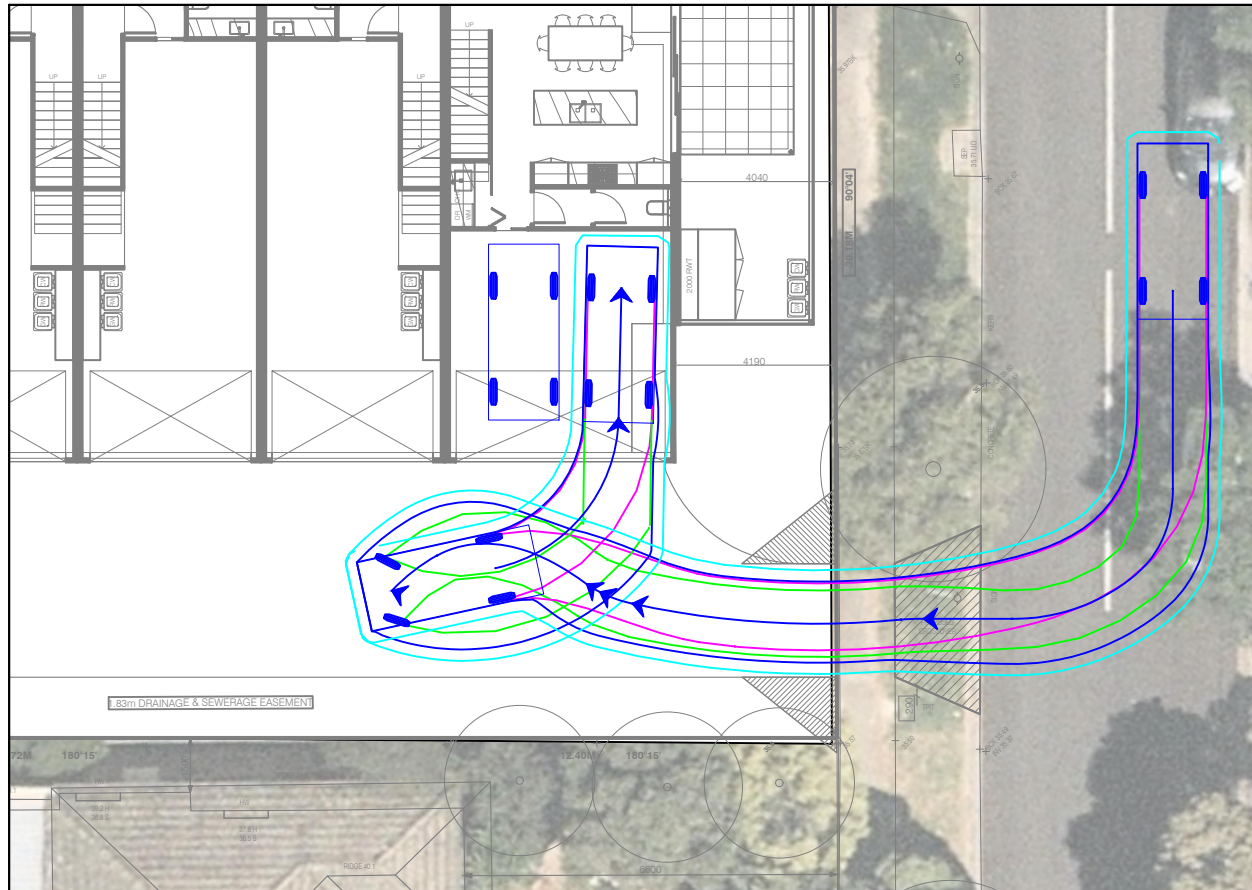
Width : 1.87m
Track : 1.77m
Kerb to Kerb Radius 1.5m

* actual template based on 'relevant longitudinal dimensions that affect swept path' as set out in Section B2.1 of AS/NZS 2890.1:2004

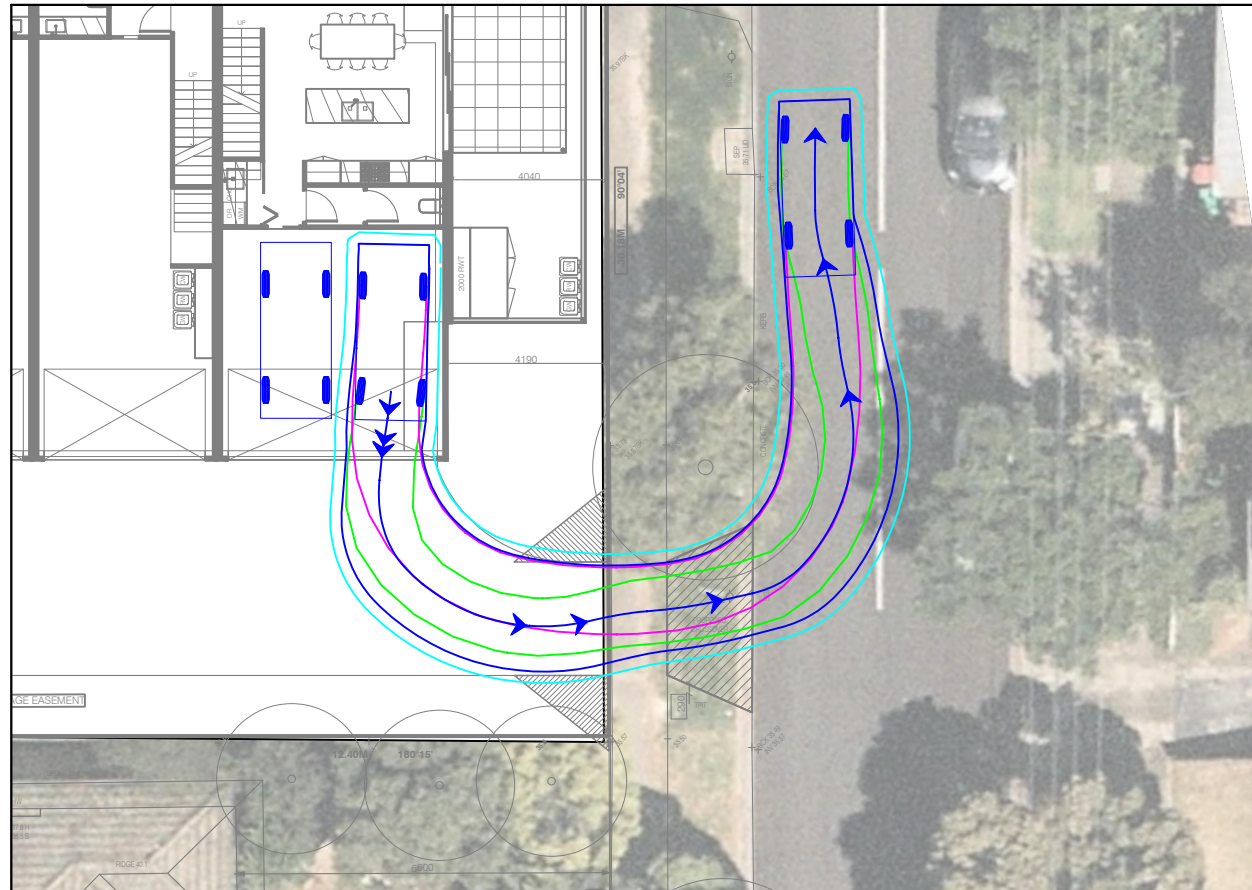
LEGEND

- REAR WHEELS (magenta line)
- FRONT WHEELS (green line)
- VEHICLE BODY (blue line)
- BODY CLEARANCE (cyan line)

DWELLING 9 CAR SPACE 2 - INGRESS



DWELLING 9 CAR SPACE 2 - EGRESS



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54-62 ASHLEY STREET, WEST FOOTSCRAY
PROPOSED RESIDENTIAL DEVELOPMENT

GENERAL NOTES:
BASE INFORMATION FROM: CPT_01 GROUND FLOOR PLAN.dwg
PREPARED BY: Taouk Architects

FILE NAME: G33043-01
SHEET NO.: 04



SCALE: 1:200 (A3)

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