

CITY OF MARIBYRNONG ADVERTISED PLAN

ADDRESS 4 WEBSTER STREET, SEDDON

SITE INFORMATION

SITE AREA 564M2
LOCAL AUTHORITY CITY OF MARIBYRNONG
PLANNING OVERLAYS HERITAGE OVERLAY - H09
DEVELOPMENT CONTRIBUTION PLAN OVERLAY SCHEDULE 2 - DCP02
NEIGHBOURHOOD RESIDENTIAL ZONE SCHEDULE 1 - NRZ1

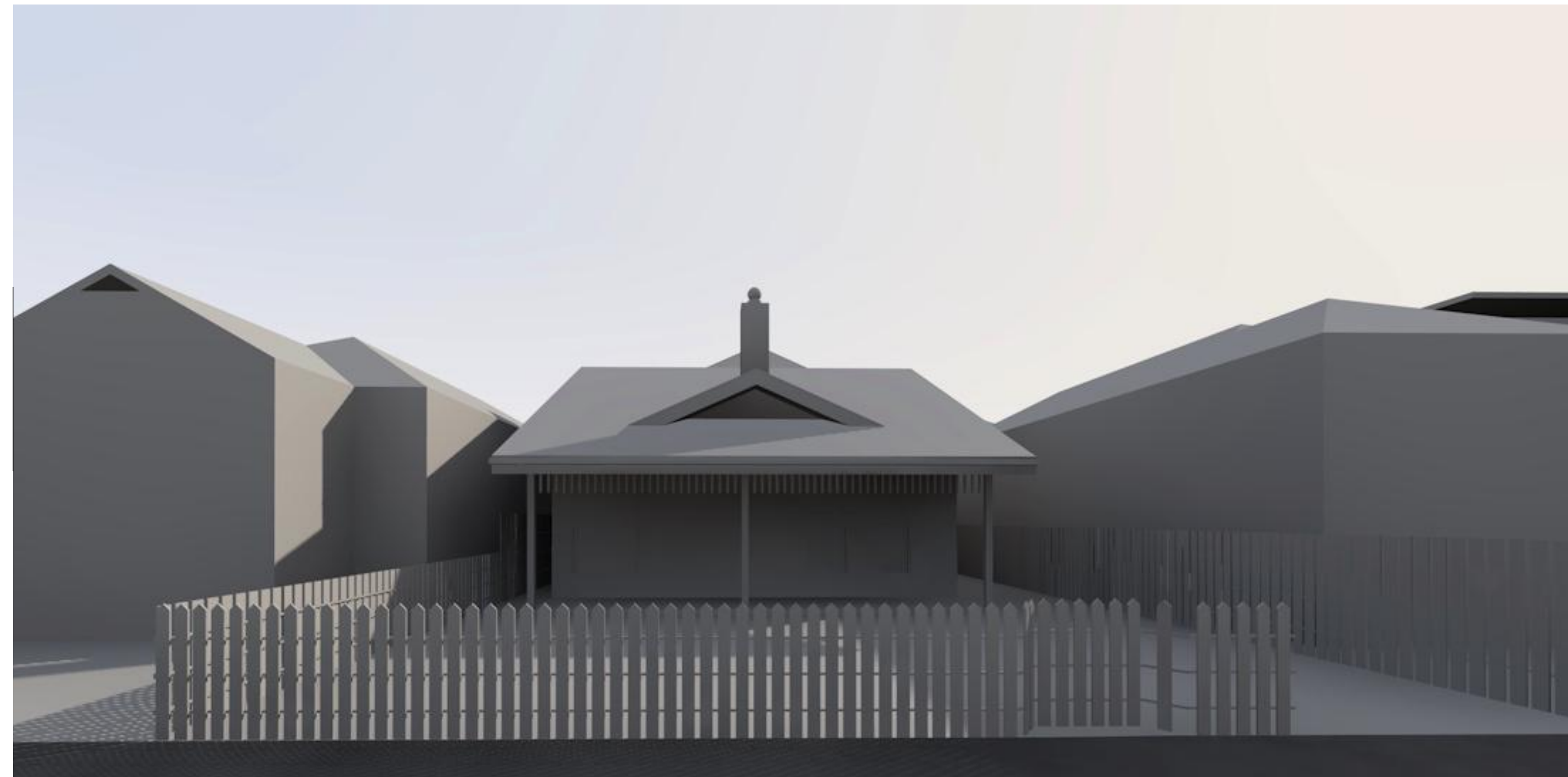


DATE
17/2/2025

PROJECT
WEBSTER STREET HOUSE

Town Planning Application Schedule

| | |
|------|------------------------------------|
| 1000 | Cover |
| 1100 | Rescode |
| 1101 | Existing Shadows - 22 September |
| 1102 | Proposed Shadows - 22 September |
| 1200 | Context Plan |
| 1201 | Proposed Site Plan and Streetscape |
| 1202 | Context Photos |
| 1203 | Finishes Schedule |
| 2000 | Floor Plans - Proposed |
| 2001 | Roof Plan - Proposed |
| 2100 | Demolition Plans |
| 2101 | Demolition Elevations |
| 3000 | Elevations |
| 4000 | Sections |



| REV | DESCRIPTION | DATE |
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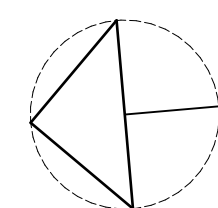
WORKS TO MEET CONSTRUCTION REQUIREMENTS OF THE BUSHFIRE ATTACK LEVEL - BAL 12.5. REFER GENERAL NOTES - SPECIFICATION.

Client
MR & MRS PIERIS 4 WEBSTER STREET
SEDDON, VICTORIA
AUSTRALIA 3011

Site Address
**WEBSTER STREET SEDDON VICTORIA 3011
AUSTRALIA**

Consultant
moody architecture

Client details



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Project Title
**WEBSTER STREET
PROPOSED RENOVATION**

Drawing Title
**Cover Sheet
Cover**

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Verified: **DM** Approved

Creation Date: 17/2/2025 By

File: 250217 - Webster Street.pln Plot Date 17/2/2025

Scale: Job No: Drawing No Rev

1:0.6667, 1:1, 1:94.0495 **22001** **1000** **01**

CONCEPT DESIGN

RESCODE RESPONSES

A3 - Street setbacks
 Proposed meets standard.
 No proposed change to existing street setbacks

A4 - building height
 Proposed meets standard.
 Proposed building height less than 9000mm

A5 - Site coverage
 Proposed meets standard.
 No proposed increase to m2 of Site coverage.
 Proposal sits within existing building footprint.

A6 - permeability
 Proposed meets standard.
 Minor 2.2% proposed change compared to existing permeability due to increased paved areas.

A10 - Side and rear setbacks
 Minor encroachment western boundary side setback by existing heritage building.
 Proposed sits within Rescode setbacks.

A11 - Walls on boundary
 No proposed walls on boundary.
 Proposed carport extension length and height meets this standard.

A12 - Daylight to existing windows
 Proposed meets this standard.
 Existing east neighbouring ground level window condition is unchanged between proposed and existing.
 Existing west neighbouring ground level window condition is improved with proposed increased west boundary setback.

A13 - North facing windows
 Proposed meets this standard.

A14 - overshadowing open space
 Refer shadow diagrams.
 Proposed meets this standard.
 Minor shadow addition for extended carport to east neighbouring POS.
 Shadow reduction to west neighbouring POS due to increased setback.

A15 - overlooking
 Proposed Level 1 west facing habitable windows proposed to be screened for privacy to west neighbouring ground level habitable room windows to meet standard, as shown on proposed plans and elevations.
 Minor POS overlooking encroachment from Level 1 north facing habitable window when measured 9m in plan, however this encroachment would be obscured by existing fencing.

A16 - daylight to new windows
 Proposed meets this standard.

A17 - private open space
 Proposed meets this standard.
 Noted increase to western boundary setback to be used as landscape buffer zone.
 However main north facing existing private open space effectively unchanged.

A20 - front fences
 No Proposed change to existing front fence

Notes

relevant planning overlay controls
NRZ1:

32.09-4 Minimum Garden Area

564m2 approx
 min 30%

32.09-10 max building height 9m

relevant planning overlay controls
HO9:

solar energy system controls apply

AMENDMENTS

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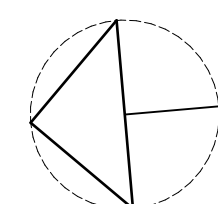
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 Rescode

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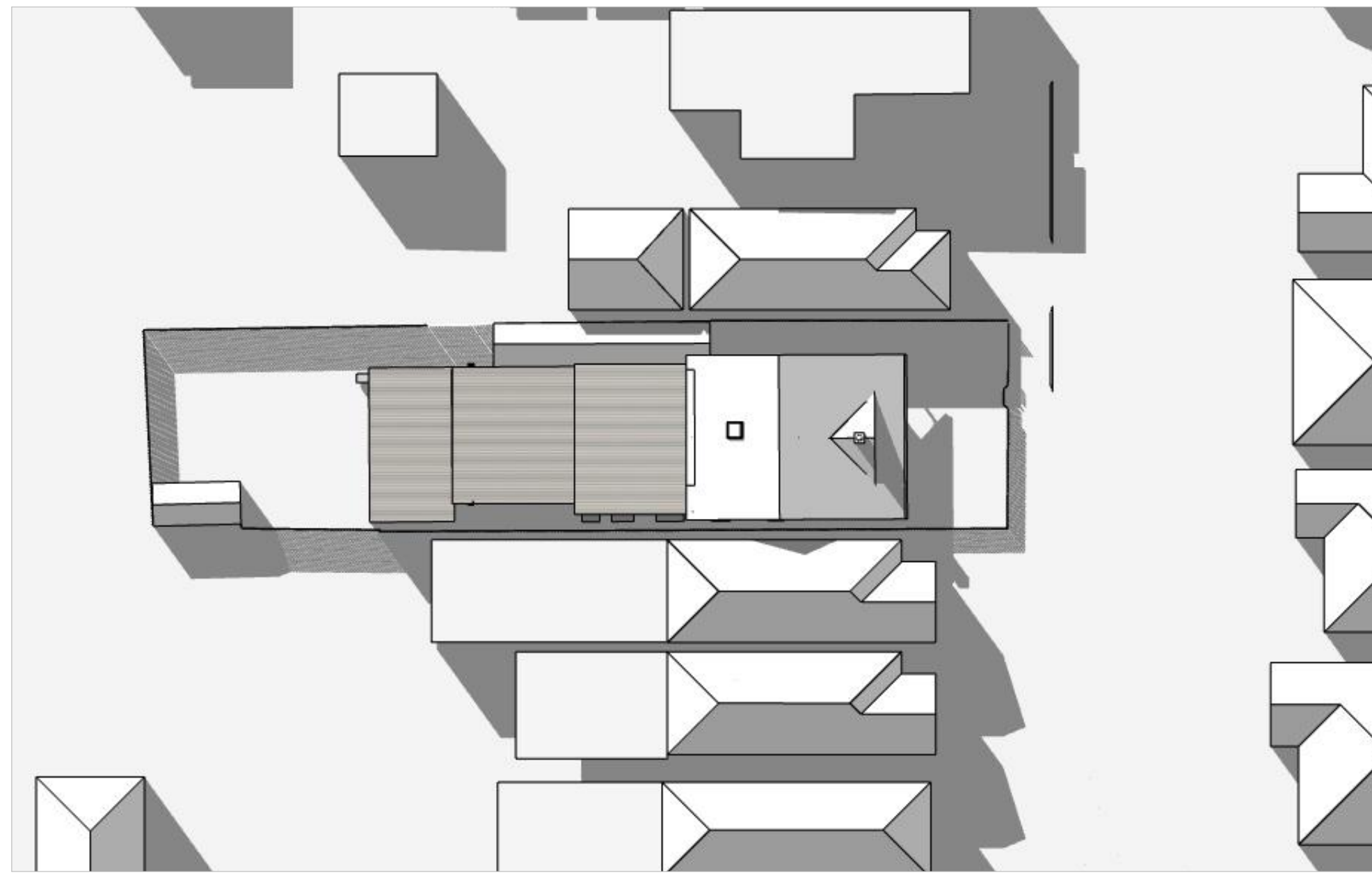
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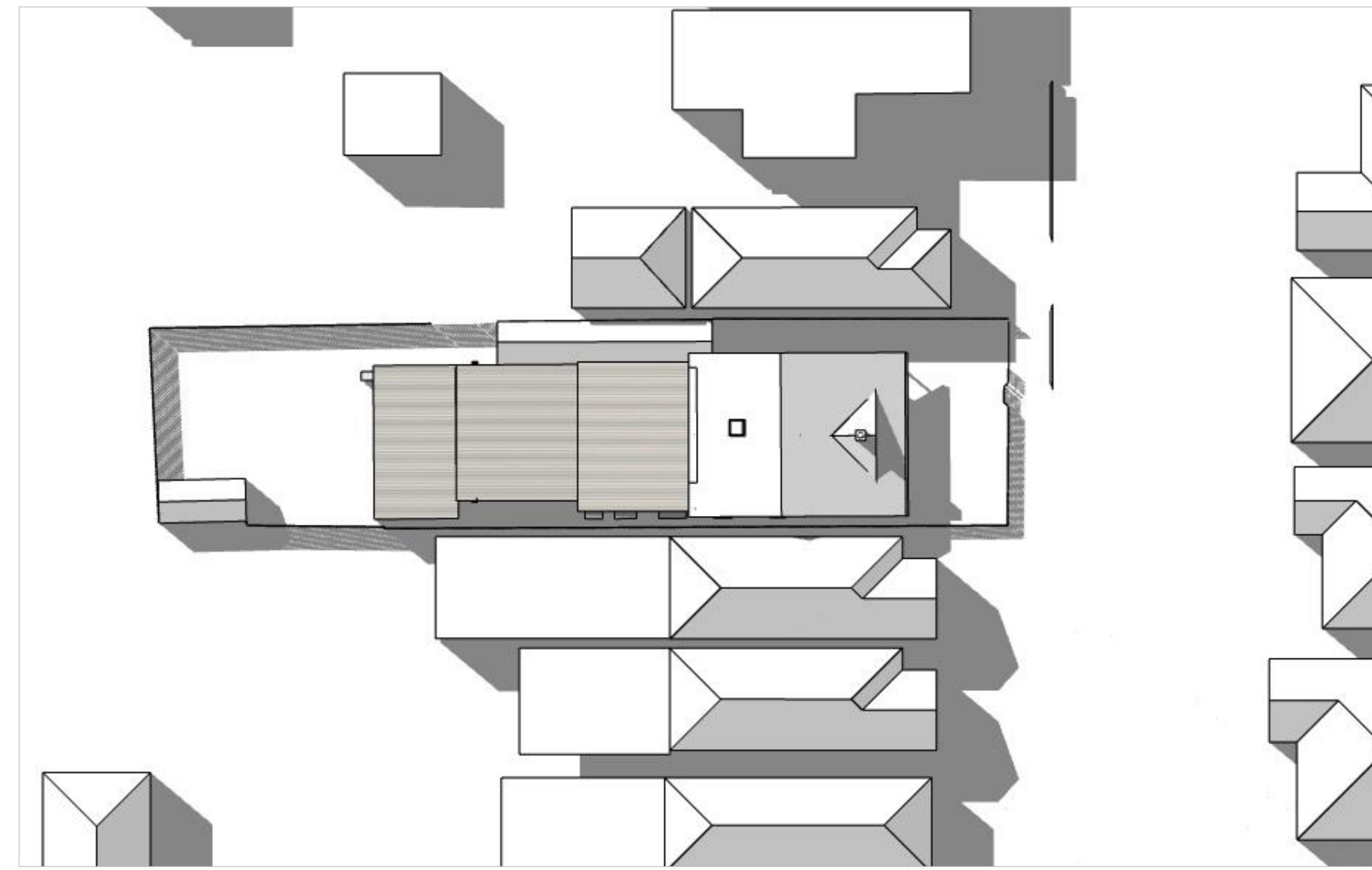
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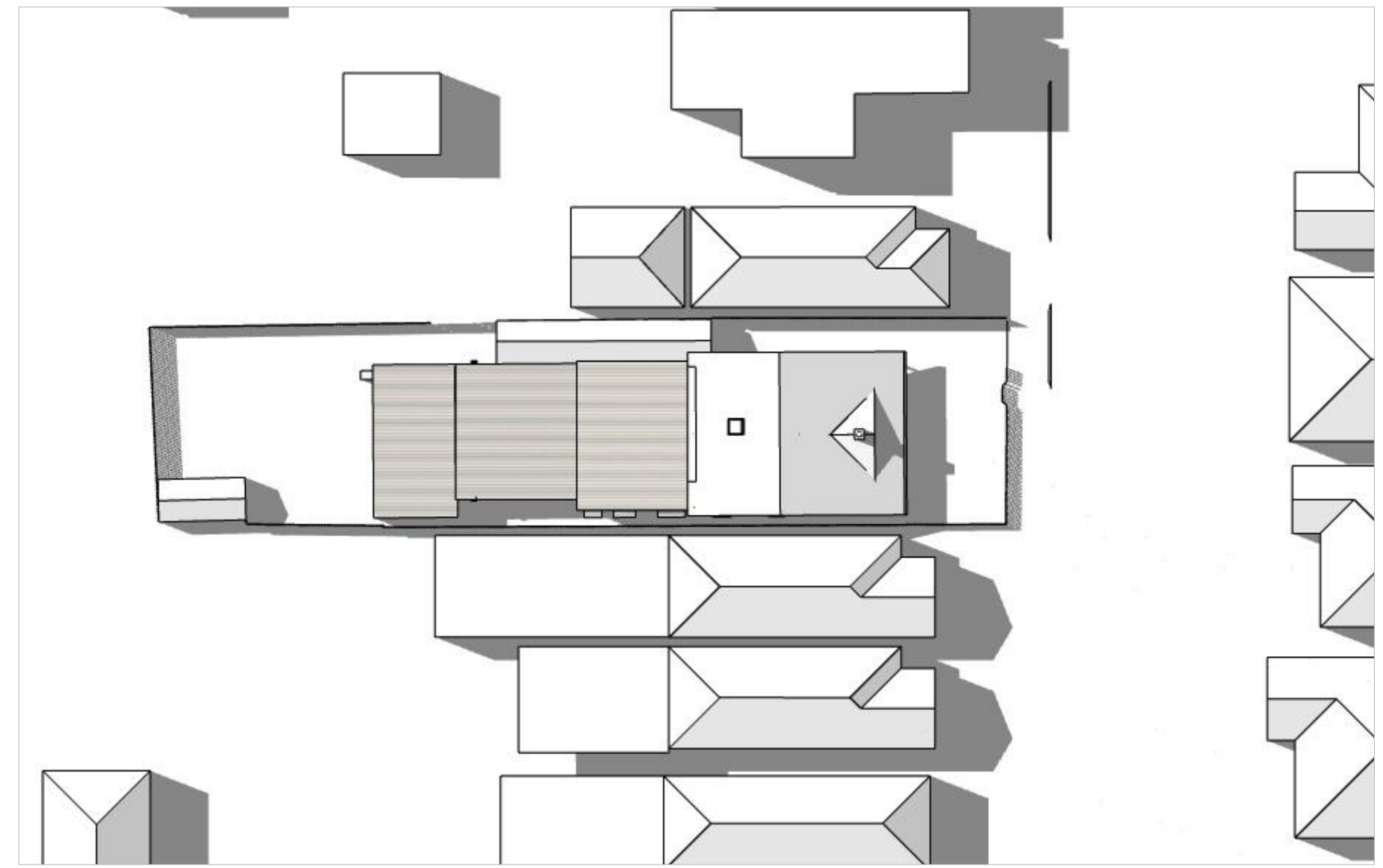
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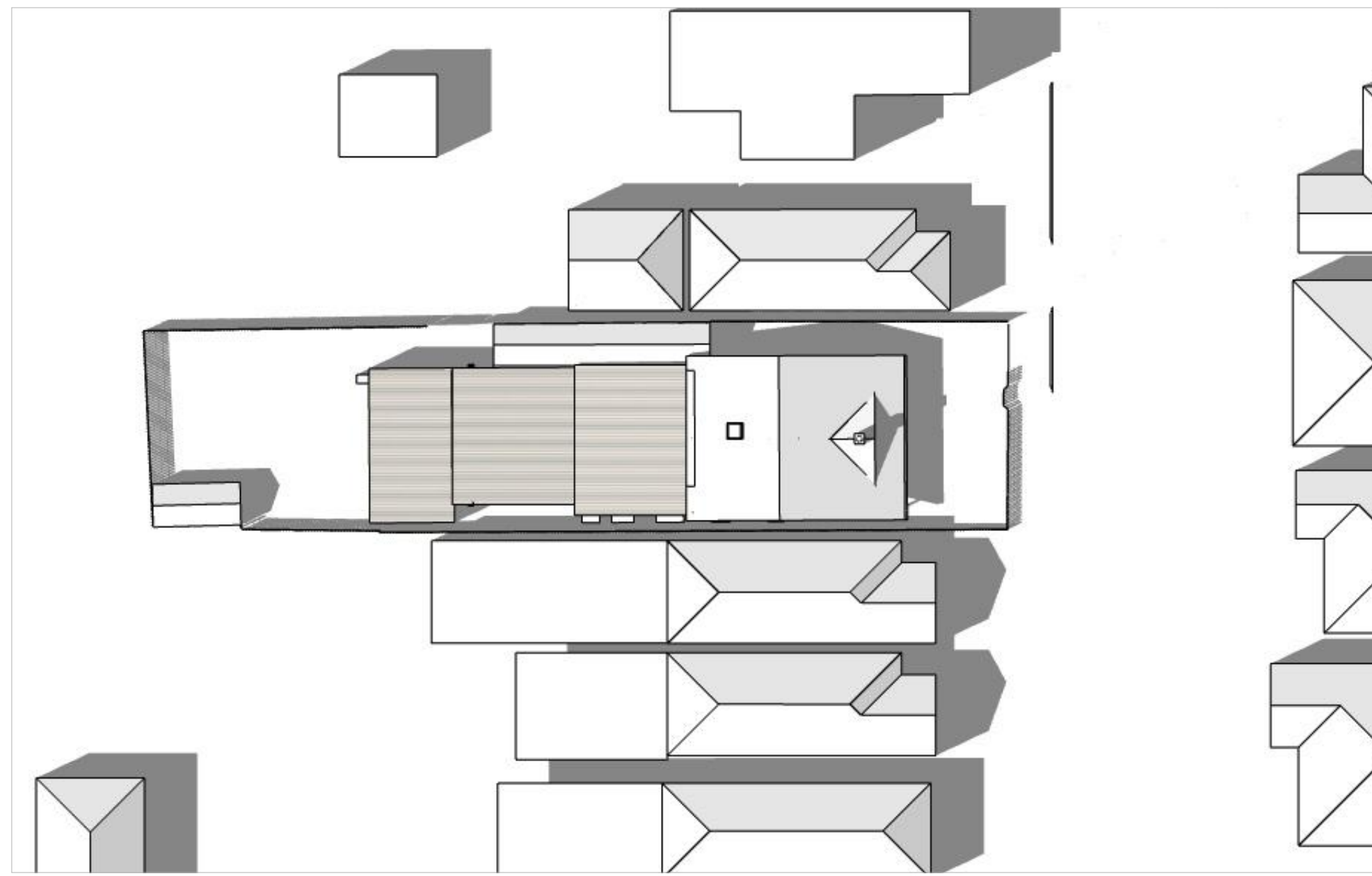
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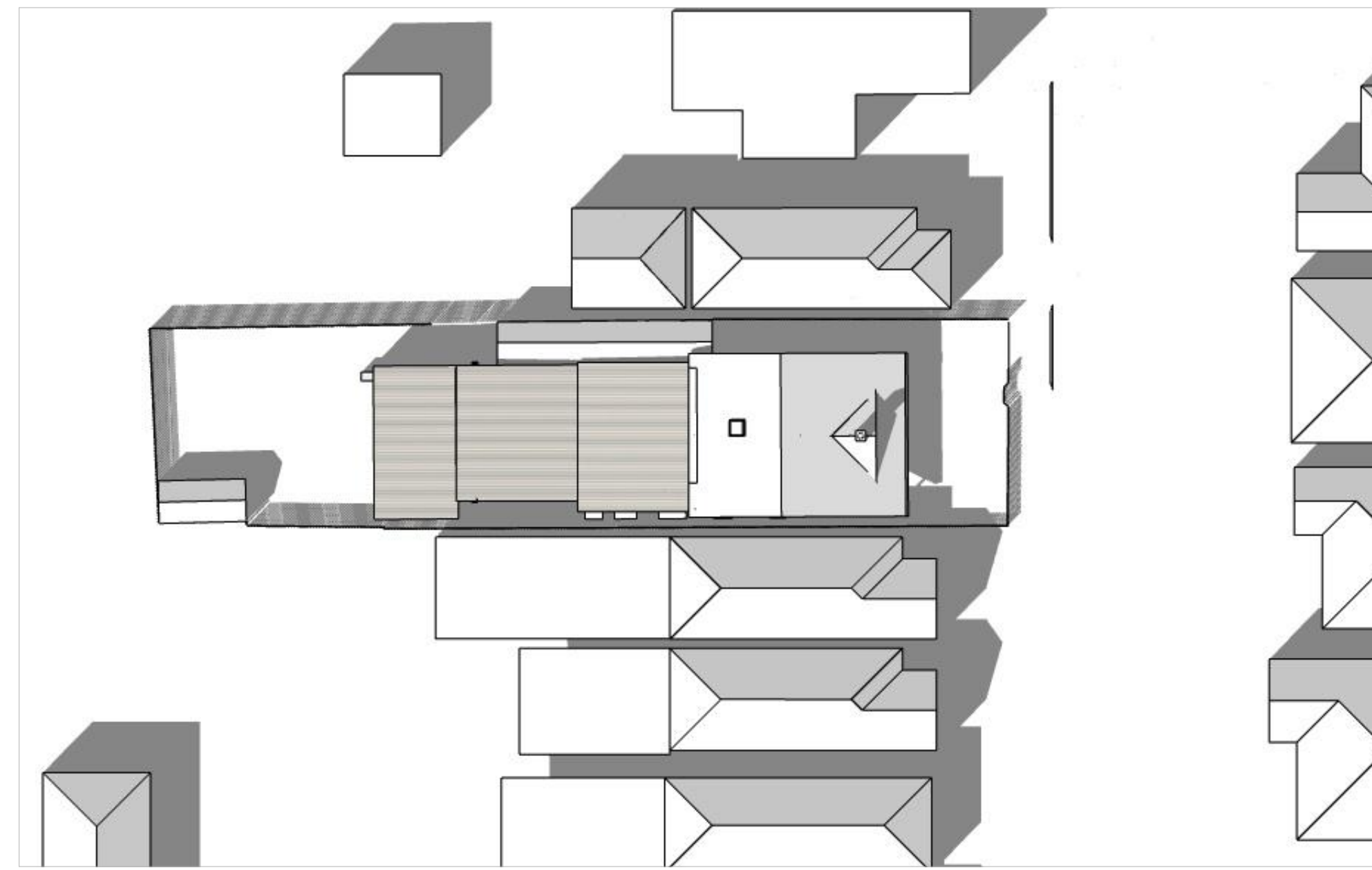
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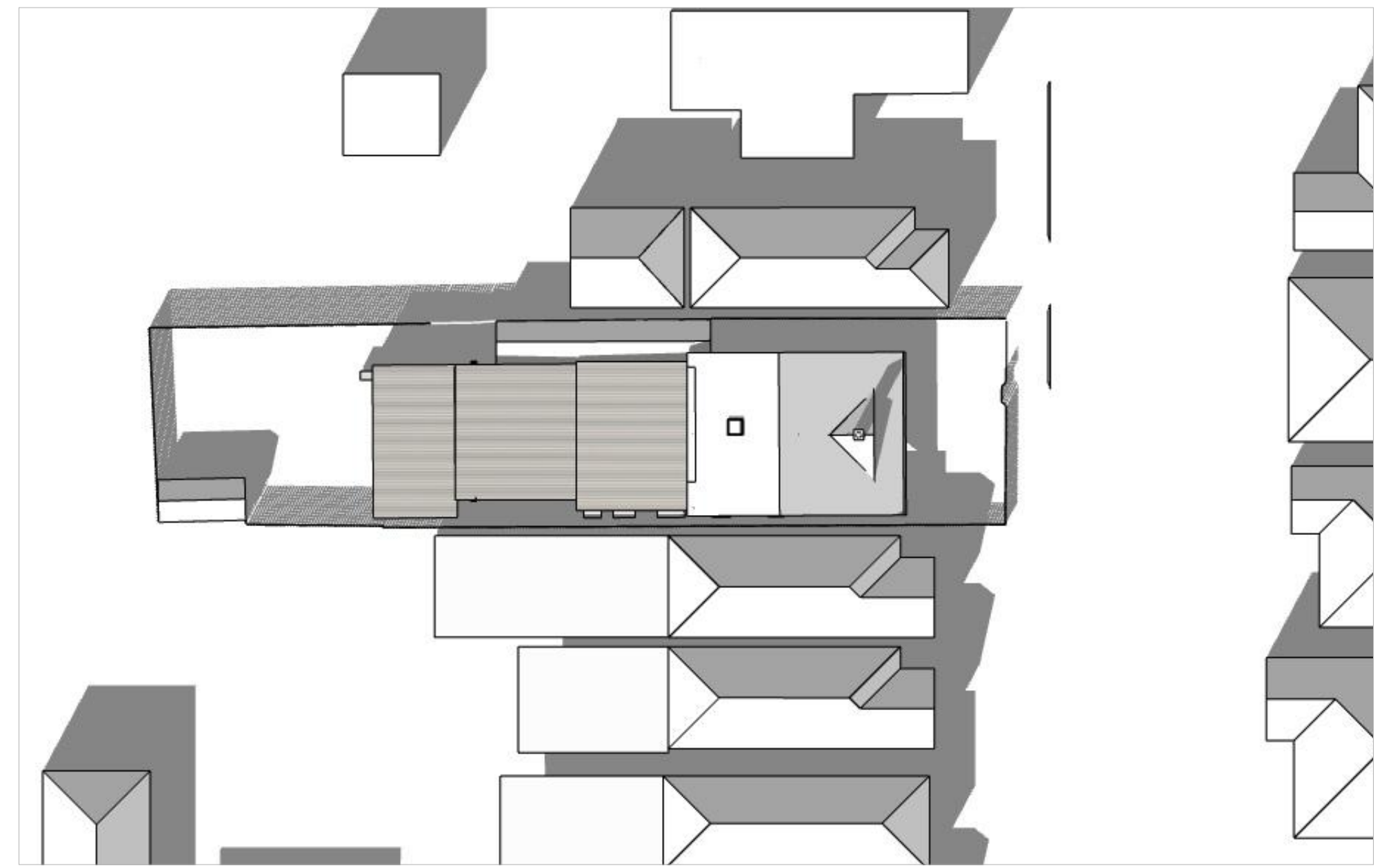
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4 3D VIEW 22/09 - 1pm
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5 3D VIEW 22/09 - 2pm
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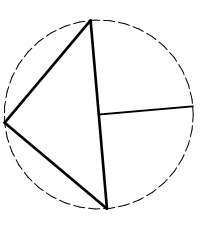
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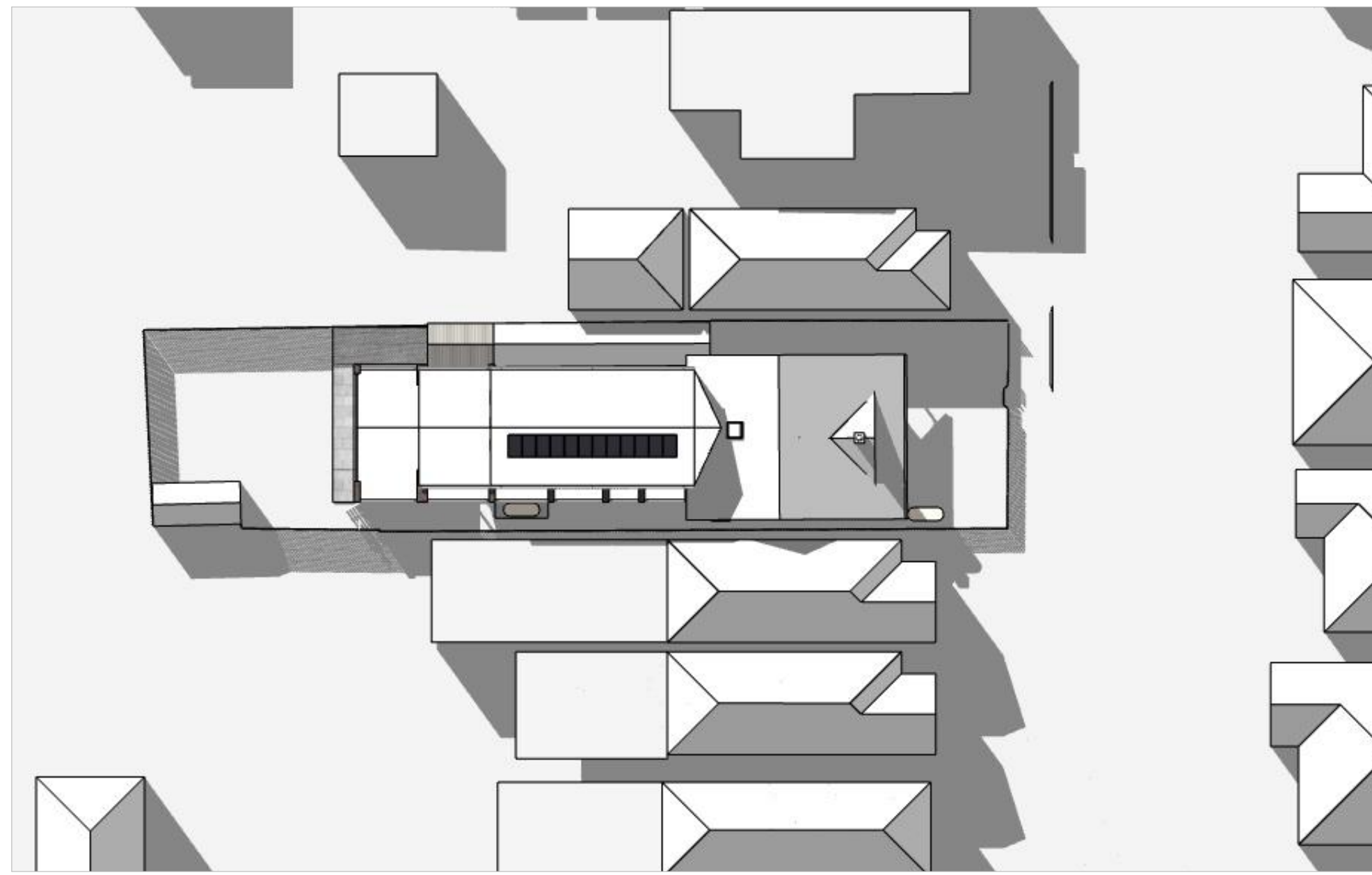
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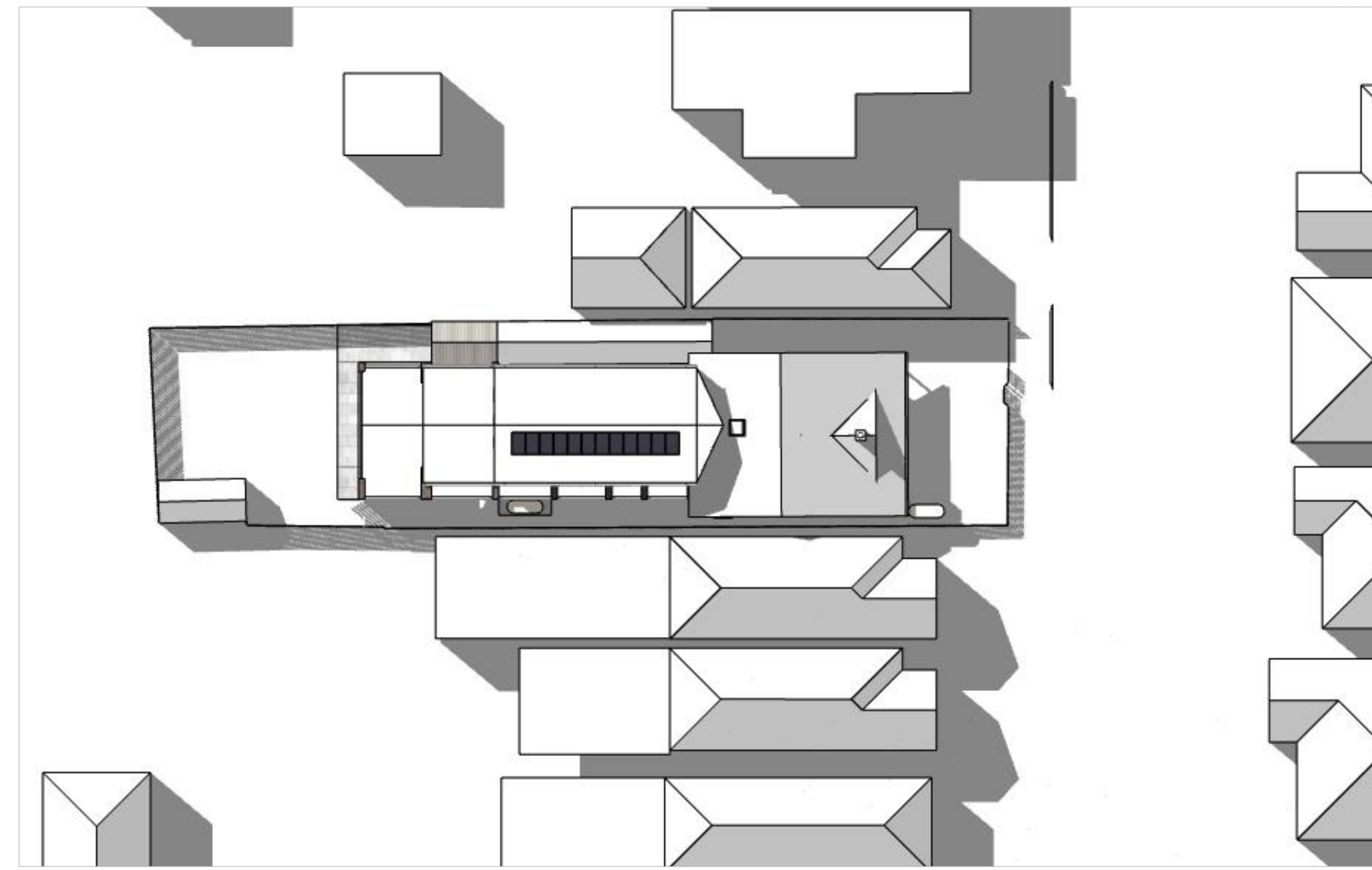
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 PROPOSED RENOVATION**
 Drawing Title
**General Notes
 Existing Shadows - 22 September**

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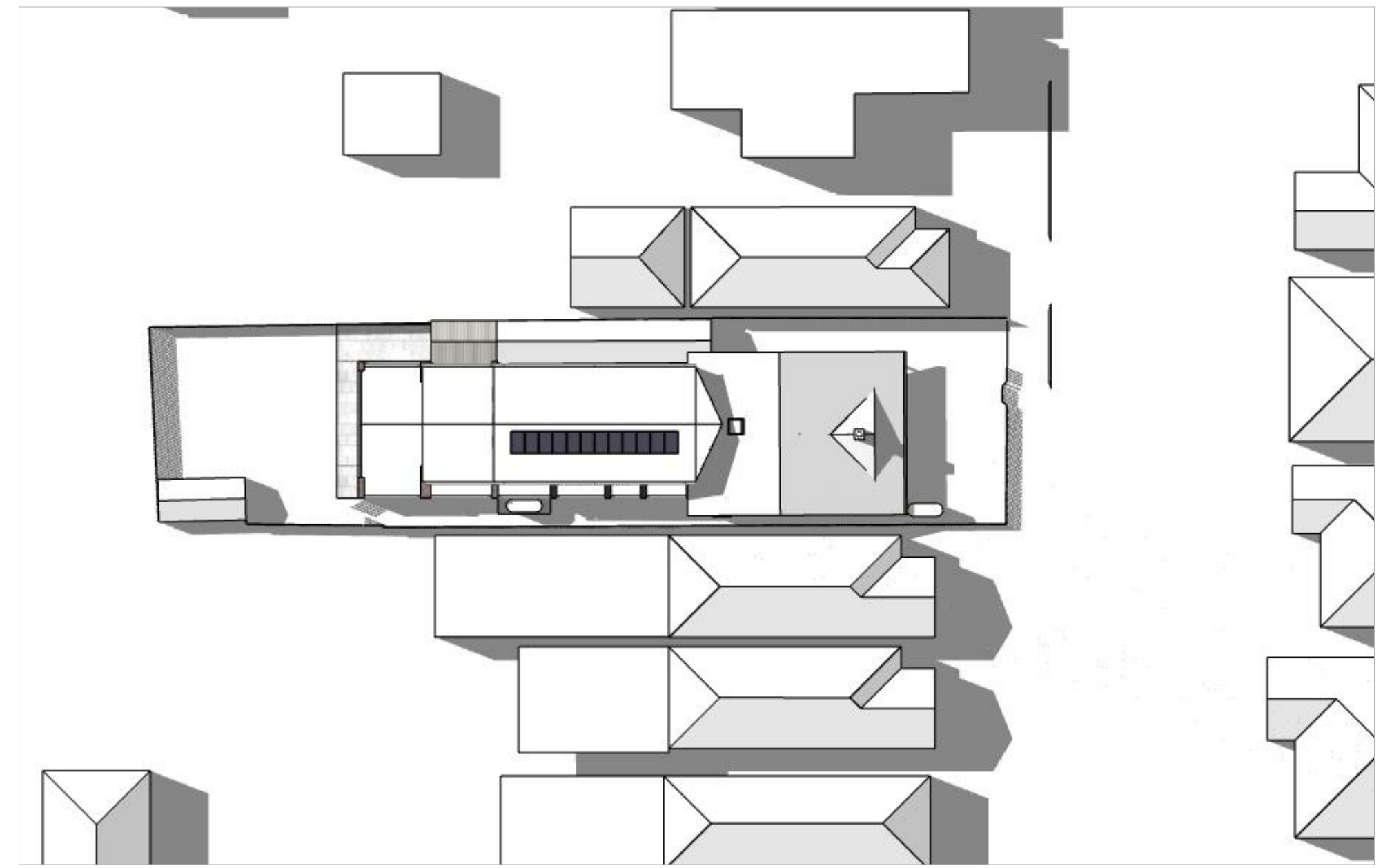
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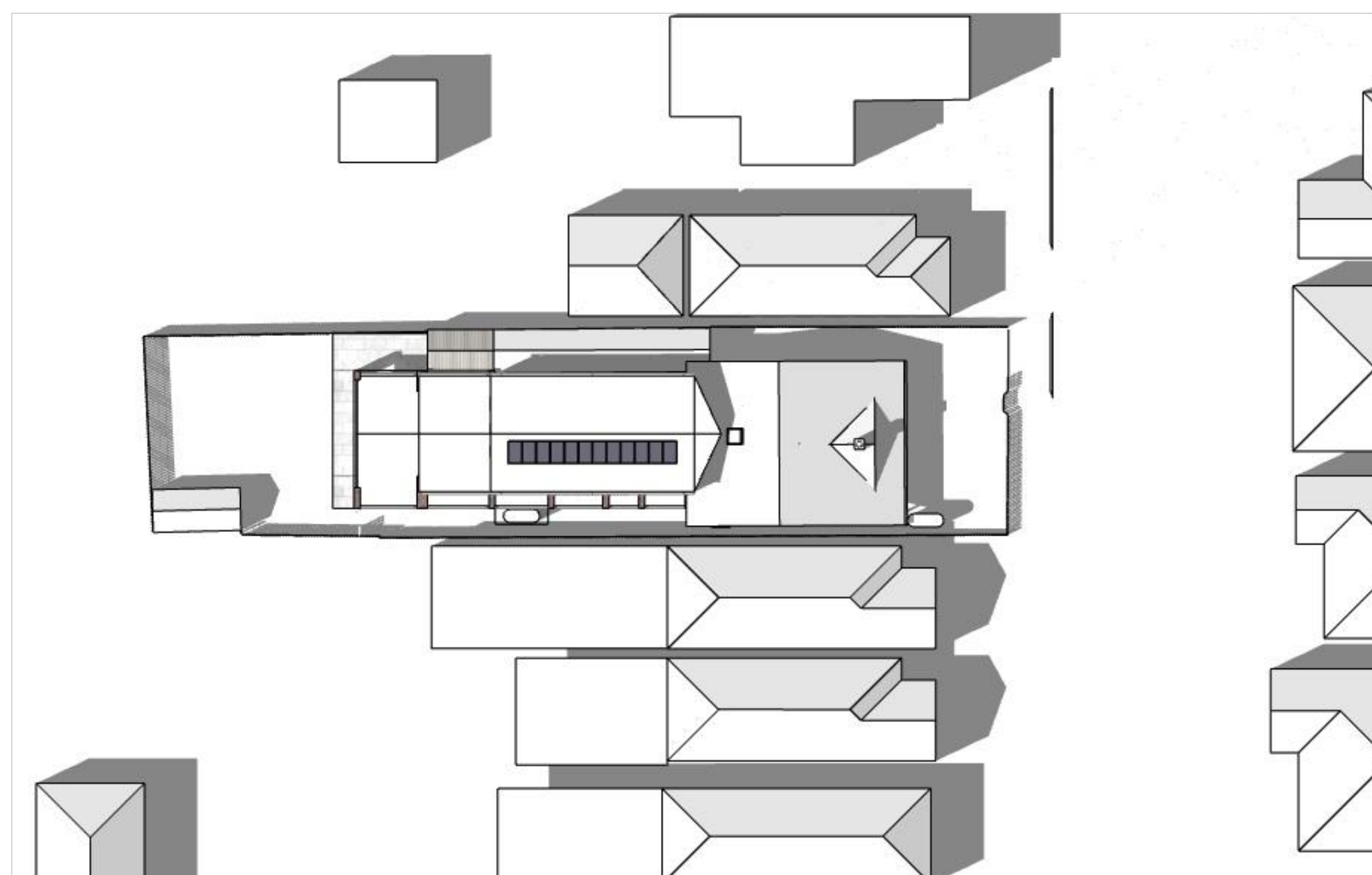
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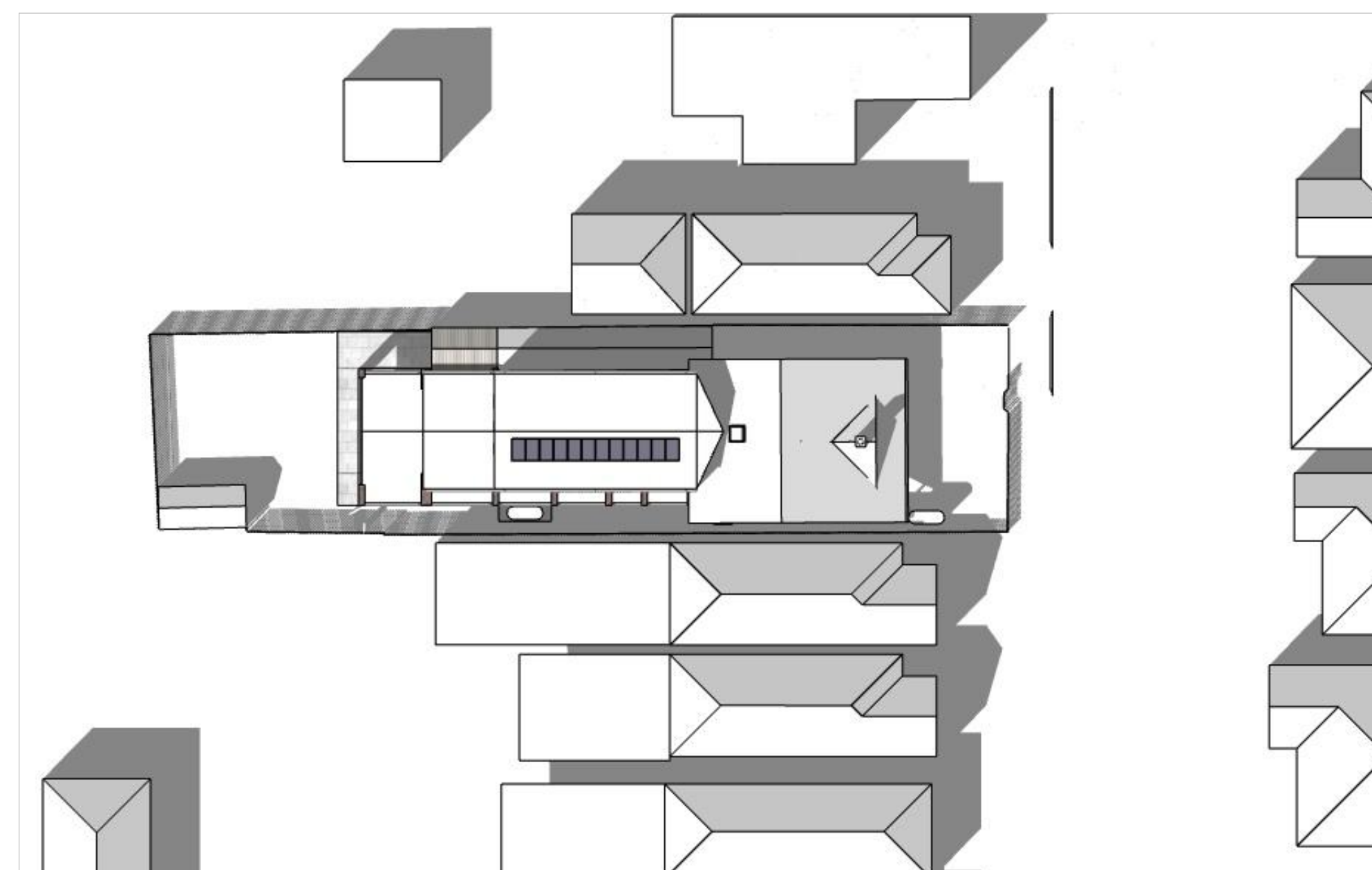
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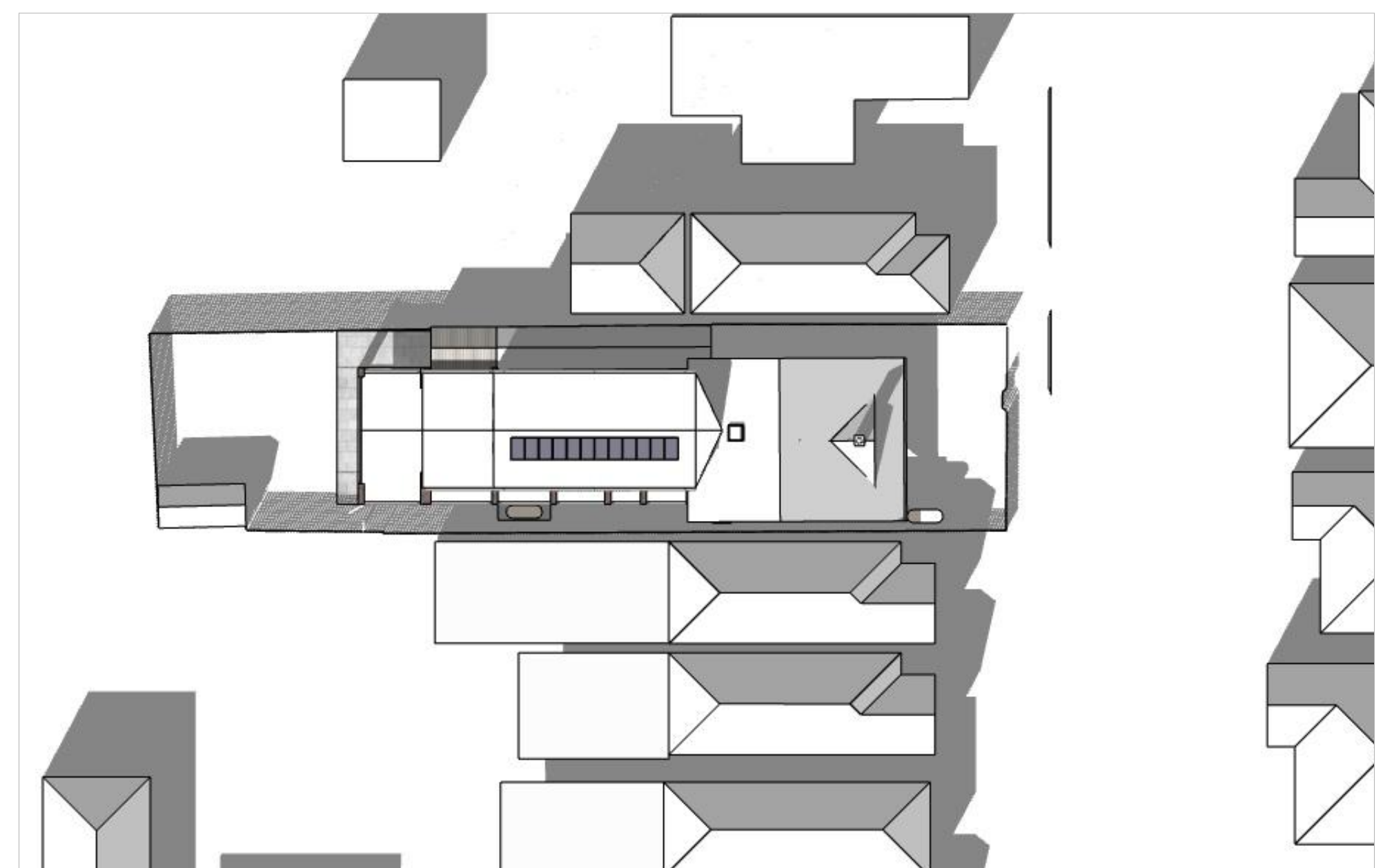
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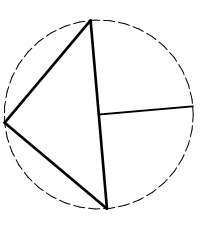
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 Proposed Shadows - 22 September**

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PLANNING OVERLAY CONTROLS

H09:
Solar Energy System Controls Apply

NRZ1:
32.09-4 Minimum Garden Area
564m² approx
min 30%
32.09-10 max building height 9m

PROJECT SITE

ORIGINAL DWELLING

EXTENSION or NEW DWELLING

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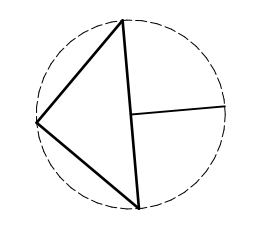
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Site Plan
Context Plan

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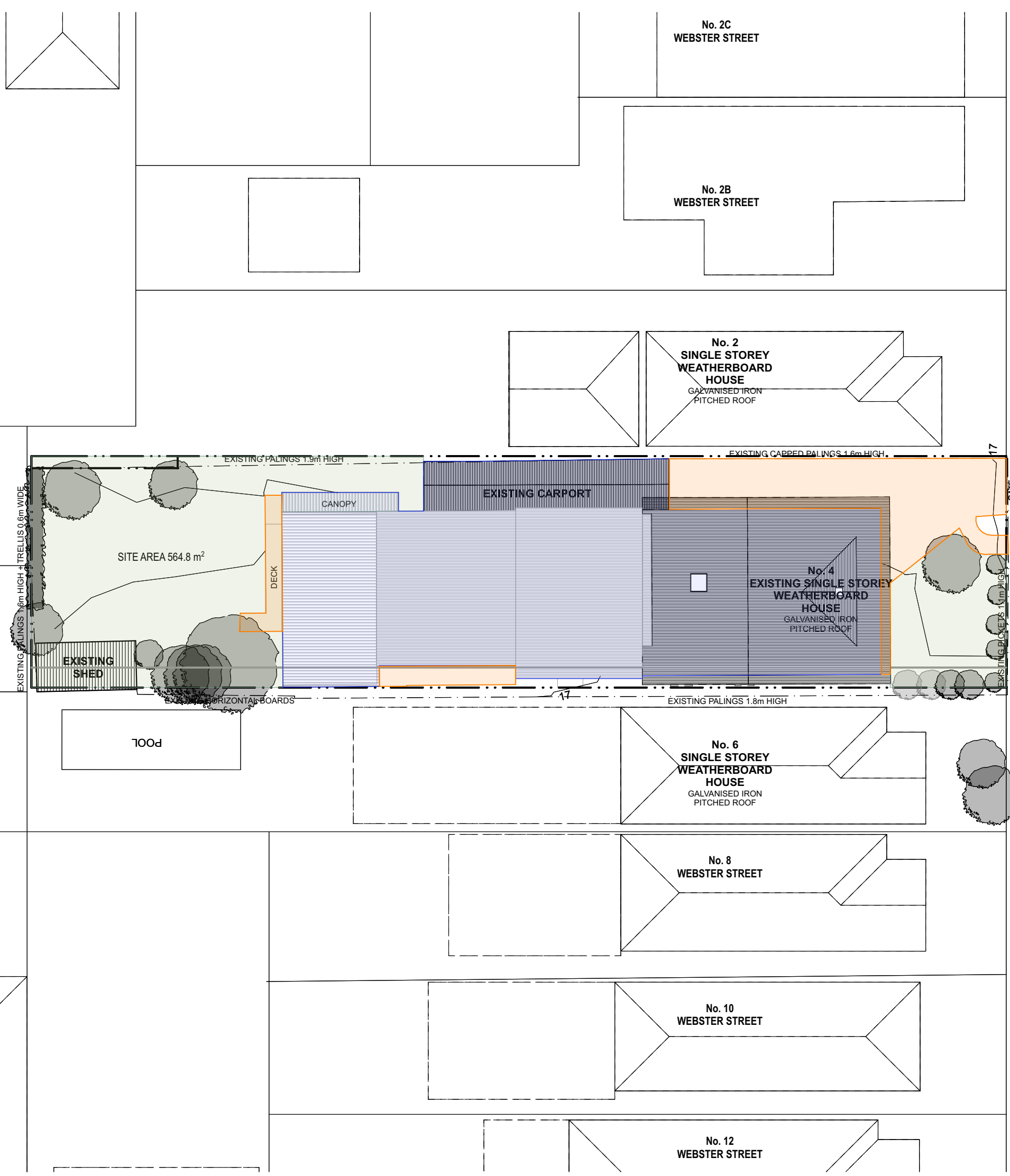
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CONCEPT DESIGN





1 PLAN Site Plan - Existing
 1:200

EXISTING SITE AREA - 565m²

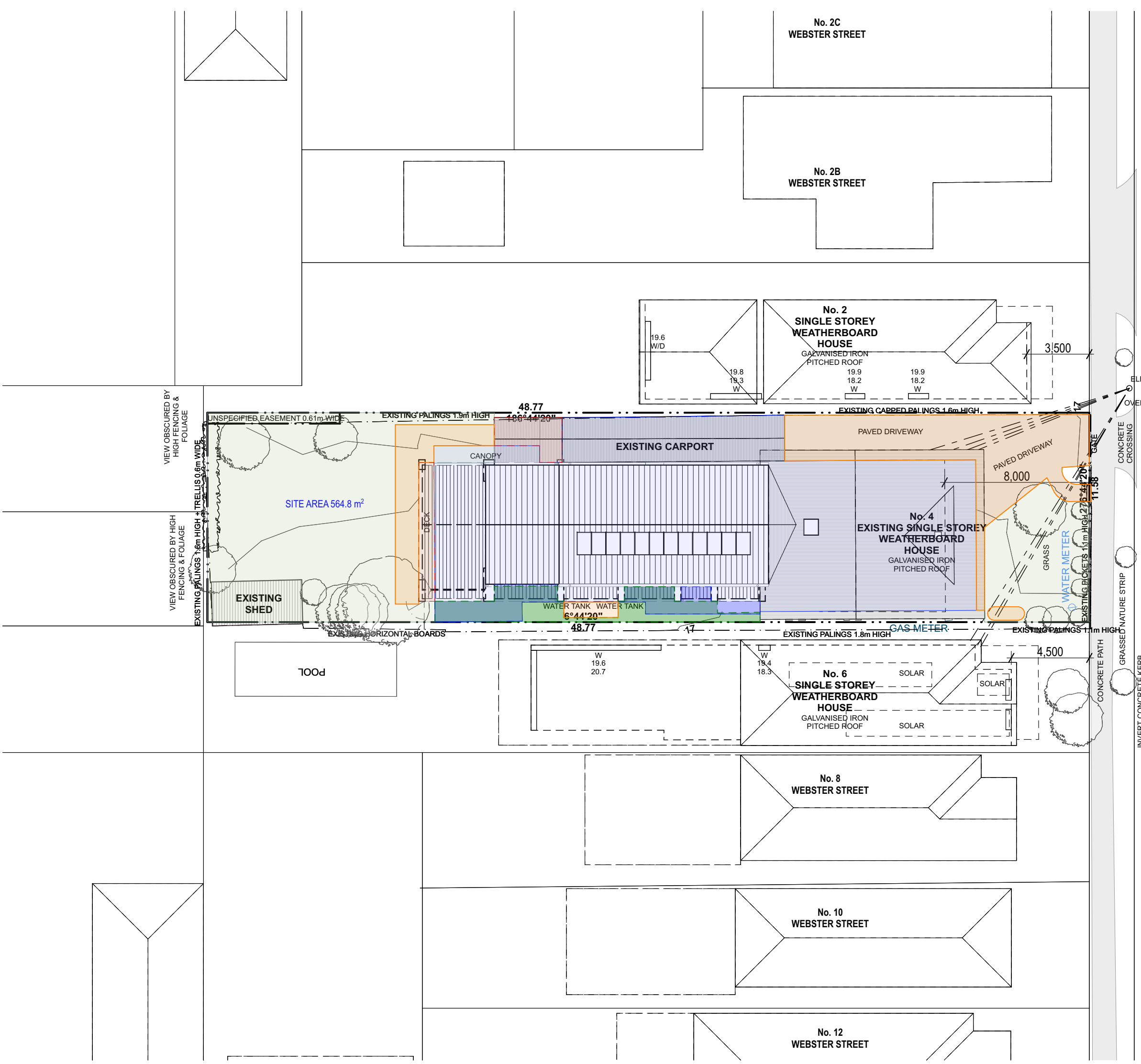
EXISTING BUILDING FOOTPRINT - 283m²

EXISTING SITE COVERAGE
 283m² of 565m² = 50.09%

EXISTING PAVEMENT / DRIVEWAY - 73m²

EXISTING PERMEABILITY
 356m² of 565m² = 63%

EXISTING GREEN SPACE - 204m²



2 PLAN Site Plan - Proposed
 1:200

EXISTING BUILDING FOOTPRINT - 283m²

PROPOSED EXTENSION AREA REDUCTION
 DECREASE TO BUILDING FOOTPRINT

PROPOSED EXTENSION AREA ADDITION
 INCREASE TO BUILDING FOOTPRINT

PROPOSED EXTENSION
 2m² DECREASE TO BUILDING FOOTPRINT
 PROPOSED BUILDING FOOTPRINT - 281m²

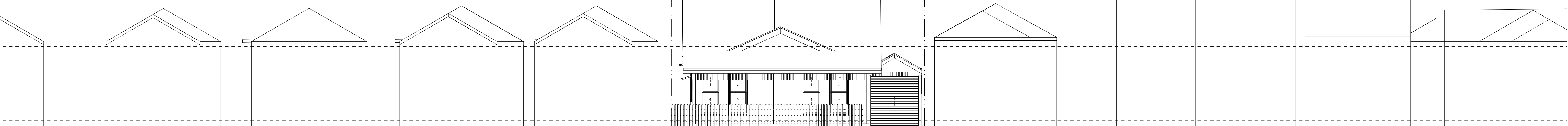
PROPOSED SITE COVERAGE
 281m² of 565m² = 49.7%

PROPOSED PAVEMENT / DRIVEWAY - 87.6m²

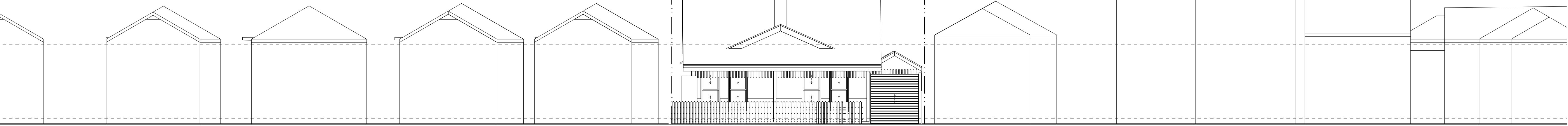
PROPOSED PERMEABILITY
 368.6m² of 565m² = 65.2%

EXISTING GREEN SPACE - 204m²

PROPOSED ADJUSTMENT TO GREEN SPACE
 5m² DECREASE TO EXISTING GREEN SPACE



3 ELEVATION Existing
 1:100



4 ELEVATION Proposed
 1:100

| REV | DESCRIPTION | DATE |
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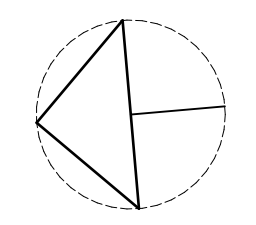
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 Consultant Company
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Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**
 Drawing Title
**Site Plan
 Proposed Site Plan and Streetscape**

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Verified: DM Approved

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File: 250217 - Webster Street.pln Plot Date 17/2/2025

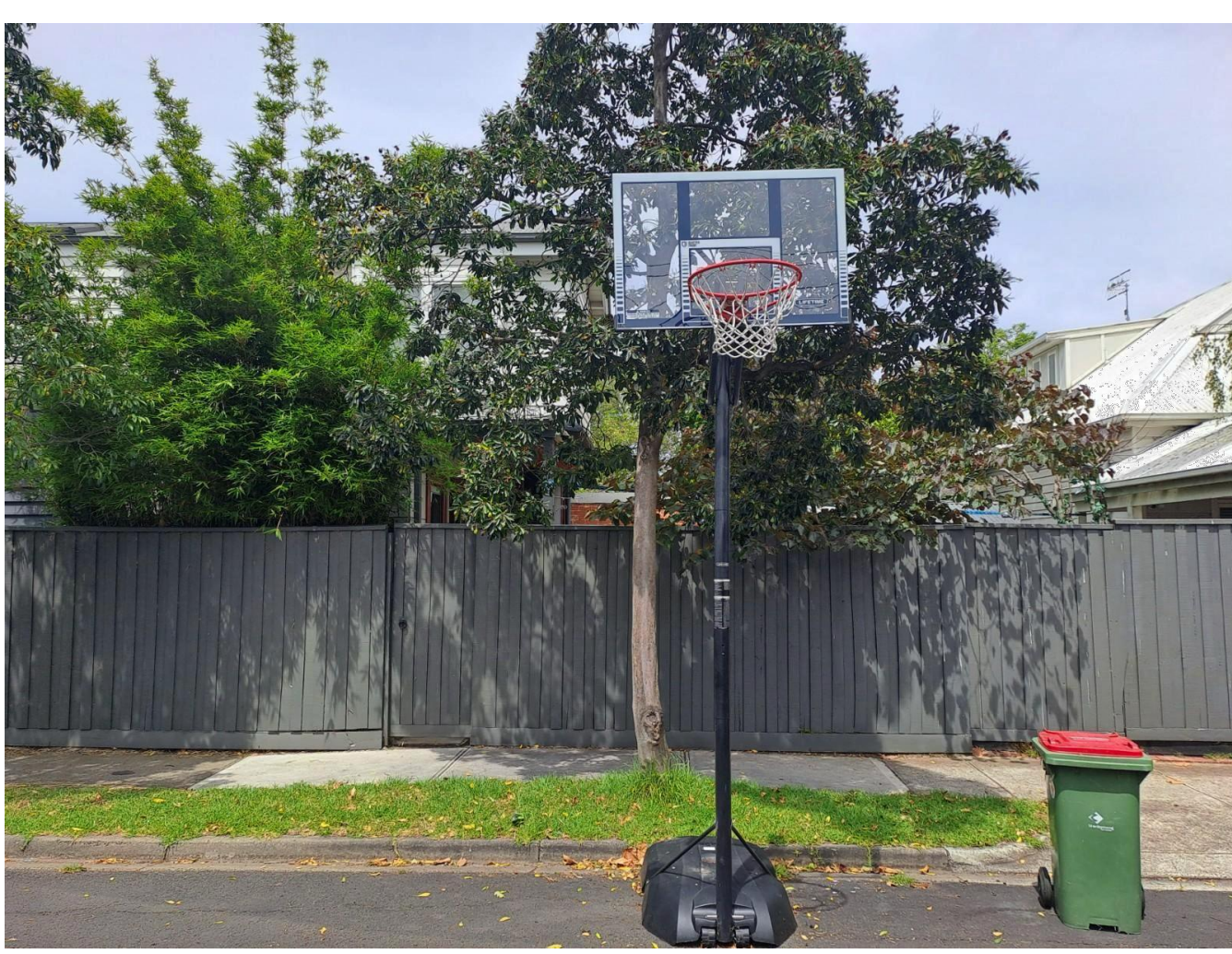
Scale: Job No: Drawing No: Rev

1:200, 1:100 **22001 1201 01**

CONCEPT DESIGN



TWO STOREY
 52 HAMILTON STREET



TWO STOREY
 1 WEBSTER STREET



TWO STOREY
 3 WEBSTER STREET



SINGLE STOREY
 5 WEBSTER STREET



SINGLE STOREY
 7 WEBSTER STREET



SINGLE STOREY
 8 WEBSTER STREET



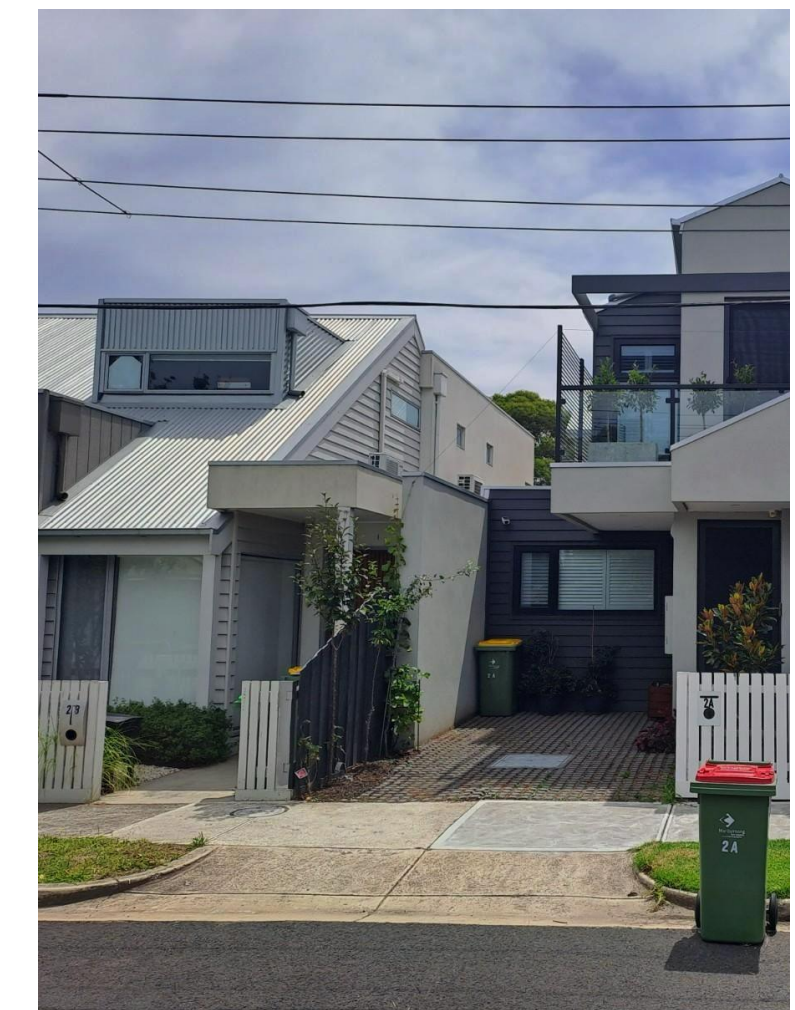
PROJECT SITE
 4 WEBSTER STREET



SINGLE STOREY
 2 WEBSTER STREET



TWO STOREY
 2C WEBSTER STREET



TWO STOREY
 2A WEBSTER STREET

AMENDMENTS

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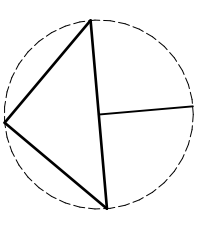
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Project Title
WEBSTER STREET
PROPOSED RENOVATION

Drawing Title
Site Plan
Context Photos

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Creation Date: 17/2/2025 By

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Scale: Job No: **22001** Drawing No: **1202** Rev: **01**
CONCEPT DESIGN

EXISTING FINISHES

RFX

Colourbond Manor Red



CLX

Off-White Weatherboard



REX

Off-White Render



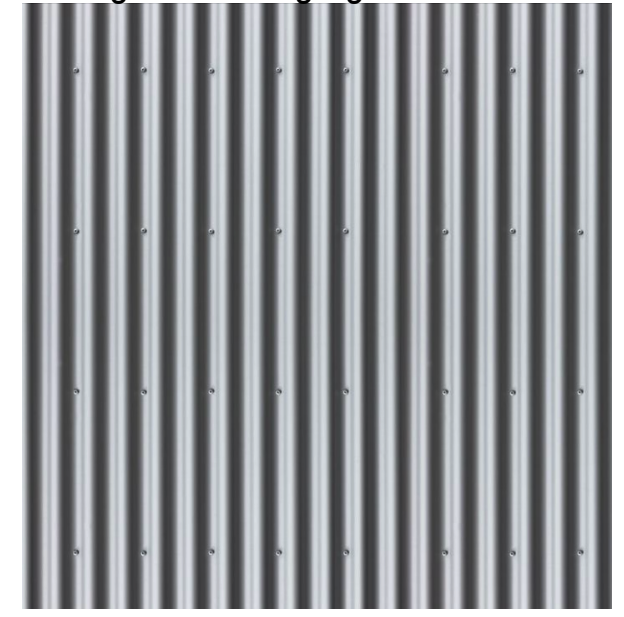
FRETWORK/ TRIMS

Off-White



RFX2

Corrugated roofing - galvanised



Existing Residence

PROPOSED FINISHES

RF02 TO MATCH EXISTING ROOF & ACCESSORIES

Colourbond Manor Red



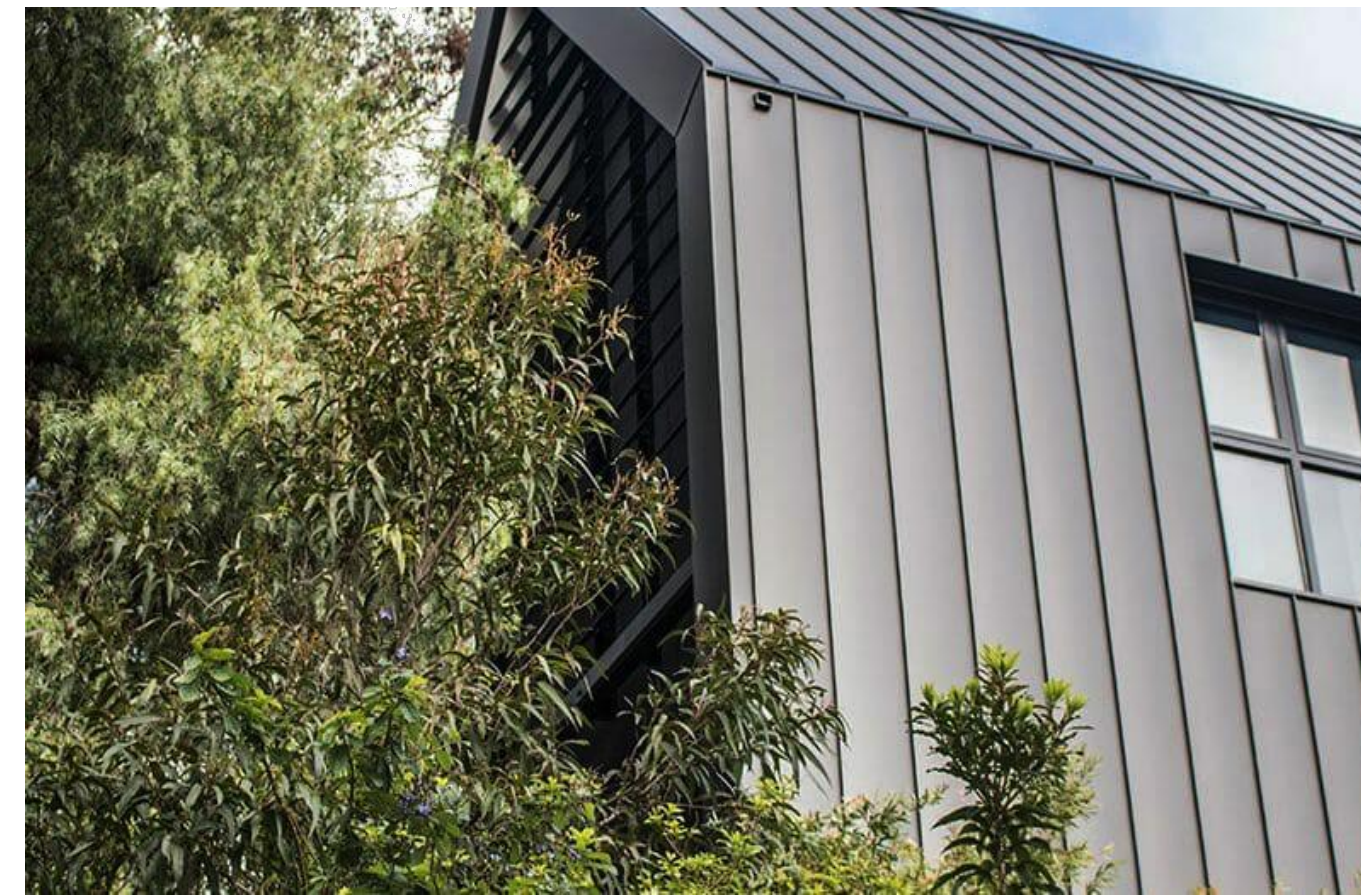
RF01 ROOF & ACCESSORIES

Zinc / Colorbond Proprietary Products to match Standing Seam Cladding



RF03 ROOF & ACCESSORIES

Zinc / Colorbond Proprietary Products to match Standing Seam Cladding



Precedent - Proposed Finishes to Recessed Addition

CL01

Zinc / Colorbond Standing Seam Metal Cladding



BRK BRICK

Local supply brick cladding



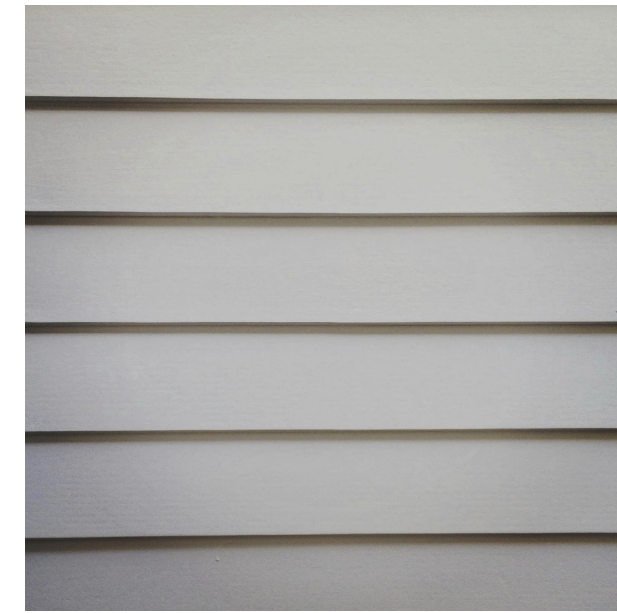
WX

Window Framing - to match CL01 cladding



CL02

Off-White cladding boards - Painted colour to match existing



Precedent - Proposed Finishes to Recessed Addition

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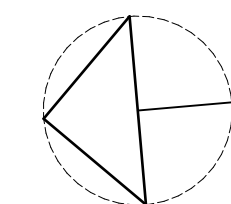
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Project Title

WEBSTER STREET
PROPOSED RENOVATION

Drawing Title

Site Plan
Finishes Schedule

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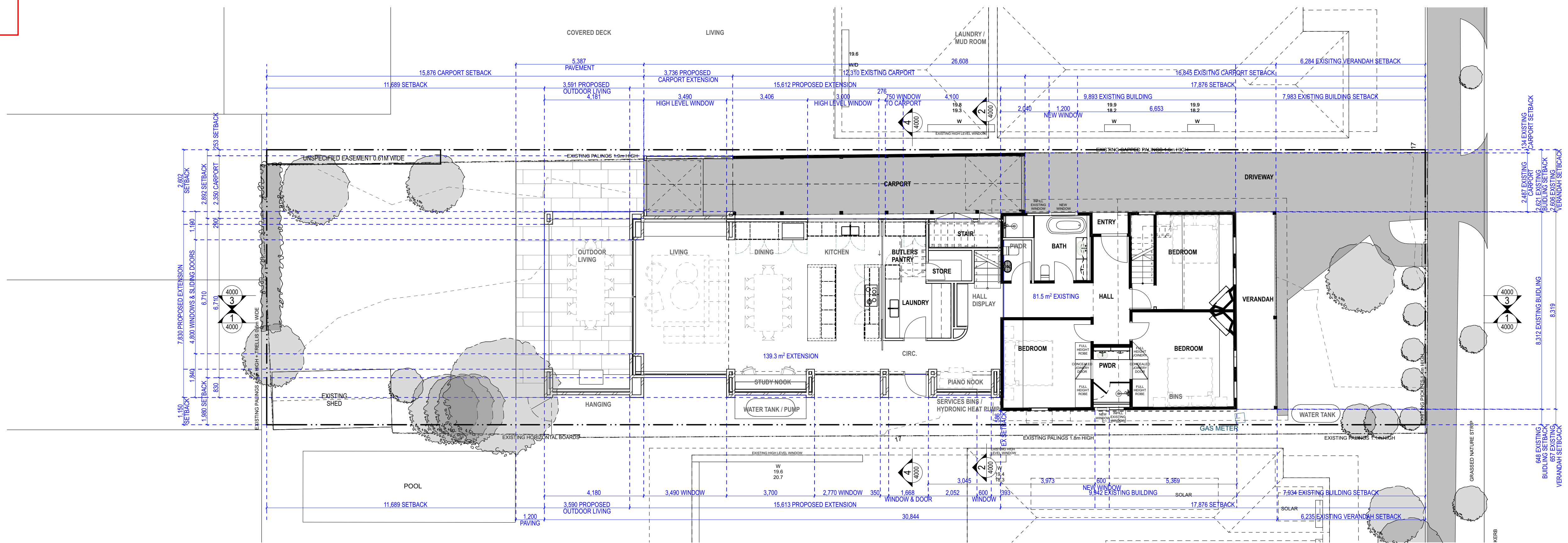
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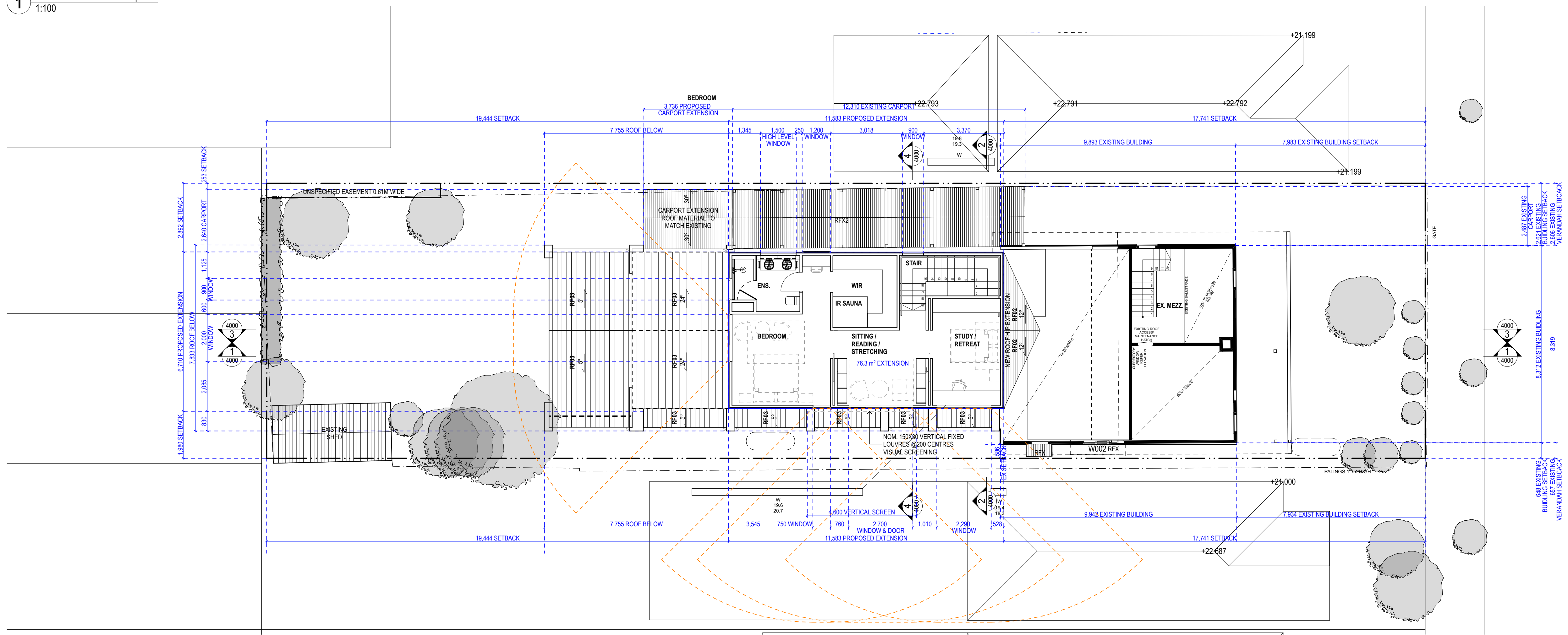
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1:1.2059, 1:1 CONCEPT DESIGN





1 PLAN Ground Floor - Proposed
 1:100



2 PLAN Level 1 - Proposed
 1:100

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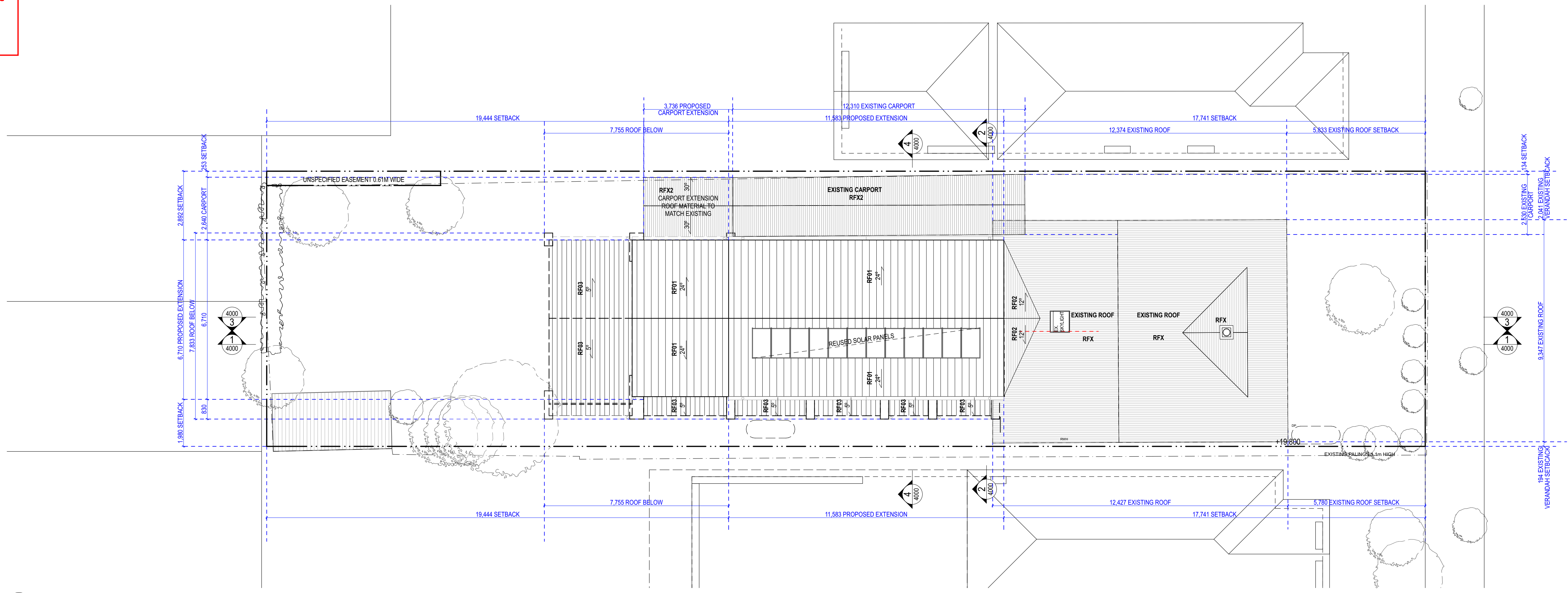
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Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**
 Drawing Title
**General Arrangement Plans
 Floor Plans - Proposed**

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| File: | 250217 - Webster Street.pln | Plot Date | 17/2/2025 |
| Scale: | Job No: | Drawing No | Rev |
| 1:100 | 22001 | 2000 | 01 |



1 PLAN Roof - Proposed
 1:100

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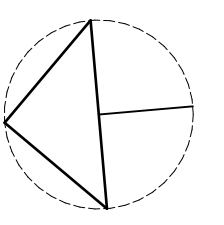
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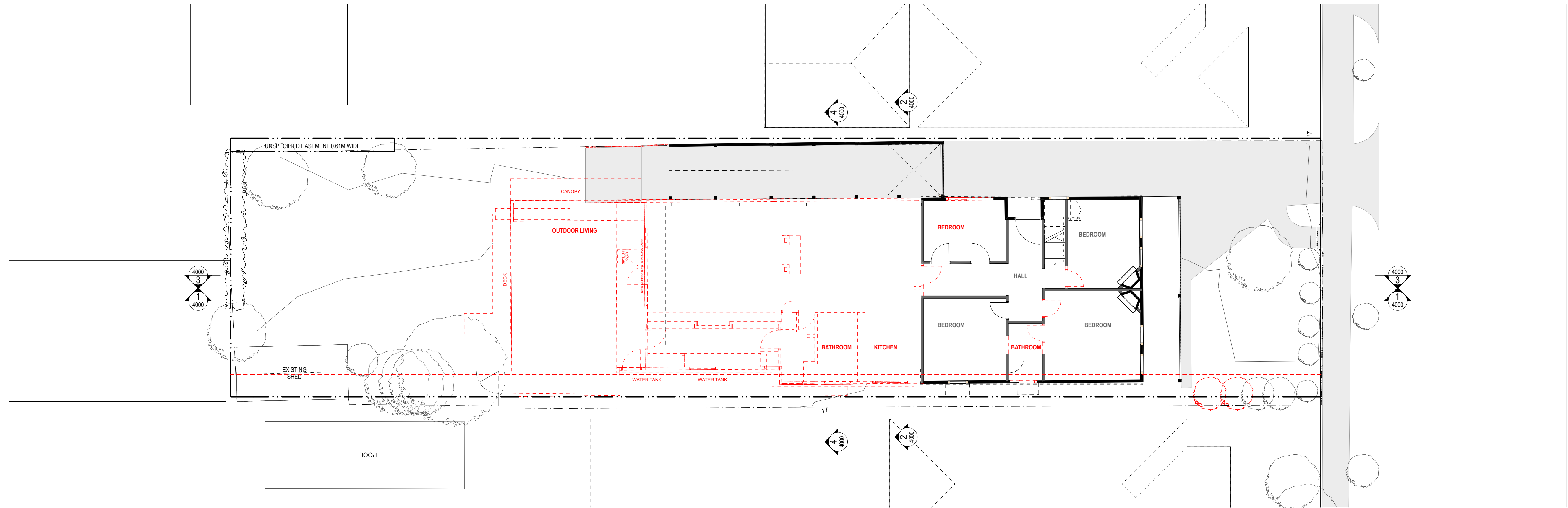
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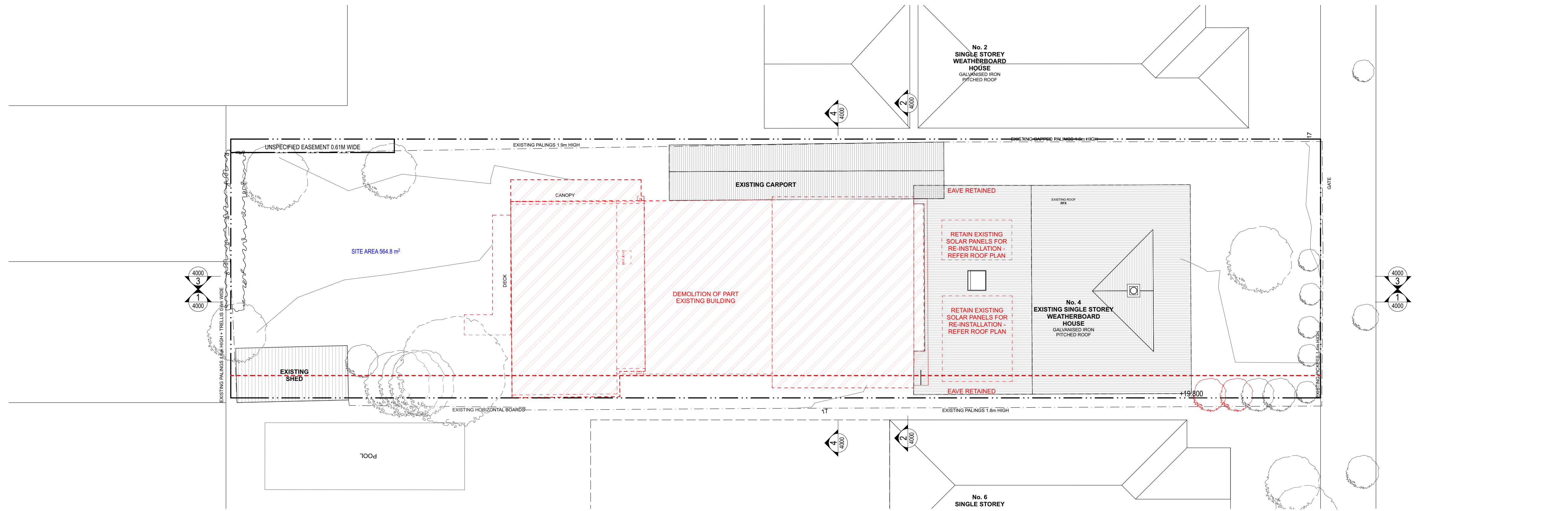
Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**
 Drawing Title
**General Arrangement Plans
 Roof Plan - Proposed**

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| 1:100 | 22001 | 2001 | 01 |
| CONCEPT DESIGN | | | |



1 PLAN Ground Floor - Existing/ Demo
 1:100



2 PLAN Roof - Existing/ Demo
 1:100

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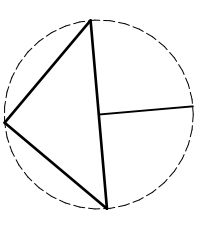
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Consultant
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 client details



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Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**
 Drawing Title
**Demolition / Bulk Excavation
 Demolition Plans**

Plotted and checked by: **DM** Stage **CONCEPT DESIGN**

Verified: **DM** Approved

Creation Date: 17/2/2025 By

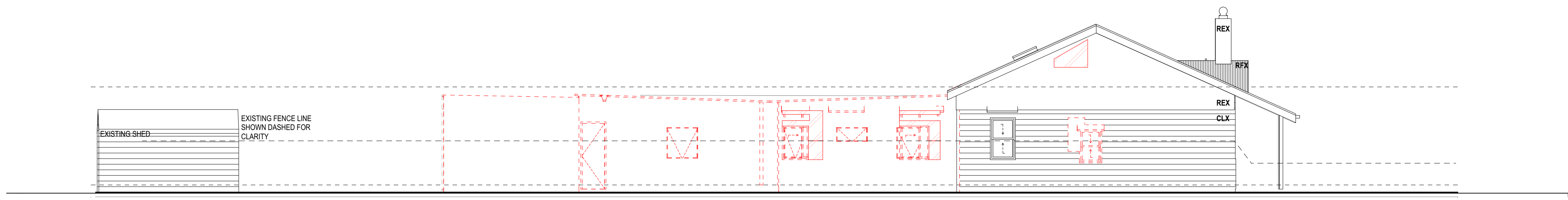
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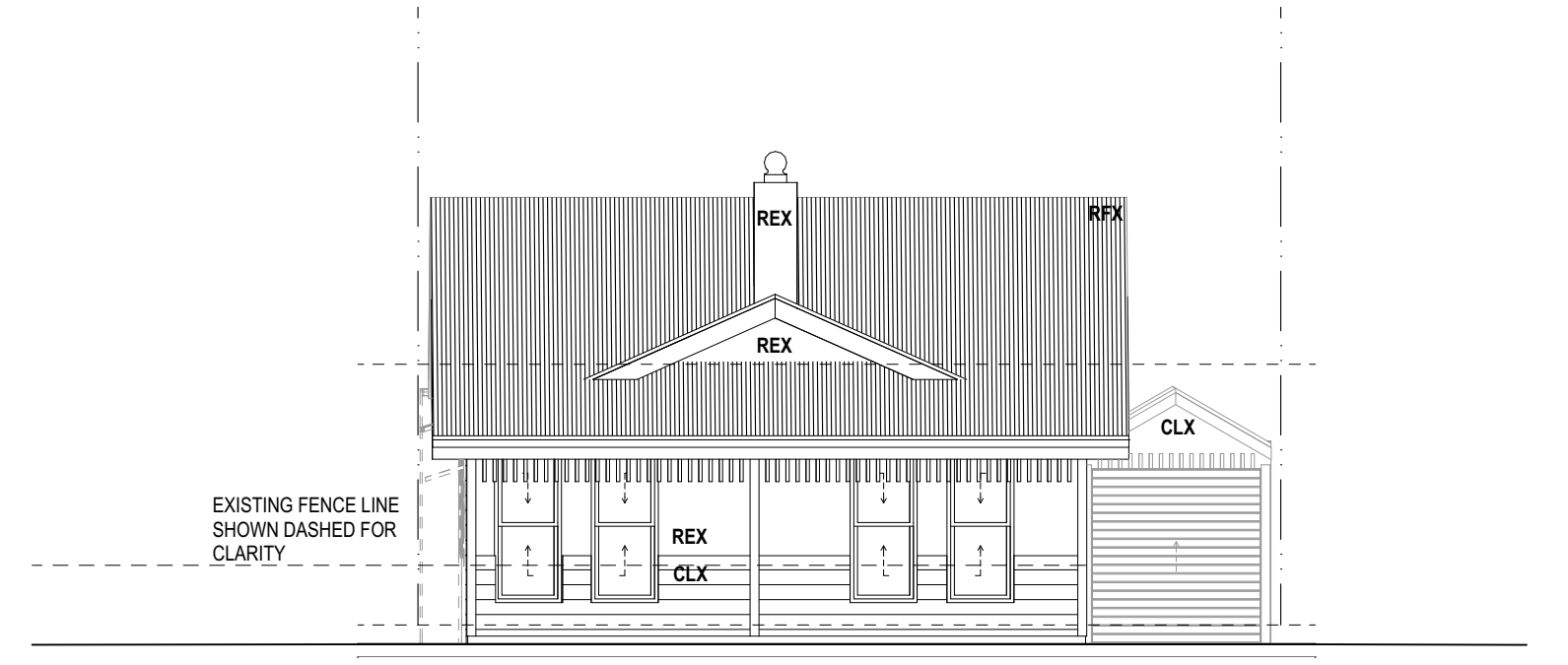
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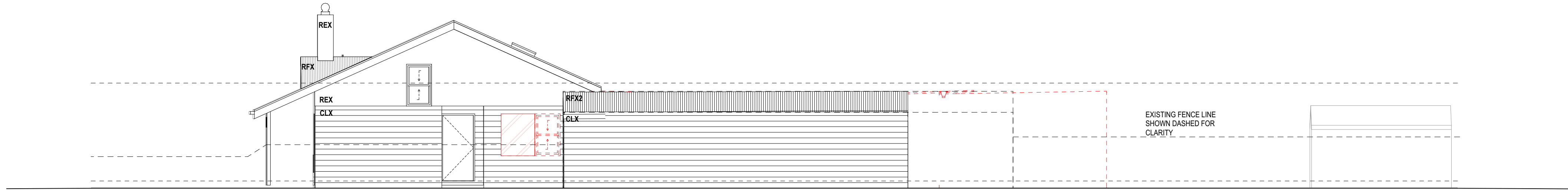
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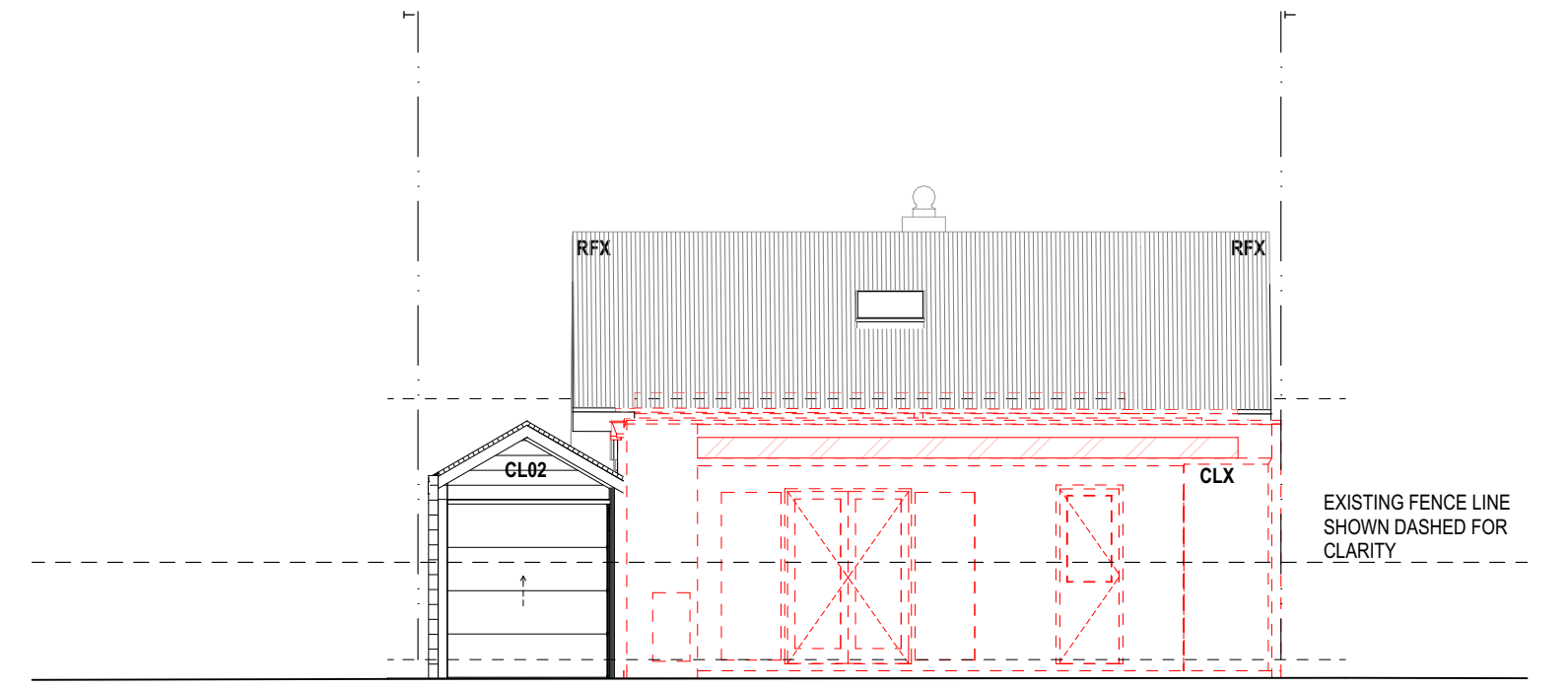
1 ELEVATION East Elevation - Existing/ Demo
 1:100



3 ELEVATION South Elevation - Existing/ Demo
 1:100



4 ELEVATION West Elevation - Existing/ Demo
 1:100



2 ELEVATION North Elevation - Existing/ Demo
 1:100

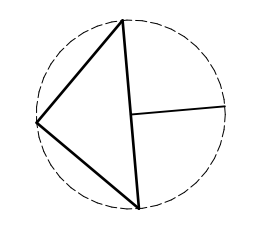
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Consultant Company
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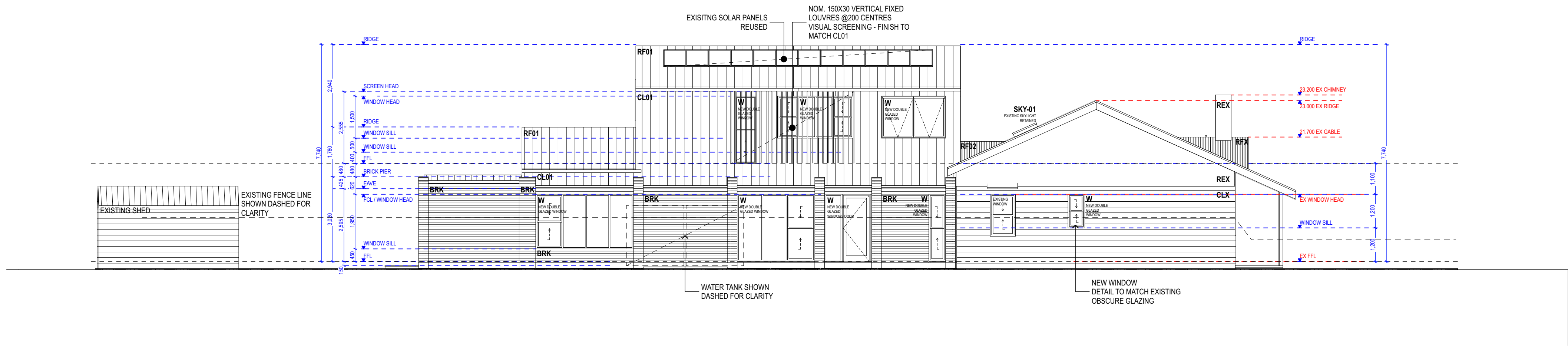


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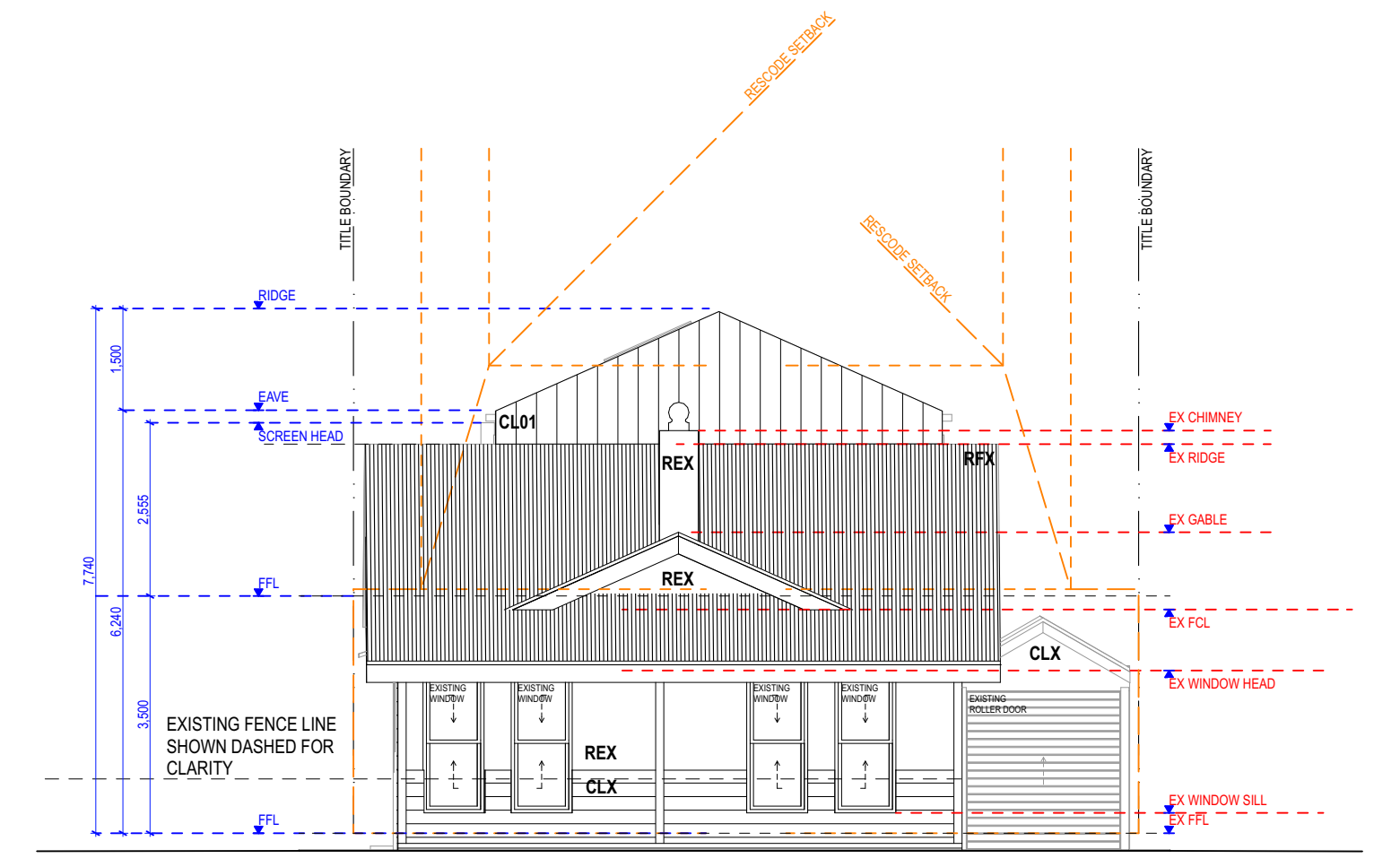


Project Title
**WEBSTER STREET
 PROPOSED RENOVATION
 Demolition / Bulk Excavation
 Demolition Elevations**
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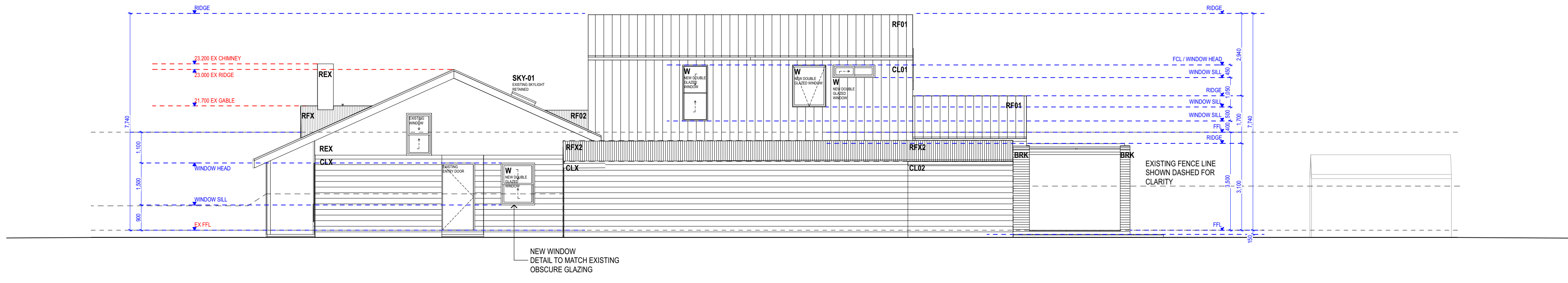
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| Verified: | DM | Approved | |
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| File: | 250217 - Webster Street.pln | Plot Date | 17/2/2025 |
| Scale: | Job No: | Drawing No | Rev |
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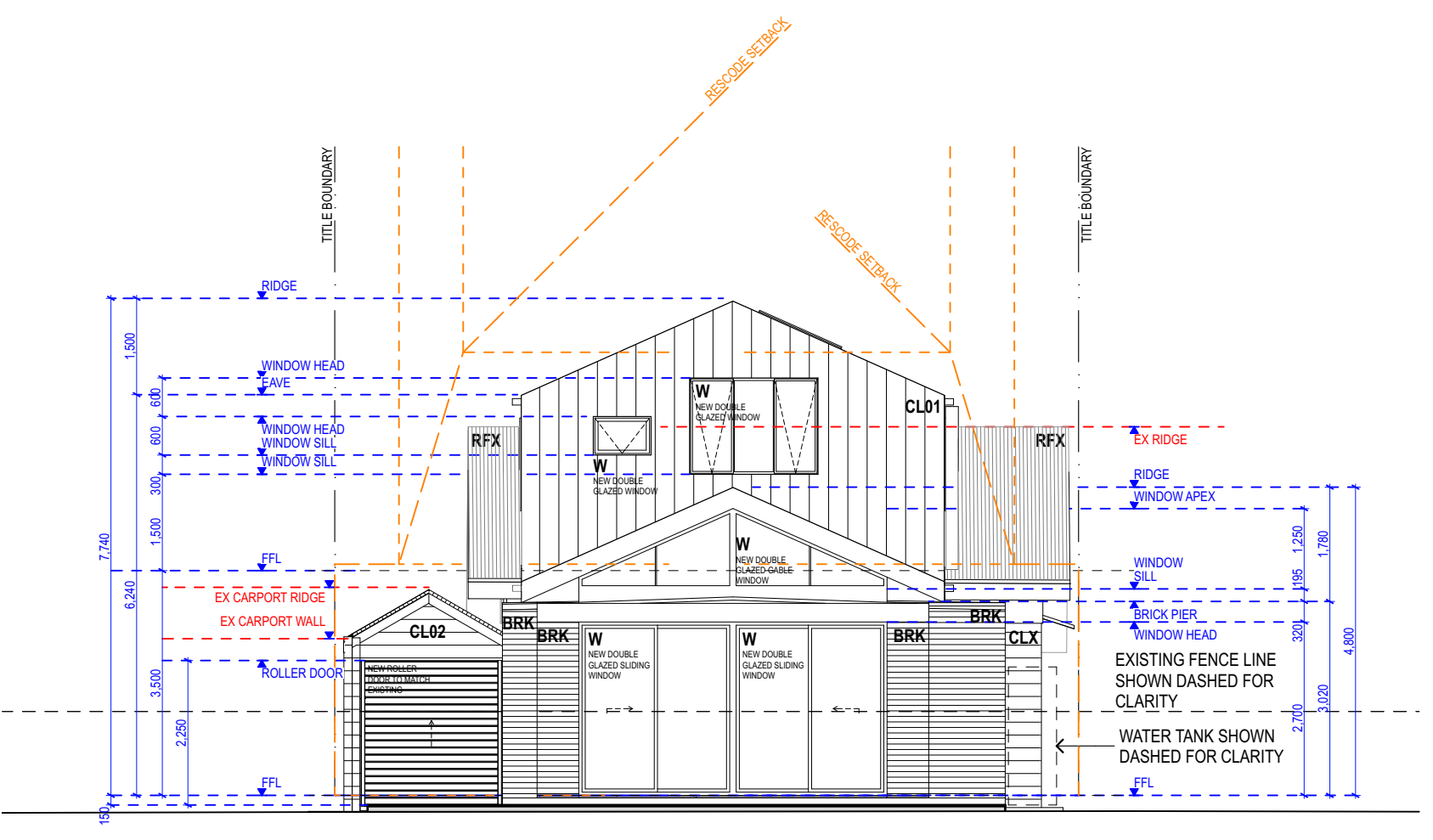
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 1:100



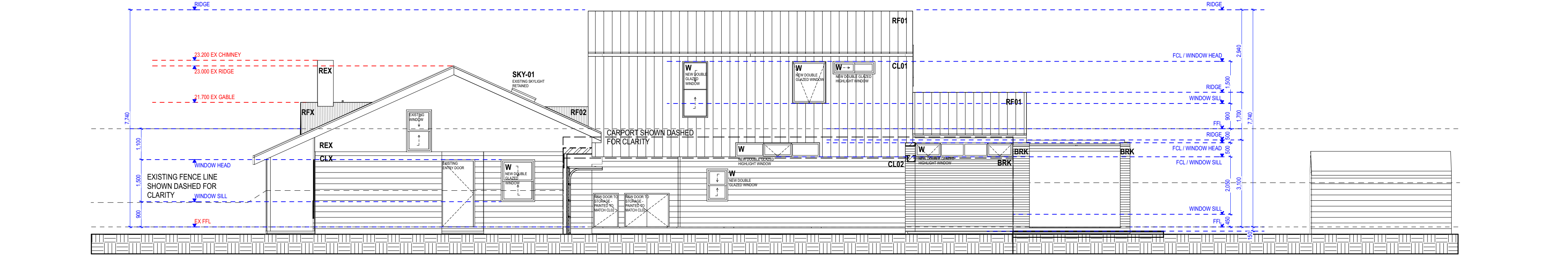
3 ELEVATION South Elevation
 1:100



4 ELEVATION East Elevation
 1:100



2 ELEVATION North Elevation
 1:100



12 ELEVATION East Elevation - Carport Dashed
 1:100

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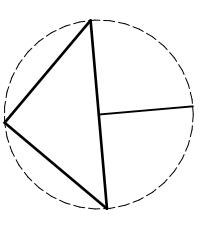
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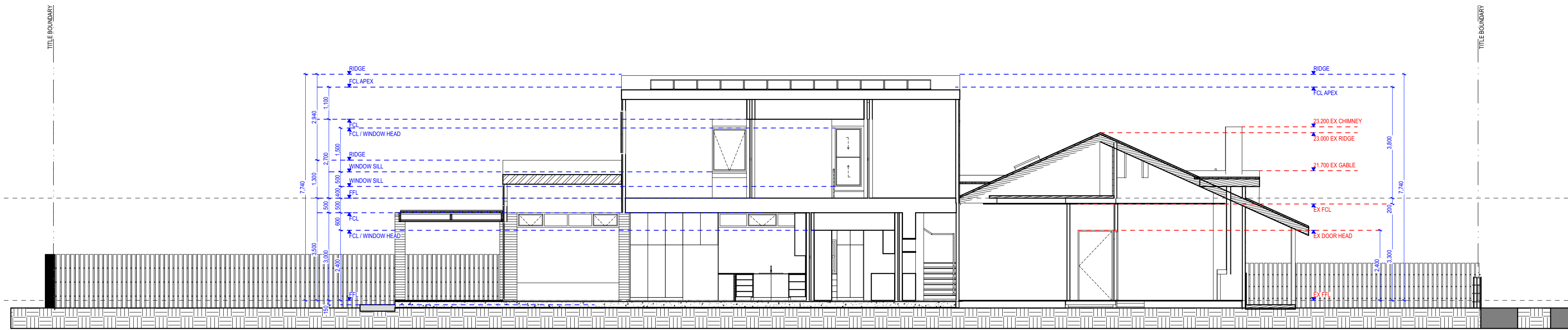
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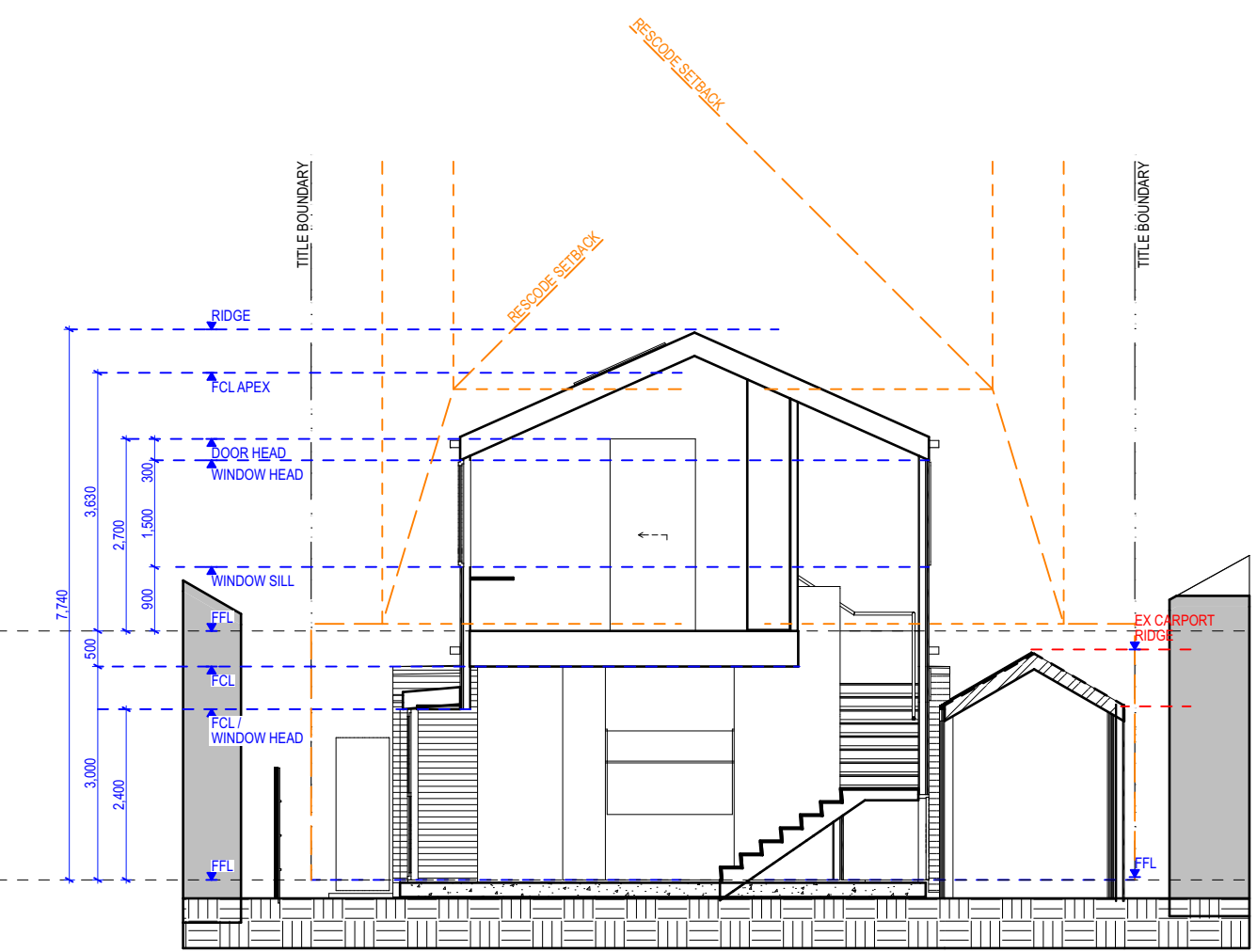
Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**
 Drawing Title
3000 1:100 Elevations
 Elevations

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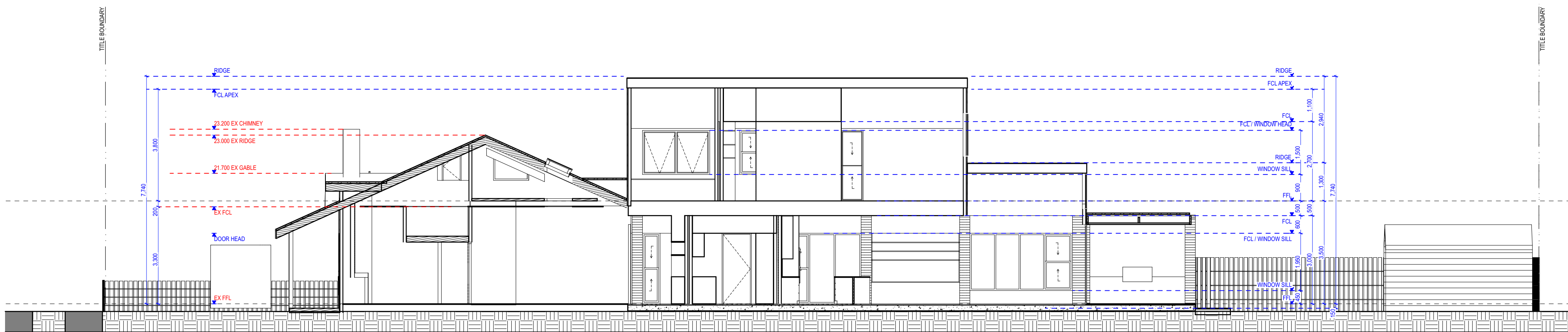
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| CONCEPT DESIGN | | | |



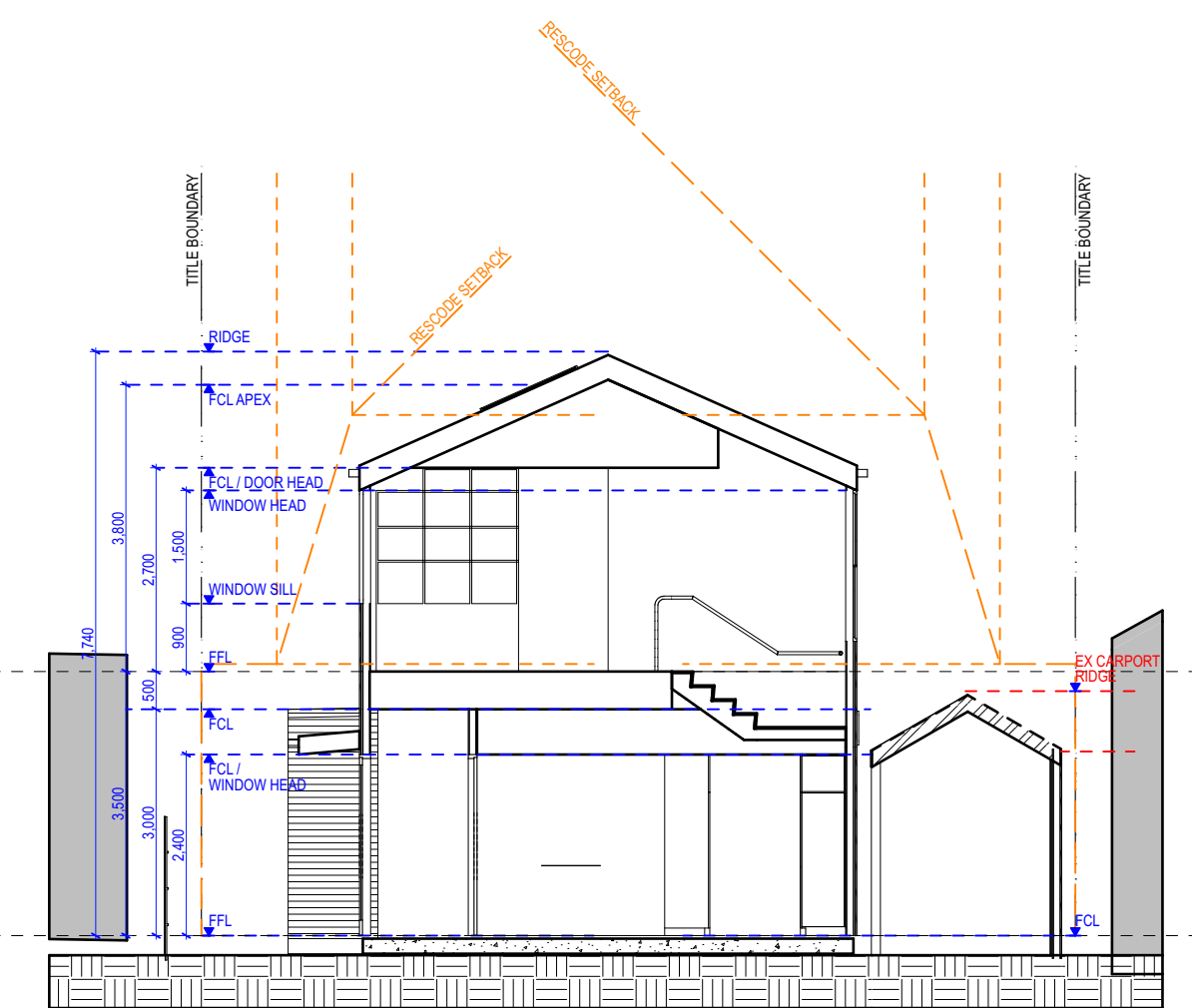
1 PLAN N-S SECTION
 1:100



2 PLAN E-W SECTION
 1:100



3 PLAN S-N SECTION
 1:100



4 PLAN E-W SECTION
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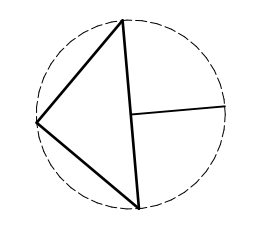
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Project Title
**WEBSTER STREET
 PROPOSED RENOVATION**

Drawing Title
**4000 1:100 Sections
 Sections**

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