

GENERAL NOTES:

- ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND UNLESS OTHERWISE STATED ON THE PLANS SHALL BE NEW AND THE BEST OF THE THEIR RESPECTIVE KIND AND SUITABLE FOR THEIR INTENDED PURPOSES.
- ALL WORKMANSHIP, MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH ALL RELEVANT S.A.A. CODES, THE NCC, MUNICIPAL COUNCIL BY-LAWS AND REGULATIONS AND TO GOOD TRADE PRACTICES
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE MANDATORY BUILDING SURVEYOR'S REPORT, PROJECT SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORM PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- ALL RELEVANT PERMITS ARE TO BE OBTAINED & FEES PAID BEFORE COMMENCEMENT OF ANY WORK.
- DO NOT SCALE FROM THIS DRAWING.FIGURED DIMENSION TAKE PRECEDENCE OVER THOSE SCALED. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS
- ALL DIMENSIONS, SIZES, LEVELS & CONDITIONS ON SITE SHALL BE VERIFIED PRIOR TO FABRICATIONS AND COMMENCEMENT OF WORKS. CONSULT SMP ON ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
- THE CONTRACTOR SHALL CO-ORDINATE THEIR TRADE/ SERVICES WITH ALL OTHER SERVICES, ARCHITECTURAL, STRUCTURAL DRAWINGS AND ALL OTHER DOCUMENTATION. CONSULT SMP ON ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
- ENSURE THAT SUBSTRATES ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE SUBSTRATES IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE SUBSTRATES ON WHICH FINISHES ARE APPLIED.
- CONTRACTOR IS TO SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF THE RESPECTIVE WORKS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROGRESSIVE CLEAN UP DURING AND AFTER THE COMPLETION OF RESPECTIVE WORKS
- IF SITE CONDITIONS VARY FROM THESE REPORTS THE BUILDERS OFFICE AND RELEVANT ENGINEER SHOULD BE CONTACTED IMMEDIATELY
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW & EXISTING STRUCTURES EFFECTED BY THESE WORKS ON THIS & ADJACENT ALLOTMENTS
- THE BUILDER SHALL ENSURE THE WATER TIGHTNESS OF ALL NEW STRUCTURES
- ANY EXPOSED STRUCTURAL STEELWORK IS TO BE HOT DIP GALVANISED E.G. LINTELS, WALL TIES ... WITHIN 1KM OF THE COASTLINE
- THIS OFFICE UNDER NO CIRCUMSTANCES ACCEPTS RESPONSIBILITY FOR ANY BREACH OF COPYRIGHT THAT MAY OCCUR FROM INFORMATION SUPPLIED BY THE CLIENT

CONCRETE

- ALL CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870
- ALL CONCRETE FOOTINGS ARE TO BE FOUNDED AT A DEPTH OF MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCEWITH SOIL REPORT RECOMMENDATION WHERE SUPPLIED
- PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER
- FOOTINGS ARE NOT UNDER ANY CIRCUMSTANCES TO ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES AND THIS OFFICE MUST BE NOTIFIED IMMEDIATELY PRIOR TO CONSTRUCTION IF THIS OCCURS

EARTHWORKS

- UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR BUILDER. PROVIDE SUITABLE CLEAN FILL AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM THE BOTTOM EDGE OF THE FOOTING
- ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT
- ALL CONCRETE FOOTINGS ARE TO BE FOUNDED AT A DEPTH OF MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH SOIL REPORT RECOMMENDATION WHERE SUPPLIED

DAMP PROOFING AND FLASHING:

- BRICK VENEER- PROVIDE DAMP-PROOF COURSE IN CAVITY WALL CONSTRUCTION BUILT ON CONCRETE SLAB. IN THE BOTTOM COURSE OF OUTER LEAF. CONTINUOUS HORIZONTALLY ACROSS THE CAVITY AND UP THE INNER FACE BEDDED IN MORTAR, TURNED 30mm INTO THE INNER LEAF ONE COURSE ABOVE, OR, IN MASONRY VENEER CONSTRUCTION, FASTENED TO THE INNER FRAME 75mm ABOVE FLOOR LEVEL.
- SUB FLOOR CLEARANCE BETWEEN GROUND LEVEL AND UNDERSIDE OF BEARERS TO BE A MINIMUM OF 150mm / 200mm/ 400mm.
- NOTE: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN OPEN LINK IN SAME PAGE EXTERNAL WALL, IT MUST COMPLY WITH AS/NZS 4200.1; AND BE INSTALLED IN ACCORDANCE WITH AS 4200.

TERMITE PROTECTION:

- PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
- BUILDER SHALL PROVIDE "BIFLEX" OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES

BRICK WORK SHALL COMPLY WITH

- AS 3700 MASONRY CODE
- AS A123 MASONRY CODE, MORTAR FOR MASONRY CONSTRUCTION
- BRICK GAUGE 7 STANDARD COURSES = 600mm.
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm.
- VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH A CONTINUOUS FILLER STRIP.
- CAVITIES TO BE KEPT CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING.
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK.
- SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC TO BE TRUE, PLUMB AND IN LINE WITH PERPENDS TRUE LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm
- PROVIDE 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.
- UNLESS OTHERWISE SHOWN ON DRAWINGS EXTERNAL FACE WORK: 230x110x76mm WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS WINDOW HEADS: SOLID FACEBRICK COURSE

LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

CARPENTRY WORK

- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.
- INFILL TO BE USED ABOVE ALL WINDOW OR DOOR OPENINGS BETWEEN THE RESPECTIVE (WINDOW OR DOOR) FRAME AND UNDERSIDE OF STEEL LINTEL WHERE HEAD HEIGHT DOES NOT MATCH BRICK COURSE HEIGHTS - (ONLY APPLICABLE WHERE BRICKWORK IS SPECIFIED OVER OPENINGS)

ROOFING

- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- GUTTER, FASCIA, DOWNPIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF
- FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.
- RAFTERS ARE TO BE ADEQUATELY TIED DOWN TO WALLS. (APPLICABLE TO FLAT ROOFS AND HIGH WIND AREAS)
- PROVIDE ROOF TIE DOWNS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL ROOF AND WALL FRAMING, BRACING ETC. IS TO BE IN ACCORDANCE WITH AS1684.2, 3 & 4-2010 (LATEST EDITION) AND TIMBER FRAMING MANUAL REQUIREMENTS

WINDOWS / GLAZING

- ALL GLAZING TO BE IN ACCORDANCE WITH AS1288-2006 AND AS2047-2014
- UNLESS OTHERWISE STATED ON THE DRAWINGS WINDOW FRAMES SHALL BE ALUMINIUM RESIDENTIAL OR COMMERCIAL IN SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER.
- ALLOW FOR FLYSCREENS TO BE FITTED TO ALL WINDOWS.
- ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS A COMPLETE UNIT.
- WHERE RELEVANT WINDOWS ARE TO COMPLY WITH THE SPECIFICATIONS PROVIDED BY THE THERMAL PERFORMANCE ASSESSOR.
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS.
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS
- WINDOW SIZES ARE NOMINAL ONLY (UNLESS A SPECIFIC MANUFACTURER IS SPECIFIED) AND MAY VARY ACCORDING TO THE SUPPLIERS RANGE

SAFETY GLAZING

TO BE USED IN FOLLOWING CASES

- ALL ROOMS WITHIN 500mm VERTICAL FROM FLOOR
 - BATHROOMS WITHIN 1500mm VERTICAL FROM THE BATH BASE
 - LAUNDRY WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITH 300mm VERTICAL OF TROUGH
 - DOORWAY WITH 300mm HORIZONTAL FROM ALL DOORS
- JOINERY**
- ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
 - EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
 - SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

CEILINGS

- CEILINGS SHALL BE RECESSED EDGE, PLASTERGLASS OR GYROCK.
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS SHOWN ON THE DRAWINGS.
- ALL FLOOR TO CEILING HEIGHTS NOMINATED ON THESE PLANS INDICATE THE DIMENSION FROM CONCRETE SLAB LEVEL (AND FIRST FLOOR JOIST LEVEL FOR 2 STOREYS) TO UNDERSIDE IF TRUSS BOTTOM CHORD (AND UNDERSIDE FIRST FLOOR JOIST LEVEL FOR 2 STOREYS)

PLASTERING

- INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN & FRIDGE RECESSES ETC SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER
- SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING).
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.
- PROVIDE IMPERVIOUS FLOOR AND WALL COVERING TO ALL WET AREAS EXCEPT KITCHEN FLOOR: WALL COVERINGS HEIGHTS ABOVE SHOWER BASES, VANITIES, TROUGHS, BATHS AND THE LIKE AS REQUIRED BY NCC 2019

FLOORING FINISHES

- CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE
- PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, ANGLE TRIMS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE
- PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED AND POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS AND FINISHES SCHEDULE.
- PROVIDE IMPERVIOUS FLOOR AND WALL COVERING TO ALL WET AREAS EXCEPT KITCHEN FLOOR:

PAVING

- GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- CUT, FILL & COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- PROVIDE BRICK EDGE RETAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK
- DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- UNLESS NOTED PAVING PATTERN IS TO CLIENTS DETAIL
- BRICK PAVERS SHALL BE:
 - TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
 - PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

ENERGY EFFICIENCY

- INSULATION MUST FORM A CONTINUOUS BARRIER TO WALLS, CEILING AND ROOF. ABUTTING OR OVERLAPPING ADJOINING INSULATION
- INSULATION MUST NOT ADVERSELY AFFECT DOMESTIC SERVICES OR FITTINGS
- REFLECTIVE INSULATION IS TO BE PROVIDED WITH A MINIMUM 25mm AIRSPACE AND IS FITTED CLOSE TO OPENINGS SUCH AS WINDOWS/DOORS ETC. AND IS PROVIDED WITH ADEQUATE SUPPORT.
- BULK INSULATION MUST MAINTAIN ITS POSITION, THICKNESS. ENSURE THAT CEILING INSULATION OVERLAPS UN-INSULATED WALLS
- CONSTRUCTION JOINTS, SUCH AS BETWEEN WALL AND FLOOR, ARE TO BE TIGHT FITTING OR SEALED USING CAULKING OR JOINERY ITEMS SUCH AS SKIRTING OR CORNICES
- EXHAUST FANS ARE TO BE FITTED WITH A SELF CLOSING DAMPER
- ROOF LIGHTS MUST BE SEALED WITH WEATHERPROOF SEALS
- HEATED WATER PIPING MUST BE THERMALLY INSULATED AND PROTECTED AGAINST THE WEATHER AND SUN INTERNAL HEATED WATER PIPING TO HAVE AN R VALUE OF 0.2
- ENCLOSED SUB-FLOOR AND ROOF SPACE TO HAVE AN R VALUE OF 0.45

STORMWATER

- ALL EXPOSED DOWNPIPES ARE TO BE ZINCALUME OR SELECTED COLOUR BOND FINISH. PROVIDE 90mm DIAMETER HEAVY DUTY PVC DRAIN MINIMUM 1:100 FALL. PROVIDE MINIMUM 75mm DIAMETER DOWNPIPES AT 12M CENTRES
- NEW STORMWATER DOWNPIPES ARE TO BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM AND MUST BE SPACED AT ENTRIES NOT EXCEEDING 12 METRES
- 90mm Ø CLASS 6 U.P.V.C. STORMWATER LINE LAID TO A MIN. GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY CITY ENGINEER. PROVIDE INSPECTION OPENINGS @900 C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER NOT LESS THAN
 - 100mm UNDER SOIL
 - 50mm UNDER PAVED OR CONCRETE AREAS
 - 100mm UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75mm UNDER REINFORCED CONCRETE DRIVEWAYS

SANITARY

- CONSTRUCTION OF SANITARY COMPARTMENTS TO BE IN ACCORD WITH NCC 2019 LATEST EDITION
- THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, OR SLIDE, OR BE READILY REMOVABLE FROM OUTSIDE THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE NEAREST PART OF THE DOORWAY

ARTICULATION JOINTS

- ARTICULATION JOINTS FOR MASONRY WALLS: MUST NOT EXCEED 6M CENTRES; AND BE NOT CLOSER THAN THE HEIGHT OF THE WALL AVOID FROM CORNERS.
- VERTICAL ARTICULATION JOINTS SHALL BE PROVIDED IN STRAIGHT, CONTINUOUS WALLS (HAVING NO OPENING) AT NOT MORE THAN 6M CENTRES AND LOCATED NO CLOSER THAN THE HEIGHT OF THE WALL AWAY FROM THE CORNERS. WHERE THE OPENINGS ARE MORE THAN 900 X 900 MM OCCUR, THEN THE ARTICULATION JOINTS ARE TO BE REDUCED TO 5M CENTRES AND POSITIONED IN LINE WITH AT LEAST ONE EDGE OF THE OPENING. FURTHER MORE THE ARTICULATION JOINTS SHOULD BE PROVIDED AT OR NEAR CHANGES IN FOUNDATION SOIL, AT DEEP REBATES FOR PIPES, WHERE WALLS CHANGE IN THICKNESS AND BETWEEN NEW AND OLD BRICKWORK.

DIMENSIONS

- ALL DIMENSIONS NOTED ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBER MEASUREMENTS, NOT FINISHED PLASTER MEASUREMENTS. FINISHED ROOM SIZES MEASURED AFTER PLASTER INSTALLATION WILL VARY ACCORDINGLY.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ON THE INTERNAL ELEVATIONS REPRESENT FINISHED PLASTER MEASUREMENTS

MECHANICAL VENTILATION

- MECHANICAL EXHAUSTS (25L/S) ARE REQUIRED IN THE SANITARY FACILITY ROOMS DISCHARGING DIRECTLY INTO THE ROOF SPACE OR TO THE OUTSIDE VIA A DUCT OR ALTERNATIVE PIPING SYSTEMEXHAUST FANS ARE TO DISCHARGE AIR DIRECTLY TO OUTSIDE AIR AT A RATE OF AT LEAST 25 L/S.
- EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6M TO FRESH AIR INLETS.
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS1668.2-2012 & AS/NZS3666.1&2 2011.
- MINIMUM 2400MM CEILING HEIGHT TO ALL NEW PORTIONS OF CEILING.
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED 1. DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH NCC 3.8.7.4.

SMOKE DETECTORS

- PROVIDE SMOKE DETECTORS AS DENOTED ON FLOOR PLAN AS REQUIRED IN ACCORDANCE WITH AS3786-2014. SMOKE ALARMS TO NEW RESIDENCES ARE TO BE HARDWIRED TO SWITCHBOARD WITH BATTERY BACKUP INTERCONNECTED.

RAINWATER TANK - 2000LT

A RAINWATER TANK RECEIVING RAINFALL FROM A MINIMUM CATCHMENT AREA OF 50M2 AND HAVING A MINIMUM CAPACITY OF 2000 LITRES, CONNECTED TO ALL TOILETS IN THE BUILDING FOR THE PURPOSE OF SANITARY FLUSHING, AS PER NCC REQUIREMENTS

SOLAR HOT WATER HEATING

A SOLAR HOT WATER HEATING UNIT MUST ACHIEVE AN ENERGY PERFORMANCE OF 60% SOLAR

GENERAL NOTES - THESE GENERAL NOTES APPLY**TO ALL DRAWINGS AND DOCUMENTS**

THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF LEVI ADAPON AND MUST NOT BE RETAINED, COPIED, OR USED WITHOUT THE AUTHORITY OF LEVI ADAPON. DO NOT SCALE FROM DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH PROJECT CONSULTANT'S DRAWINGS, SPECIFICATION, SCHEDULES, REPORTS & COMPUTATIONS ETC.	Revisions		GENERAL NOTES & SPECIFICATIONS	TOWN PLANNING REVIEW	Rev A01 1 JUN 3 2024 N.T.S. @ A3 SHEET	PROPOSED BUILDING WORKS AT	No. 66 HOBBS STREET SEDDON 3011 FOR Mr . LACHLAN LANE	

MATERIALS, FINISHES AND EXTENT OF WORKS

- (E1)** FULL HEIGHT POWERPANEL VENEER WALL
90mm STUDS IN ACCORDANCE WITH AS4600 OR AS3740, FROM FLOOR LEVEL TO UNDERSIDE OF ROOF / FLOOR STRUCTURE. ALL FIXING, FLASHING AND FINISHING REQUIREMENTS SHALL BE STRICTLY IN ACCORDANCE WITH THE RELEVANT AND CURRENT PRODUCT INSTALLATION GUIDE AND TECHNICAL DOCUMENTATION. ALLOW FOR VAPOUR PERMEABLE SARKING TO THE FACE OF THE BUILDING FACADE PRIOR TO INSTALLATION OF THE CHANNELS.
- (E2)** JAMES HARDIE TEX BASE SHEET
90mm STUDS IN ACCORDANCE WITH AS4600 OR AS3740, WITH WALL BATTS AS REQUIRED. PROVIDE AND INSTALL JAMES HARDIE: TEX BASE SHEET - 7.5mm THICK FIXED DIRECTLY ONTO THE STUD FRAMING. ALL FIXING, FLASHING AND FINISHING REQUIREMENTS SHALL BE STRICTLY IN ACCORDANCE WITH THE RELEVANT AND CURRENT PRODUCT INSTALLATION GUIDE AND TECHNICAL DOCUMENTATION. ALLOW FOR VAPOUR PERMEABLE SARKING TO THE FACE OF THE BUILDING FACADE PRIOR TO INSTALLATION OF THE CHANNELS. APPLY PAINT FINISH, COLOUR AS SPECIFIED
- (E3)** ACRYLIC RENDER - ROCKCOAT "FINECOAT"
SELECTED WALL PANELS TO HAVE ROCKCOAT "FINECOAT" ACRYLIC RENDER SURFACES. PREPARATION TO WALL AND APPLICATION OF RENDER FINISH TO BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT PRODUCT INSTALLATION GUIDE AND TECHNICAL DOCUMENTATION. APPLY PAINT FINISH AS SPECIFIED
- (E4)** INTERNAL WALLS
90mm STUDS IN ACCORDANCE WITH AS4600 OR AS3740, FROM FLOOR LEVEL TO UNDERSIDE OF ROOF / FLOOR STRUCTURE. SUPPLY AND INSTALL 13mm CSR GYPROCK PLASTERBOARD TO BOTH SIDES ALLOW FOR GYPROCK WET AREA PLASTERBOARD TO WET AREAS AND TO FULL HEIGHT OF STUDS. PROVIDE HARDWOOD SKIRTING SINGLE SPLAY 92x18mm. PAINT WALLS & SKIRTING AS SPECIFIED TO SELECTED COLOURS.
- (E5)** EXISTING EXTERNAL WALLS
BUILDER TO INSPECT AND MAKE GOOD REMAINING EXTERNAL WALLS. WHERE REQUIRED, PROVIDE SUPPORT STRUCTURE(IF REQUIRED) TO REMAINING WALLS. CUT AWAY LOOSE OR DAMAGED CLADDING TO PROVIDE FIRM AND SOLID BEARING FOR NEW WORKS. REFER TO PLANS FOR NEW LAYOUT
- (N1)** TERMITE PROTECTION
CONSTRUCTION OF ALL NEW BUILDINGS AND ADDITIONS ARE TO BE PROTECTED AGAINST TERMITE INFESTATION IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3660.1 – 2014 TERMITE MANAGEMENT – PART 1: NEW BUILDING WORK. THE ONLY EXCEPTIONS APPLY TO DETACHED CLASS 10 BUILDINGS, SUCH AS A SHED, GARAGE OR CARPORT. THE NATIONAL CONSTRUCTION CODE VOLUMES ONE & TWO PROVIDE TWO ALTERNATIVE STRATEGIES FOR TERMITE MANAGEMENT:
 - THE USE OF TERMITE RESISTANT MATERIALS FOR THE PRIMARY STRUCTURAL ELEMENTS
 - THE INSTALLATION OF A CHEMICAL OR PHYSICAL BARRIER SYSTEM.
 BUILDER TO CONFIRM WITH LOCAL COUNCIL TO DETERMINE REQUIRED TERMITE PROTECTION MANAGEMENT
- (WT)** WATER TANK - 2000L CAPACITY
PROVIDE AND INSTALL WATER TANK AS SHOWN. ALL INSTALLATION REQUIREMENTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS

SOIL CLASSIFICATION
ALL FOUNDATIONS SHALL BE PREPARED AND MAINTAINED IN ACCORDANCE A.S. 2870-2011.
SITE INVESTIGATION REPORT PREPARED BY ???
REFER SOIL REPORT FOR ALL FOUNDATION INFORMATION RECOMMENDATION & MAINTENANCE

SOIL CLASSIFICATION REFER TO SOIL REPORT ??

(SITE CLASSIFICATION IN
ACCORDANCE WITH AS2870)

REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS.
EXACT LOCATION & DEPTH OF EXISTING & PROPOSED SERVICE PIPES MUST BE DETERMINED ON SITE PRIOR TO ANY EXCAVATION OF CONCRETE WORKS COMMENCING.
REPORT ANY SITE ABNORMALITIES TO STRUCTURAL ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
SITE INSPECTIONS MUST BE UNDERTAKEN & APPROVAL GIVEN BY STRUCTURAL ENGINEER PRIOR TO POURING.

SMOKE ALARMS

SMOKE ALARMS MUST BE CONNECTED (HARD WIRED) TO THE BUILDING'S CONSUMER MAINS POWER SOURCE AS WELL AS HAVING A BATTERY BACK-UP AND MUST ALSO BE INTERCONNECTED (IF THERE IS MORE THAN ONE ALARM).
QUALIFIED ELECTRICIANS MUST INSTALL SMOKE ALARMS THAT ARE 'HARD WIRED' TO THE CONSUMER MAINS POWER SOURCE.
SMOKE ALARMS MUST MEET THE AUSTRALIAN STANDARD AS 3786-2014.
PLEASE REFER TO ELECTRICAL ENGINEER'S DRAWINGS AND DETAILS

- (S1)** FLOOR FRAMING AS PER ENG'S DETAILS & SPECIFICATIONS
FLOOR FRAMING BRICK PIERS AND/OR STUMPS SHALL BE PROVIDED TO A HEIGHT ABOVE THE GROUND AS REQUIRED TO PROVIDE CLEARANCE TO THE UNDERSIDE OF BEARERS AS REQUIRED BY THE BUILDING REGULATIONS. JOINTS IN BEARERS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE BOTTOM EDGE OF EACH BEARER IS ADEQUATELY SUPPORTED BY BRICK PIERS OR STUMPS. BEARER AND FLOOR JOISTS TO BE SET TRUE AND LEVEL AND BE PROPERLY FIXED. REMOVE ALL DEBRIS AND EXTRANEOUS BUILDING MATERIALS FROM SUB FLOOR AREA BEFORE FIXING FLOORING MATERIAL. FOR DEEP JOISTED FLOORS, PROVIDE AND FIX HERRING BONE STRUTTING OR SOLID BLOCKING AT A MAXIMUM OF 1.8 CENTRES. STRUTTING OR BLOCKING IS TO BE KEPT AT LEAST 10 MM CLEAR FROM THE TOP AND BOTTOM OF THE DEEP JOISTS.
- (S2)** SUB FLOOR VENTILATION - REFER TO NCC 3.4.1
SUB FLOOR VENTILATION, BELOW TIMBER FLOOR CONSTRUCTION, SHALL BE A MINIMUM OF 150mm IN EVERY PART (400mm MIN. CLEARANCE WHERE TERMITE BARRIERS ARE INSTALLED) i.e. 150mm CLEARANCE TO THE UNDERSIDE OF BEARERS. THE EXTERNAL WALLS FORMING THE BASE STRUCTURE SHALL BE CROSS-VENTILATED BY MEANS OF EVENLY DISTRIBUTED OPENINGS. HAVING AN UNOBSTRUCTED AREA OF NOT LESS THAN 7,500mm² PER METRE OF EXTERNAL WALL. VENTS IN EXTERNAL WALLS SHALL BE MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. VENTS SHALL BE LOCATED 700 MM MAX. FROM THE CORNERS AND EVENLY SPACED.
- (S3)** STEEL LINTELS & STRUCTURAL SUPPORTS
ALL STEEL LINTELS & STRUCTURAL BEAMS SHALL BE GALVANISED OR TREATED IN ACCORDANCE TO AS/NZS 4680 AND PAINTED TO COMPLY WITH AS/NZS 2312 BEFORE BEING BUILT INTO WALLING. REFER TO ENG'S DRAWINGS FOR DETAILS
- (S4)** EXTERNAL LEVEL - MIN. 100mm STEPDOWN (OR AS NOTED)
ALLOW FOR 100mm MIN STEP BETWEEN INTERNAL & EXTERNAL LEVELS. EXTERNAL CONCRETE SLAB TO HAVE SELECT PAVING TILES AS SPECIFIED. APPLY DAVCO DAMPFLEX REO LIQUID WATERPROOF MEMBRANE (OR SIMILAR) ONTO CONCRETE FLOOR SLAB AS PER MANUFACTURERS SPECIFICATION. FLOOR SLAB TO BE SCREED WITH 1:100 FALLS AS SHOWN ON PLANS (ENSURE NO PONDING).
- (R1)** ROOF FRAMING AS PER ENG'S DETAILS & SPECIFICATIONS
TIMBER BATTENS OR GALVANIZED STEEL BATTENS (OR PURLINS AND GIRTS) SHALL BE INSTALLED, WITH STRENGTH AND STIFFNESS TO RESIST WIND UPLIFT AND GRAVITY LOADS (IN-SERVICE AND DURING CONSTRUCTION), IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE RELEVANT STANDARDS (.AS 1684, .BCA VOL 2 PART 3.4.3, .BCA VOL 2 P2.1 & P2.2). BATTENS, PURLINS AND GIRTS SHALL BE SUITABLE FIXED TO TRUSSES, RAFTERS, BEAMS, COLUMNS OR FRAMES, SUCH AS TO RESIST NET WIND PRESSURE.
- (R2)** SELECTED CORRUGATED ROOFING AT 12deg
ALLOW FOR SISALATION FOIL (AS NOTED BY THE THERMAL ASSESSMENT REPORT) FIXED ONTO EXTERNAL FACE OF ROOF RAFTERS & UNDERNEATH ROOFING BATTENS. TO BE INSTALLED IN ACCORDANCE WITH AS/NZS4200.2 INSTALL MINIMUM ROOF & CEILING INSULATIONS AS PER THERMAL ASSESSMENT REPORT
- (R3)** SELECTED ROOF DECKING AT 5deg
ALLOW FOR SISALATION FOIL (AS NOTED BY THE THERMAL ASSESSMENT REPORT) FIXED ONTO EXTERNAL FACE OF ROOF RAFTERS & UNDERNEATH ROOFING BATTENS. TO BE INSTALLED IN ACCORDANCE WITH AS/NZS4200.2 INSTALL MINIMUM ROOF & CEILING INSULATIONS AS PER THE THERMAL ASSESSMENT REPORT
- (R4)** DOWNPIPES, GUTTERS AND FASCIAS
SELECT 100x50 COLOURBOND DOWNPIPES AND 100mm COLOURBOND EAVES GUTTER WITH PINK PRIMED H3 FASCIA BOARD
- (R5)** ROOFING, PLUMBING & DRAINAGE - CONNECT TO LPD
ALL PLUMBING WORKS MUST COMPLY WITH AS/NZS 3500.3 PLUMBING AND DRAINAGE - PART 3: STORMWATER DRAINAGE & SECTION 2 OF AS/NZS 3500.5 PLUMBING AND DRAINAGE - PART 5: HOUSING INSTALLATIONS
SAA/SNZ HB114 GUIDELINES FOR THE DESIGN OF EAVES AND BOX GUTTERS.
- (R6)** FLASHING
INSTALL FLASHING OVER OPENINGS TO COVER INTERSECTIONS OR JOINTS, JUNCTIONS OF WALLS AND WINDOWS TO PREVENT WATER PENETRATION IN ACCORDANCE
ALL FLASHING TO ROOF AND NEW PARAPET TO CONFORM WITH A.S. 2179 - 1978. ALL FLASHING, PLUMBING AND CAPPING TO MATCH EITHER WALL OR ROOF COLOUR. WINDOW FLASHING AS 2904 AND THE BCA
- (R7)** PARAPET CAPPING
SUPPLY AND INSTALL COLORBOND PARAPET CAPPING GENERALLY COLOUR TO MATCH CORRESPONDING WALL. FLASHINGS SHOULD CONFORM TO AS/NZS 2179.1:1994
- (R8)** BOX GUTTER WIDTH AS NOTED
MIN. 100mm DEEP COLORBOND BOX GUTTER COMPLETED WITH OVER AND UNDER FLASHING AND APPROVED SUPPORT SYSTEM. WITH MIN. 1:100 FALL. PROVIDE MESH OVER BOX GUTTER SUMP - OVERFLOWS SHALL BE SAME SIZE AS DOWNPIPE (MIN). CONNECT TO COLORBOND DOWN PIPES AND TO THE L.P.D.
BOX GUTTERS INSTALLATION TO BE IN ACCORDANCE WITH AS/NZS 3500.3, AS/NZS 3500.5, HB 114 AND HB 39.
GUTTERS, DOWNPIPES AND FLASHINGS MUST:
 - BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2179.1 FOR METAL
 - BE MANUFACTURED IN ACCORDANCE WITH AS 1273 FOR UPVC COMPONENTS AND
 - BE COMPATIBLE WITH ALL ROOFING MATERIALS IN ACCORDANCE WITH BCA VOL 1 3.5.1.

- (TH)** ROOF SARKING & WALL WRAP:
FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5.
WALL INSULATION: A NON-COMBUSTIBLE, BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.
FLOOR INSULATION: WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDER FLOOR INSULATION.
PLEASE REFER TO SUBMITTED THERMAL ASSESSMENT REPORT FOR FURTHER DETAILS
SUSPENDED PLASTERBOARD CEILING
13mm THICK PLASTERBOARD CEILING LINING FIXED TO CEILING SUSPENSION SYSTEM IN ACCORDANCE WITH MANUFACTURERS DETAILS. THERE ARE NO CORNICES, INSTEAD FORM SQUARE SET CORNERS AND INSTALL AN EX. ANGLE TO FORM A STRAIGHT CORNER. INSTALL 13mm THICK AQUACHEK PLASTERBOARD CEILING LINING TO ALL WET AREAS. PAINT FINISH AS SPECIFIED
- (C1)** RAKED CEILING = NOTED AS "RK"
RAKED CEILING TO BEDROOM AREA AS NOTED. ROOF RAFTERS AND BEAMS AS PER ENG'S DETAILS AND SIZES. 13mm PLASTERBOARD CEILING UNDERSIDE TO FOLLOW ROOF PROFILE ON FURRING CHANNEL. THERE ARE NO CORNICES, INSTEAD FORM SQUARE SET CORNERS AND INSTALL AN EX. ANGLE TO FORM A STRAIGHT CORNER. INSTALL 13mm THICK AQUACHEK PLASTERBOARD CEILING LINING TO ALL WET AREAS. PAINT FINISH AS SPECIFIED
- (C2)** SOFFITS
SOFFIT LINING TO OVERHANGING ROOFS & FLOORS ABOVE, PROVIDE FRAMING TO SOFFIT UNDERSIDE WITH PAINTED 6mm VILLA BOARD LINING, PAINT FINISH AS SPECIFIED
- (C3)** NEW KITCHEN FITOUT BY OTHERS:
KITCHEN ASSEMBLIES SHOULD BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 4386.1:1996 DOMESTIC KITCHEN ASSEMBLIES, PART 1: KITCHEN UNITS AND INSTALLED IN ACCORDANCE WITH AS/NZS 4386.2:1996 DOMESTIC KITCHEN ASSEMBLIES, PART 2: INSTALLATION.
GAS APPLIANCES TO COMPLY WITH AS/NZS 5601.1-2013 GAS INSTALLATIONS. AS/NZS 5601.1. ALL INSTALLATION OF ELECTRICAL APPLIANCES TO COMPLY WITH AS/NZS 3000 ELECTRICAL INSTALLATIONS (KNOWN AS THE AUSTRALIAN/NEW ZEALAND WIRING RULES).
(REFER TO SHEET FOR TYPICAL DETAILS)
- (K)** NEW BATHROOM FITOUT:
BATHROOM FITOUT TO COMPLY WITH AS 3740-2010 WATERPROOFING OF DOMESTIC AREAS. BATHROOM / WET AREAS TO INCLUDE TO FOLLOWING ITEMS:
 - FLASHING MUST BE USED IN ALL WET AREAS OF THE BATHROOM, INCLUDING AROUND TOILETS.
 - FRAMELESS SHOWER SCREENS REQUIRE A FULL FLOOR WATERPROOFING SYSTEM OR 1.5M RADIUS FROM THE SHOWERHEAD.
 - A WATER STOP MUST BE INSTALLED IN ALL WET-AREA DOORWAYS.
 - TAP WASHERS MUST BE ABLE TO BE CHANGED WITHOUT DISTURBING WATERPROOFING SEALS.
 - FULL FLOOR WATERPROOFING IS REQUIRED WHEN USING A PARTICLE BOARD AND/OR PLYWOOD SUB-BASE.
 INSTALLATION OF ALL ELECTRICAL ITEMS TO COMPLY WITH AUSTRALIA / NEW ZEALAND STANDARD AS/NZS 3000-2007
(REFER TO SHEET FOR TYPICAL DETAILS)
- (B)** ELECTRICAL WORKS
ALL ELECTRICAL INSTALLATION WORK MUST COMPLY WITH;
 - AMENDMENT 2 OF AS/NZS 3000:2018 ELECTRICAL INSTALLATION
 - AS/NZS 3012: 2019, CONSTRUCTION AND DEMOLITION SITES
 PROVIDE GPOs TO ALL APPLIANCES INCLUDING (BUT NOT LIMITED TO) THE OVEN, COOK TOP, RANGEHOOD, DISHWASHER, WASHING MACHINE, DRIER ETC. AS REQUIRED
FINAL LAYOUT OF GPO'S, TV POINTS, NETWORKING AND TELEPHONE OUTLETS, TO BE APPROVED BY OWNER/CLIENT
- (D)** DOORS & HARDWARE
SOLID CORE FLUSH PANEL DOORS - EXTERNAL QUALITY
 - DOORS FLUSH WEATHERPROOF GRADE PLYWOOD BOTH SIDES
 - DOOR THICKNESS: MIN 38MM
 - EDGES: 10MM KDHW TIMBER EDGE TO VERTICAL STYLES.INTERNAL DOORS- FLUSH PANEL
 - UNIVERSAL DOOR WITH 120 MM KDHW STYLES AND 90 MM
 - DOOR THICKNESS: MIN 38MM, 10MM KDHW TIMBER EDGE TO VERTICAL STYLES.CAVITY SLIDING DOORS
 - 35mm SEMI SOLID FLUSH PANEL DOORS
 - JOEY ZERO CAVITY DOOR POCKETS
 - JOEY SOFT CLOSE SYSTEM
 DOOR HARDWARE AS PER CLIENT'S / OWNER'S APPROVAL
DOORS 2 PAC FINISH TO APPROVED COLOUR BY CLIENT / OWNER
- (B)** ROBE SLIDING DOORS
ALLOW FOR STEGBAR WARDROBE SLIDING DOOR SYSTEM (OR AS APPROVED). 25mm MDF PRE-PAINTED PANEL DOORS (UNLESS NOTED OTHERWISE). NATURAL ANODISED ALUMINIUM FRAME WITH FINGER GRIP TO EDGES OF DOORS. ALLOW FOR 16mm MELAMINE WHITE BOARD TO ALL INTERNAL WARDROBE SHELIVING AND PANELING. COMPLETE WITH A S/S HANGING ROD. INTERNAL SHELIVING AS APPROVED BY THE OWNER

- (F1)** FLOOR FINISHES
FLOOR FINISHES ARE SPECIFIED ON PLANS UNDER ROOM NAMES. GENERALLY ENSURE THAT WHERE TWO FLOOR FINISHES MEET THEY ARE SET FLUSH. REFER TO THE SETDOWN PLANS FOR ALL SUBSTRATE LEVELS. SUPPLY AND INSTALL SOLID POLISHED CHROME ANGLE BETWEEN TIMBER AND TILED FLOOR FINISHES. SUPPLY AND INSTALL SOLID POLISHED CHROME RAVEN STRIPS OVER THE LEADING EDGE OF THE CARPET.
- (F1)** TIMBER FLOOR - AS PER CLIENT'S REQUIREMENTS
- (F2)** CARPET FLOOR - AS PER CLIENT'S REQUIREMENTS
- (F3)** TILED FLOOR - AS PER CLIENT'S REQUIREMENTS
- (F4)** WALL AND FLOOR TILING
WHERE SPECIFIED IN PROJECT REQUIREMENTS FIX WALL AND FLOOR TILES WITH UNIFORM SIZE JOINTS SET TO STRAIGHT WHERE NECESSARY. TILES SHALL BE NEATLY CUT WITH CUT EDGES BEING TREATED OR LOCATED SO AS NOT TO LEAVE A SHARP EXPOSED NEATLY CUT HOLES IN WALL TILES FOR PLUMBING FITTINGS AND FLOOR TILES TO SKIRTINGS AND AROUND DOORWAYS. AFTER TILES ARE FULLY SET IN POSITION GROUT UP JOINS AND EXPOSED EDGES WITH APPROVED GROUT OF SELECTED TYPE AND COLOUR. LEAVE A MINIMUM OF A 8 MM GAP BETWEEN TILES AND SKIRTINGS/ARCHITRAVES ETC. AND FILL GAP WITH A COMPRESSIBLE MATERIAL.
- (F5)** NON SLIP FLOOR SURFACES TO AREAS:
INTERNAL STEPS = P3 or R10
EXTERNAL STEPS = P5 or R12
EXTERNAL PORCHES / LANDINGS = P5 or R12
PLEASE REFER TO TABLE 3.9.1.1 SLIP RESISTANCE CLASSIFICATION (Volume 2 – Class 1 & 10) WHERE SURFACES REQUIRES TO HAVE SLIP RESISTANCE. ALLOWANCE FOR ADDITIONAL SURFACE COATING - DULUX INTERGRAIN ULTRAGRIP
- (W)** GLAZING & FRAMING
 - GLAZING TO BE CLEAR UNLESS NOTED OTHERWISE. WINDOW FRAMES TO BE POWDER COATED - (SELECT COLOUR) SATIN FINISH
 - ALL WINDOW TO BE ALUMINIUM AWNING HEIGHTS UNLESS OTHERWISE NOTED.
 - ALL WINDOW TO BE @ 2400 HEAD HEIGHTS UNLESS OTHERWISE NOTED
 - ALL GLAZING TO BE IN ACCORDANCE WITH A.S. 1288-2006.
 - ALL GLAZING WITHIN 500MM OF FLOOR LEVEL, TO BE 5MM THICK. SAFETY GLASS IN ACCORDANCE WITH A.S. 1288-2006ALL GLAZING TO BE IN ACCORDANCE WITH F.1.13 FOR GLAZED ASSEMBLIES AND AS1288 & AS2047
- ALL NEW GLAZING WILL BE OF THE TYPE AND GRADE REQUIRED BY AS 1288. WINDOW FRAME & TYPE TO COMPLY WITH THE ENERGY RATING REPORT (AS IT APPEARS ON THE REPORT).
- (L1)** OUTDOOR SURFACE SLOPE
PROVIDE FALL TO EXTERNAL SURFACES WHERE THE FIRST 1M OF THE EXTERNAL FINISHED GROUND LEVEL THE FALL IS REQUIRED TO BE 50mm OVER THE 1M SETBACK. THIS CREATES A GRADIENT IN WHICH WATER WILL FALL AWAY FROM THE BUILDING. REFER TO NCC CLAUSE 3.1.3.3 SURFACE WATER DRAINAGE
- (L2)** LANDSCAPING
EXTENT OF LANDSCAPING WORKS TO BE VERIFIED AND AGREED BETWEEN OWNER AND NOMINATED BUILDER.
IT SHALL BE THE ULTIMATE RESPONSIBILITY OF THE LANDSCAPE DESIGNER AND CONTRACTOR TO DESIGN AN ADEQUATE DRAINAGE SYSTEM FOR THE GARDEN, HOWEVER THE FOLLOWING SHOULD BE USED AS A MINIMUM.
 - ALL GARDEN BEDS TO BE FULLY DRAINED TO A MINIMUM DEPTH OF 600mm. CRUSHED ROCK AND PLASTIC SLOTTED DRAINAGE PIPE TO BE FITTED.
 - ALL LAWN AREAS TO BE DRAINED USING CRUSHED ROCK BASE WITH SLOTTED PVC PIPE TO A DEPTH OF 300mm IN HERRINGBONE PATTERN.
 - BACKFILL WITH SCREENINGS AND CAPPED WITH 1/4" SCREENINGS.
 - LEAVE FLUSHING POINTS EXPOSED AS WITH OUTLET INTO PIT TO MONITOR WATER MOVEMENT, IE. OVER OR UNDER WATERING, PIT TO BE DISGUISED IN GARDEN BEDS.
 - DRAINAGE POINT FOR GARDEN DRAINAGE TO BE PROVIDED BY THE BUILDER.
- (L3)** ALL EXTERNAL WORKS
ALL EXTERNAL WORKS (IE. LANDSCAPING, PAVING, DRIVEWAY, ROOT BARRIERS ETC.) SHALL BE CARRIED OUT STRICTLY IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTS DRAWINGS. REFER TO ENGINEER'S DOCUMENTS FOR PAVING AND DRIVEWAY SLAB DETAILS.
- (L4)** BOUNDARY FENCING
PROVIDE NEW 1.8M HIGH TIMBER PAILING FENCING TO SIDES AND REAR BOUNDARIES. COMPLETE WITH ALL REQUIRED TIMBER SUPPORTS & FOOTINGS.
WHERE NOTED INSTALL ADDITIONAL TRELLIS SCREENING FENCE ABOVE FENCELINE WHERE REQUIRED REMOVE EXISTING FENCE AND INSTALL NEW TIMBER FENCE WHERE NOTED ON SITE PLAN. NEW FENCING GENERALLY TO BE IN ACCORDANCE WITH EXISTING FENCING TYPE. MAXIMUM HEIGHT OF FENCE ON BOUNDARY NOT TO EXCEED 2000mm ABOVE NATURAL GROUND LEVEL OF THE ADJOINING PROPERTY. NEW FENCES MUST NOT ENCR OACH OVER EXISTING FENCE ALIGNMENT

GENERAL NOTES - THESE GENERAL NOTES APPLY TO ALL DRAWINGS AND DOCUMENTS

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Revisions

MATERIALS, FINISHES & EXTENT OF WORKS

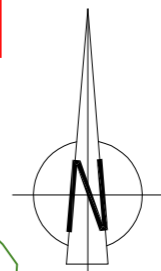
TOWN PLANNING REVIEW

Rev
A02 1
JUN 3 2024
N.T.S. @ A3 SHEET

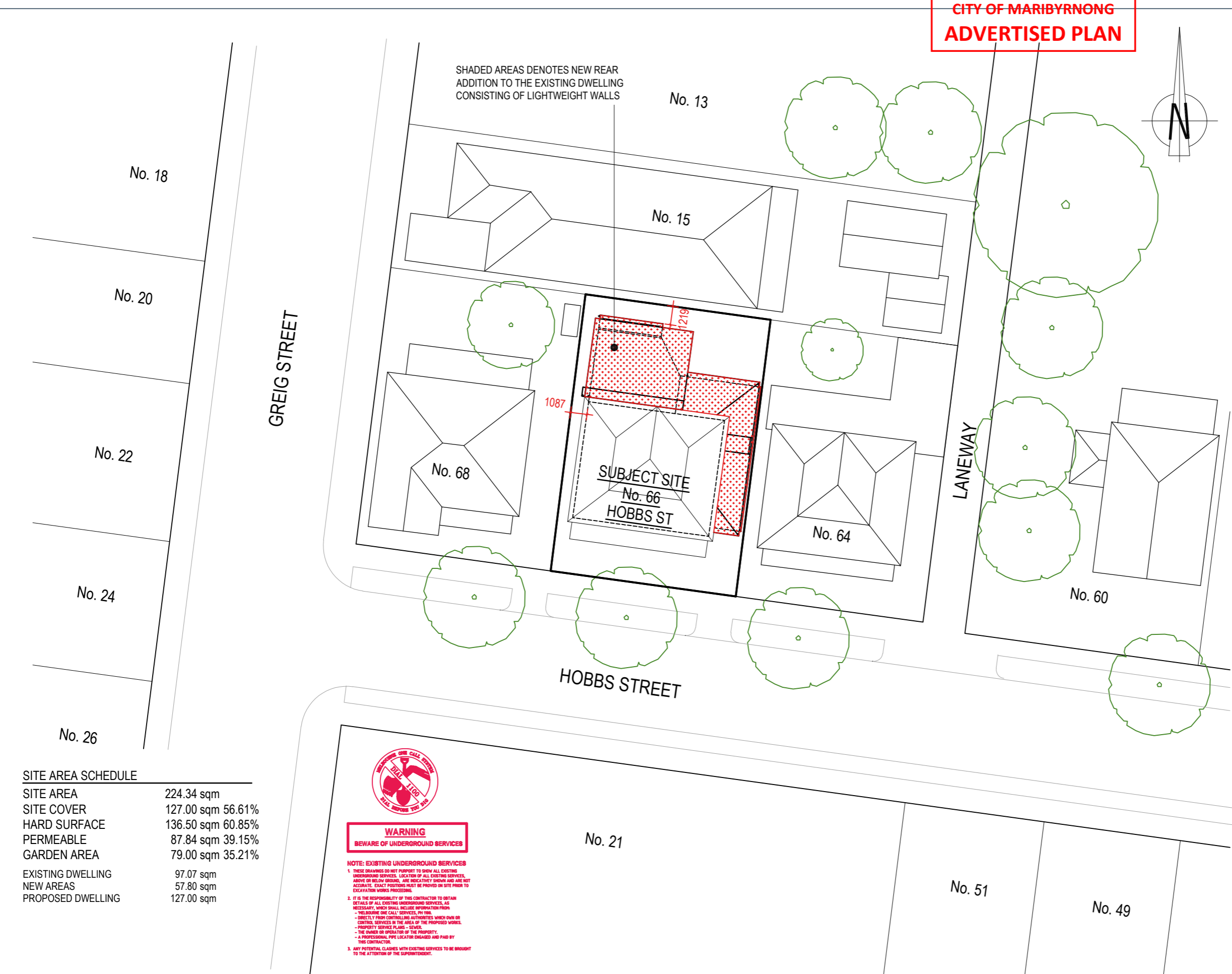
PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE



**CITY OF MARIBYRNONG
ADVERTISED PLAN**



SHADED AREAS DENOTES NEW REAR ADDITION TO THE EXISTING DWELLING CONSISTING OF LIGHTWEIGHT WALLS



SITE WORKS
 - VERIFY POWER, TELEPHONE AND WATER MAIN POSITIONS BEFORE ANY EXCAVATIONS. DIRECT STORMWATER DRAINS TO APPROVED POINT OF DISCHARGE BY COUNCIL.
 - ALL MATERIALS AND METHODS OF CONSTRUCTIONS TO COMPLY WITH RELEVANT BUILDING CODES.
 - 12.0M MAX SPACING OF DOWN PIPES. CONNECT D.P.'S TO S.W.D. WITH 90mm DIA. PVC PIPES WITH SLOPE OF 1:100
 - FOOTING NOT TO EXCEED TITLE BOUNDARY
 - TERMITE PROTECTION - PROVIDE METAL CAPS TO STUMPS AND TERMITE STEEL MESH UNDER BEARERS ON WALL OR OTHER TREATMENT THAT COMPLIES WITH A.S. 3660.1-1195

1- CONTRACTORS ACCESS AND PARKING RESPONSIBILITY:
 BUILDER, HIS CONTRACTORS, WORKERS AND SUB CONTRACTORS MUST CHECK AVAILABILITY OF CAR PARKING AND ACCESS FOR DELIVERY OF GOODS AND MATERIALS.

2- DILAPIDATION SURVEY:
 PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS BUILDER MUST PROVIDE DILAPIDATION SURVEY AND SHALL INCLUDE ALL SURROUNDING LANES, AND ROADS TO CONSTRUCTION SITE, PATH IN WHICH HE AND HIS CONTRACTORS INTEND TO USE FOR THE REMOVAL AND DELIVERY OF THE MATERIALS. THE SURVEY MUST INCLUDE CONDITIONS OF EXISTING WALLS, ROOFS, AND CEILINGS OF ADJOINING BUILDINGS. PROVIDE DILAPIDATION SURVEY WITH PHOTOS AND REPORTS TO THE ARCHITECT TO REVIEW AND APPROVE. SUBMIT FOUR (4) COMPLETED ELECTRONIC SETS OF FINAL APPROVED DILAPIDATION SURVEY REPORT TO THE BUILDING DESIGNER.

3- SURVEY EXISTING UNDERGROUND SERVICES:
 AT NO COST TO THE CLIENT, BUILDER IS TO ENGAGE A PROFESSIONAL UNDERGROUND SERVICES SURVEYORS TO DETECT ANY EXISTING UNDERGROUND SERVICES THAT WILL BE AFFECTED WITH THE CONSTRUCTION WORKS OR REQUIRED FOR THE FUTURE CONNECTION. UNDERGROUND SERVICES WILL INCLUDE ANY POWER CABLES, SEWERAGE AND STORM SYSTEM AND PIPES, GASES, etc. ALL DETECTED SERVICES NEED TO BE REDIRECTED SHALL BE AT THE BUILDER'S COST. BUILDER IS TO PROVIDE ELECTRONIC COPY OF THE SURVEY TO THE BUILDING DESIGNER.

4- BUILDER SITE FACILITIES AND AMENITIES (BUILDER'S COMPOUND):
 BUILDER SHALL PROVIDE LOCATION OF TEMPORARY SITE FACILITIES INCLUDING TEMPORARY POWER SUPPLY, AND AMENITIES FOR THE PROJECT. BUILDER TO PROVIDE THE STATUARY AND ALL NECESSARY AMENITIES AND FACILITIES FOR WORKERS AND PERSONS LAWFULLY ON THE SITE INCLUDING ADEQUATE STAFF / LUNCH ROOM, SITE OFFICE, AMENITIES INCLUDING TEMPORARY CONNECTIONS, FIRST AID, AND WORKSAFE DOCUMENTS, etc. ALL FACILITIES MUST BE IN ACCORDANCE WITH CURRENT REGULATIONS AND TO COMPLY WITH AUTHORITIES, UNION, WORKSAFE INSTRUCTIONS. BUILDER SHALL REMOVE ALL THE SITE AMENITIES AND SHEDS ON COMPLETION OF THE WORKS AND TO REINSTATE THE SITE TO ORIGINAL CONDITION AS PER THE APPROVED DILAPIDATION SURVEY.

5- CLOSURES OF ROADS OR REDIRECTION OF TRAFFIC:
 AT ANY STAGE OF THE CONSTRUCTION SHOULD THE BUILDER REQUEST CLOSURE OR REDIRECTION OF THE ROAD OR PART OF THE ROAD TO ENABLE HIM COMPLETING ANY CONSTRUCTION TASKS OR FOR DELIVERY OF MATERIALS OR THE REMOVAL OF DEMOLISHED MATERIALS, BUILDER IS TO PAY ALL COSTS ASSOCIATED WITH PERMITS' FEES TO AUTHORITIES AND TO COMPLETE THE TASKS IN ACCORDANCE WITH ALL AUTHORITIES REQUIREMENTS. BUILDER MUST NOT COMMENCE THE WORKS UNTIL APPROVAL IS GRANTED BY THE AUTHORITIES. BUILDER SHALL ALLOW FOR ALL TRAFFIC SIGNS, TRAFFIC MANAGEMENT PERSONNEL DURING THE CLOSURES UNTIL RESTORING THE TRAFFIC TO ORIGINAL CONDITIONS. BUILDER MUST CLEAN THE ROAD SURFACES FROM ANY FALLING MATERIALS DURING REMOVAL OR DELIVERY OF ANY MATERIAL.

6- SITE AND PROJECT DETAIL CLEANING:
 DURING THE CONSTRUCTION STAGE, BUILDER MUST KEEP THE CONSTRUCTION SITE AND SURROUNDING ROADS AND PATHS CLEAN AND FREE FROM PILING OR FALLING MATERIALS AND DEBRIS. ANY DELIVERED MATERIALS TO THE SITE MUST BE STORED IN APPROPRIATE MANNER TO AVOID SITE DISRUPTION OR CAUSING INJURIES.

ON COMPLETION OF THE PROJECT AND PRIOR TO THE HANDOVER OF THE SITE TO THE ARCHITECT AND THE CLIENT, BUILDER MUST REMOVE ALL EXCESS OF MATERIALS OTHER THAN REQUESTED FOR FUTURE MAINTENANCE, REMOVE ALL LABELS, CLEAN ALL FLOORS, REMOVE ANY DUST FROM LIGHTFITTING OR MECHANICAL DIFFUSERS, BALANCE, ELECTRIC PROTECTION TO ALL EQUIPMENT, PAINTING MARKS, GLUE, DETAIL CLEANING TO GLASS PANELS INTERNALLY AND EXTERNALLY, CLEAN ROOF, ROOF GUTTERS AND DOWN PIPES, etc. AND TO THE APPROVAL OF THE ARCHITECT.

BUILDER TO REMOVE THE SITE COMPOUND, SHEDS, HOARDING, FENCES, SCREENS, SIGNAGE, etc. AND TO REINSTATE ALL FOOTPATH, ROADS, AND TO COMPLETE RECTIFICATION OF THE DAMAGES TO ANY ADJOINING BUILDING THAT OCCURRED BY THE BUILDER AND HIS CONTRACTORS DURING THE CONSTRUCTIONS TO ORIGINAL CONDITION AS PER APPROVED DILAPIDATION SURVEY.

EXISTING SERVICES
 EXISTING SERVICES (SUCH AS DRAINS, WATERCOURSES, PUBLIC UTILITY AND OTHER SERVICES) IF ENCOUNTERED, OBSTRUCTED, OR DAMAGED IN THE COURSE OF PERFORMING THE WORK UNDER THE CONTRACT, SHALL BE DEALT WITH AS FOLLOWS:

- IF THE SERVICE IS TO BE CONTINUED: REPAIR, DIVERT, RELOCATE AS REQUIRED.
- IF THE SERVICE IS TO BE ABANDONED: CUT AND SEAL OR DISCONNECT.
- IN EITHER CASE TO SATISFY THE AUTHORITIES CONCERNED.
- RETURN METERS TO THE APPROPRIATE SUPPLY AUTHORITY IN THE CASE OF DISCONNECTION.
- ALL IN ACCORDANCE WITH THE TENDER CONDITIONS AND BUILDING WORKS CONTRACT.

SITE AREA SCHEDULE

SITE AREA	224.34 sqm
SITE COVER	127.00 sqm 56.61%
HARD SURFACE	136.50 sqm 60.85%
PERMEABLE	87.84 sqm 39.15%
GARDEN AREA	79.00 sqm 35.21%
EXISTING DWELLING	97.07 sqm
NEW AREAS	57.80 sqm
PROPOSED DWELLING	127.00 sqm



**WARNING
BEWARE OF UNDERGROUND SERVICES**

NOTE: EXISTING UNDERGROUND SERVICES
 1. THESE DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UNDERGROUND SERVICES. LOCATION OF ALL EXISTING SERVICES, ABOVE OR BELOW GROUND, ARE INDICATIVELY SHOWN AND ARE NOT ACCURATE. EXACT POSITIONS MUST BE PROVIDED ON SITE PRIOR TO EXCAVATION WORKS PROCEEDING.
 2. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO OBTAIN DETAILS OF ALL EXISTING UNDERGROUND SERVICES, AS NECESSARY, WHICH SHALL INCLUDE INFORMATION FROM:
 - "YES/NO" ONE CALL SERVICES, PH 1100
 - DIRECTLY FROM CONTROLLING AUTHORITIES WHICH OWN OR CONTROL SERVICES IN THE AREA OF THE PROPOSED WORKS.
 - PROPERTY SERVICES PLANS - SCHOOLS.
 - THE OWNER OR OPERATOR OF THE PROPERTY.
 - A PROFESSIONAL PIPE LOCATOR ENGAGED AND PAID BY THIS CONTRACTOR.
 3. ANY POTENTIAL CLASHES WITH EXISTING SERVICES TO BE BROUGHT TO THE ATTENTION OF THE SUPERINTENDENT.

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Revisions

LOCALITY SITE PLAN
 GENERAL NOTES
TOWN PLANNING REVIEW

A03 Rev 1
 JUN 3 2024
 1:250 @ A3 SHEET

PROPOSED BUILDING WORKS AT
 No. 66 HOBBS STREET
 SEDDON 3011
 FOR Mr. LACHLAN LANE



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

EXISTING STRUCTURES / BUILDINGS TO BE DEMOLISHED AND REMOVED FROM SITE

- STRUCTURES AS NOTED (ROOFS, WALLS, FLOORS & FOOTINGS TO BE DEMOLISHED AND REMOVED FROM SITE).
- UNLESS OTHERWISE SPECIFIED OR DIRECTED, REMOVE ALL TREES, LOGS STUMPS, BOULDERS, RUBBISH AND SCRUB WITHIN THE LIMITS OF CLEARING. DEMOLISH AND DISPOSE OF EXISTING FENCES, PREVIOUS CONSTRUCTION, ETC SPECIFIED TO BE REMOVED.
- EXISTING TOPSOIL AND HUMUS SHALL BE SEPARATELY REMOVED AND STOCKPILED AS INSTRUCTED BY THE SUPERINTENDENT.
- ALL TREES, EXCEPT THOSE INDICATED TO REMAIN, WHICH ARE WITHIN THE EARTHWORKS TOGETHER WITH ALLSTUMPS, ROOTS, CONCRETE SLABS, SPALLS, OLD FOUNDATIONS ETC., SHALL BE GRUBBED OUT TO A DEPTH OF A MINIMUM 300 MM BELOW BOTH SUBGRADE LEVEL OR GROUND LEVEL AFTER THE TOPSOIL AND HUMUS HAVE BEEN STRIPPED OR TO ACHIEVE A FIRM LAYER THAT IS FREE OF ORGANIC MATTER.
- ALL CLEARED MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN COMPLIANCE WITH STATUTORY REQUIREMENTS.
- WHERE NOTED, PARTLY DEMOLISH EXISTING TIMBER FRAMED WALL. REMOVE EXISTING TIMBER FRAMED WINDOWS AND PROVIDE TIMBER INFILL TO SUIT NEW WINDOW OPENING ARRANGEMENT - REFER TO PROPOSED PLANS AND ELEVATIONS.
- WHERE NOTED DEMOLISHED AND REMOVE METAL DECK ROOFING AND ASSOCIATED ROOF FRAMING. MAKE GOOD SURROUNDING SURFACES AS NECESSARY TO TAKE NEW EXTENSION.
- REMOVE EXISTING CARPET, TILES & TIMBER BOARDS AS NOTED. MAKE GOOD EXISTING TIMBER FLOOR FRAMES TO TAKE NEW FLOOR FINISHES AS NOTED

TEMPORARY SERVICES

PROVIDE AND MAINTAIN ALL TEMPORARY SERVICES FOR THE EXECUTION OF THE WORK. INSTALL METERS, VALVES AND SWITCHBOARDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES. PAY ALL CHARGES IN CONNECTION WITH THE INSTALLATION AND USE OF SUCH SERVICES. ON COMPLETION, DISCONNECT TEMPORARY SERVICES AND CLEAR AWAY ALL TRACES.

TEMPORARY POWER

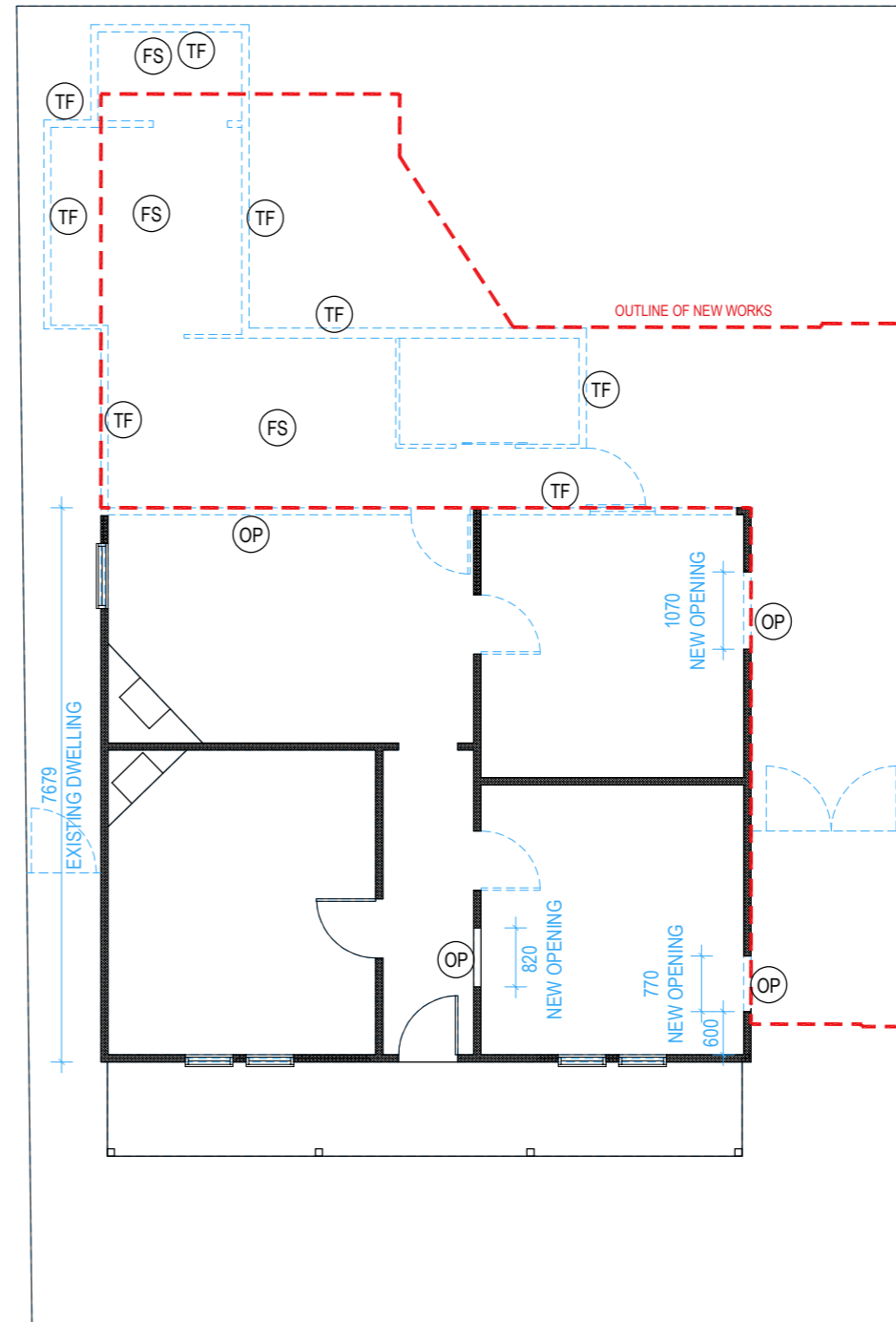
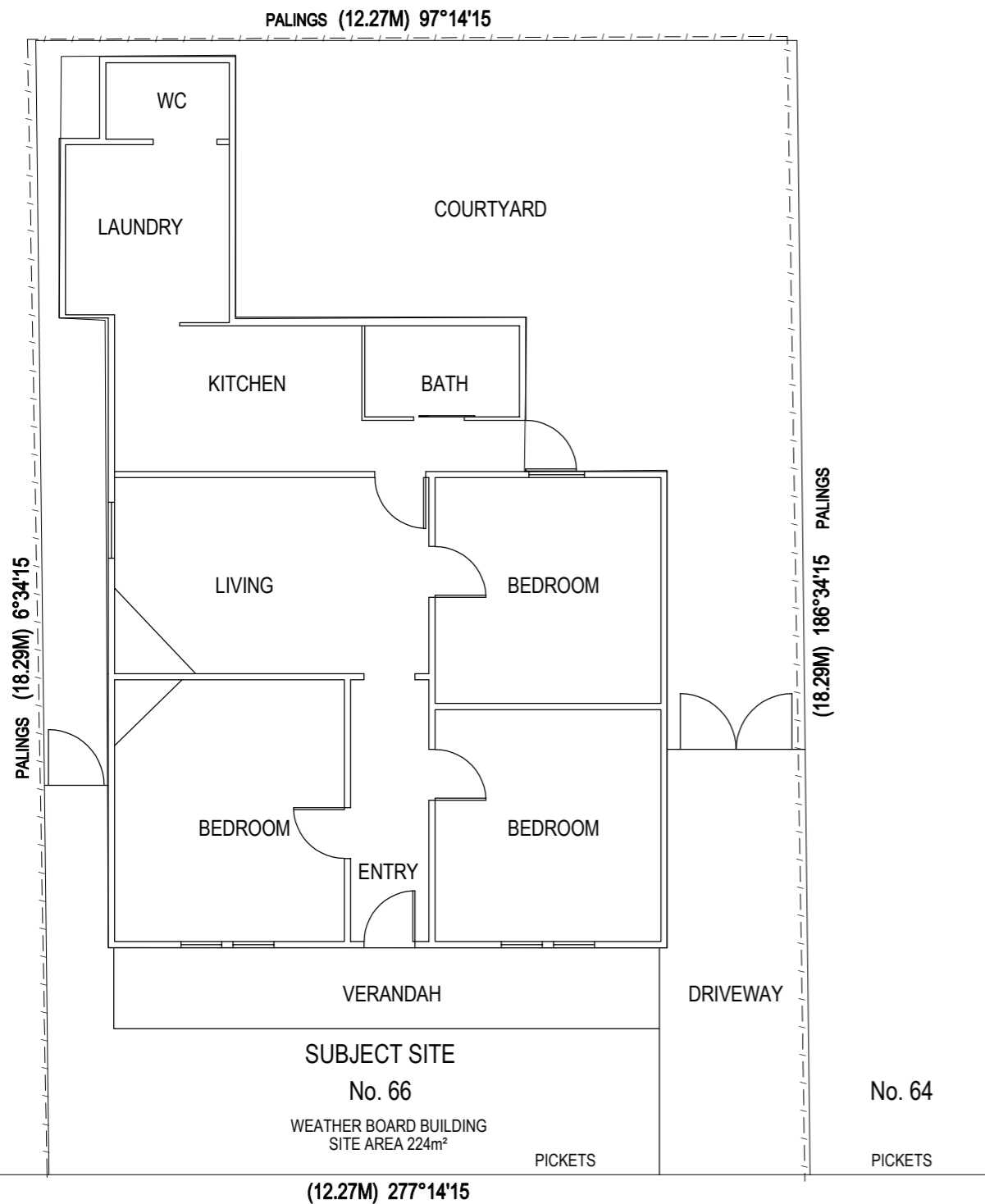
PROVIDE ALL TEMPORARY POWER REQUIRED TO CONSTRUCT THE WORKS. PROVIDE ADEQUATE LIGHTING FOR WORK IN PROGRESS AT ANY PART OF THE WORKS TO THE LEVEL RECOMMENDED IN AS 1680.

TEMPORARY WATER SUPPLY

PROVIDE TEMPORARY WATER SUPPLY TO AREAS OF SITE AS REQUIRED TO CARRY OUT THE WORKS.

TEMPORARY TELEPHONE

PROVIDE TEMPORARY TELEPHONES IN SUFFICIENT NUMBER AS SPECIFIED AND AGREED UPON. CHARGES FOR INSTALLATION, RENTAL, CALL CHARGES, AND REMOVAL SHALL BE PAID BY THE BUILDER.



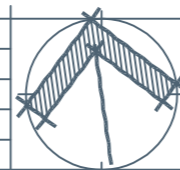
- EXTENT OF NEW WORKS
- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- + 21.68 CURRENT SITE LEVELS TO AHD
- TF DENOTES EXISTING TIMBER WALLS TO BE REMOVED
- OP DENOTES EXISTING TIMBER FRAMED WALL TO BE DEMOLISHED TO MAKE WAY FOR NEW OPENING
- FS EXISTING FLOOR FLOOR STRUCTURE TO BE DEMOLISHED

**FLOOR PLAN
EXISTING**

**FLOOR PLAN
DEMOLITION**

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Revisions



EXISTING PLAN
DEMOLITION PLAN
TOWN PLANNING REVIEW

A04 Rev 1
JUN 3 2024
1:100 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

PLEASE REFER TO THERMAL ASSESMENT REPORT PREPARED BY URBAN LEAF. ANY DISCREPANCY SHOULD BE REPORTED TO THE ASSESSOR

ROOFS & CEILING

- ROOF/CEILINGS 1 LAYER OF SINGLE SIDED FOIL MIN R1.3 (UNDER ROOF) & BULK CEILING INSULATION - MIN R6.0

EXTERNAL WALLS

- EXISTING WALLS WITH ADDED R2.5 BULK INSULATION
- TIMBER CLAD WALLS - 1 LAYER OF VAPOUR BARRIER (FRONT OF STUD FRAMING) & BULK INSULATION - MIN R2.5

INTERNAL WALLS

- WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR. BULK INSULATION - MIN R2.5

FLOORS

- TIMBER FLOOR WITH BULK INSULATION - MIN R3.0

ROOF SARKING & WALL WRAP:

FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5

INSULATION:

A NON-COMBUSTIBLE, BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.

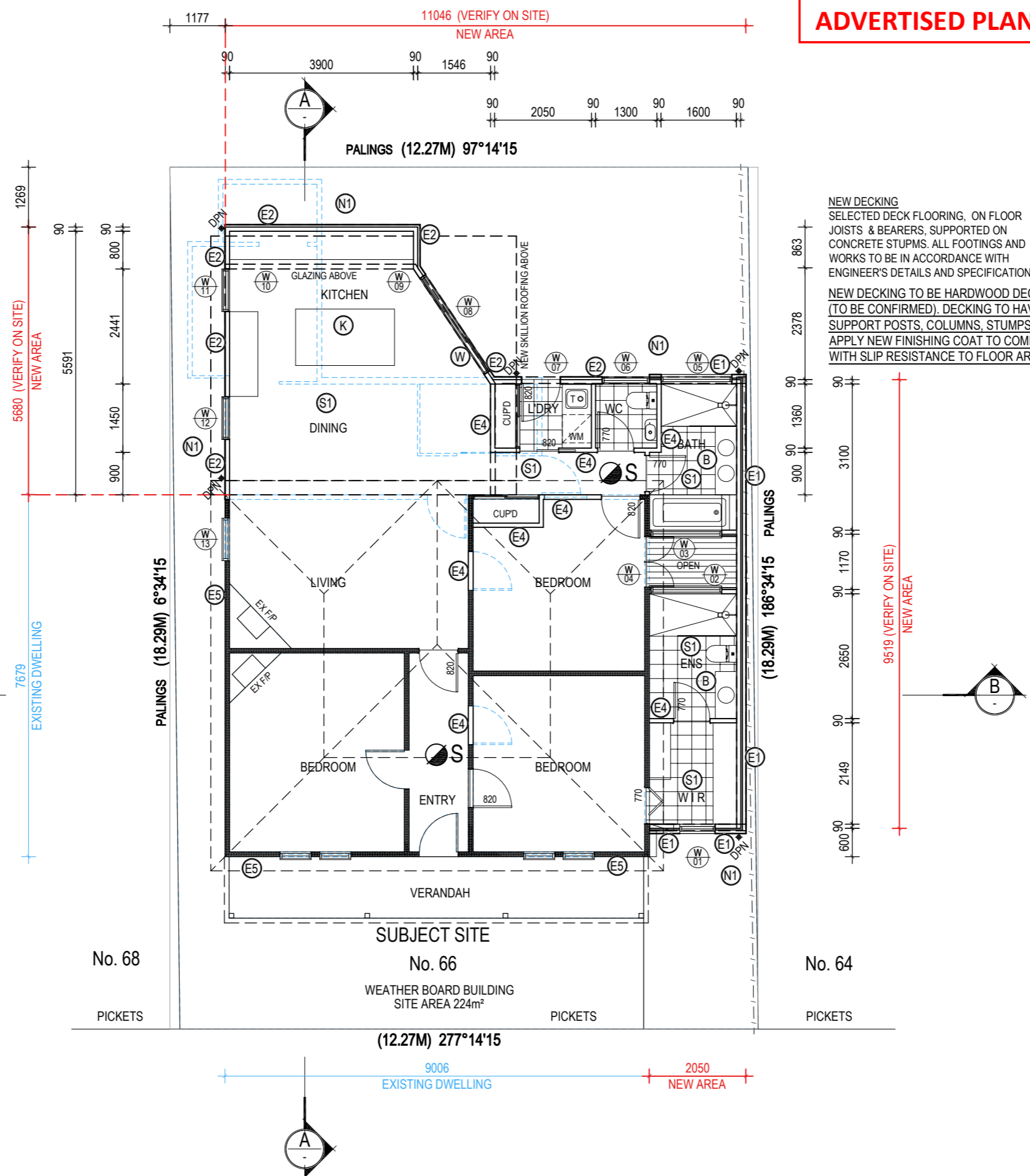
FLOOR INSULATION:

WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDERFLOOR INSULATION.

E1 MATERIAL, FINISHES AND EXTENT OF WORKS REFER TO SHEET A02 FOR NOTE TAGS AND SPECIFICATIONS. PROJECT SPECIFICATIONS APPLIES TO FULL SET OF DOCS

DEMOLITION NOTES:

- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADES PERSON.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.
- INVESTIGATON SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.



NEW DECKING
SELECTED DECK FLOORING, ON FLOOR JOISTS & BEARERS, SUPPORTED ON CONCRETE STUMPS. ALL FOOTINGS AND WORKS TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS AND SPECIFICATIONS

NEW DECKING TO BE HARDWOOD DECKING (TO BE CONFIRMED). DECKING TO HAVE SUPPORT POSTS, COLUMNS, STUMPS. APPLY NEW FINISHING COAT TO COMPLY WITH SLIP RESISTANCE TO FLOOR AREAS

GENERAL NOTES:

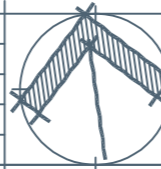
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 - THE DRAWINGS AND DOCUMENTATION ARE PART OF THE MAIN CONTRACT DOCUMENTS FOR THIS PROJECT. THE WORKS COVERED ARE THEREFORE GOVERNED BY ALL THE CONDITIONS OF THE MAIN CONTRACT BETWEEN THE BUILDER AND PRINCIPAL
 - THE CONTRACTOR SHALL CO-ORDINATE THEIR TRADE/ SERVICES WITH ALL OTHER SERVICES, ARCHITECTURAL, STRUCTURAL DRAWINGS AND ALL OTHER DOCUMENTATION. CONSULT LEVI ADAPON ON ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
 - BY SUBMITTING A TENDER THE CONTRACTOR HAS TO CO-ORDINATE ALL THE OTHER SERVICES AND TRADES.
 - THE DRAWING/ SPECIFICATIONS ARE NOT A BLUE PRINT FOR CONSTRUCTION, THEY ARE PROVIDED TO INDICATE THE DESIGN AND PERFORMANCE ONLY.
 - THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR REVIEW AND COMMENT BY THE CONSULTING ENGINEER.
 - SPECIFIED EQUIPMENTS SHALL NOT BE SUBSTITUTED UNLESS APPROVED BY THE CONSULTING ENGINEER.
 - ALL WORK IS TO COMPLY WITH RELEVANT & CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA AS WELL AS LOCAL & RESPONSIBLE AUTHORITIES.
 - ALL RELEVANT PERMITS ARE TO BE OBTAINED & FEES PAID BEFORE COMMENCEMENT OF ANY WORK.
 - DO NOT SCALE FROM THIS DRAWING. FIGURED DIMENSION TAKE PRECEDENCE OVER THOSE SCALED.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, REPORTS & COMPUTATIONS ETC.
 - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
 - ALL DIMENSIONS, SIZES, LEVELS & CONDITIONS ON SITE SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORKS AND CONSULT LEVI ADAPON ON ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY PART OF THE WORKS.
 - SOIL CLASSIFICATION - **AS PER ENGINEERS DOCS**
 - ALL CONCRETE WORKS TO COMPLY WITH AS-3600
 - SUB FLOOR VENTILATION TO NCC 3.4.1
 - ALL STEEL STRUCTURES TO AS-4100
 - COLD FORMED STEEL STRUCTURES TO AS-4600
 - BRICK VENEER WALL CONSTRUCTION TO COMPLY WITH AS3700 MASONRY IN BUILDINGS & AS2904 DAMP PROOF COURSES & FLASHINGS.
 - RESIDENTIAL & LOW RISE FRAMING TO NASH STANDARD
 - STUD FRAMING IN ACCORDANCE WITH AS4600 OR AS3740
 - COMPOSITE STEEL & CONCRETE TO AS2327.1
 - ALUMINIUM CONSTRUCTION TO AS-1664.1 OR AS-664.2
 - PILING TO AS-2159
 - GLAZED ASSEMBLIES TO AS-2047 OR AS-1288
 - METAL ROOFING TO AS-1562.1
 - FLASHING TO AS 2904 AND THE BCA
 - PROVIDE WATERPROOFING MEMBRANES TO ALL ABOVE GROUND CONCRETE TERRACES, BALCONIES AND ROOFS IN ACCORDANCE WITH AS-4654-2012.
- CODES, REGULATIONS & CONTRACT**
THE CONTRACT MUST COMPLY WITH THE REQUIREMENTS OF ALL THE CURRENT CODES, REGULATIONS AND ANY OTHER AUTHORITY HAVING JURISDICTION WITH THEIR TRADE/ SERVICE. ALL WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD. CO-ORDINATION OF WORKS, IT IS THE SOLE RESPONSIBILITY OR THE CONTRACTOR TO CO-ORDINATE WITH ALL THE OTHER CONTRACTORS FOR THEIR SPECIALIST REQUIREMENTS AND CO-ORDINATE WITH THE STRUCTURAL AND ARCHITECTURAL ELEMENTS.

SITE AREA SCHEDULE

SITE AREA	224.34 sqm
SITE COVER	127.00 sqm 56.61%
HARD SURFACE	136.50 sqm 60.85%
PERMEABLE	87.84 sqm 39.15%
GARDEN AREA	79.00 sqm 35.21%
EXISTING DWELLING	97.07 sqm
NEW AREAS	57.80 sqm
PROPOSED DWELLING	127.00 sqm

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Revisions	



PROPOSED FLOOR PLAN
TOWN PLANNING REVIEW

A05 Rev 1
JUN 3 2024
1:100 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

PLEASE REFER TO THERMAL ASSESMENT REPORT PREPARED BY URBAN LEAF. ANY DISCREPANCY SHOULD BE REPORTED TO THE ASSESSOR

ROOFS & CEILING
 • ROOF/CEILINGS 1 LAYER OF SINGLE SIDED FOIL MIN R1.3 (UNDER ROOF) & BULK CEILING INSULATION - MIN R6.0

EXTERNAL WALLS
 • EXISTING WALLS WITH ADDED R2.5 BULK INSULATION
 • TIMBER CLAD WALLS - 1 LAYER OF VAPOUR BARRIER (FRONT OF STUD FRAMING) & BULK INSULATION - MIN R2.5

INTERNAL WALLS
 • WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR. BULK INSULATION - MIN R2.5

FLOORS
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ROOF SARKING & WALL WRAP:
 FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5

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 A NON-COMBUSTIBLE, BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.

FLOOR INSULATION:
 WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDERFLOOR INSULATION.

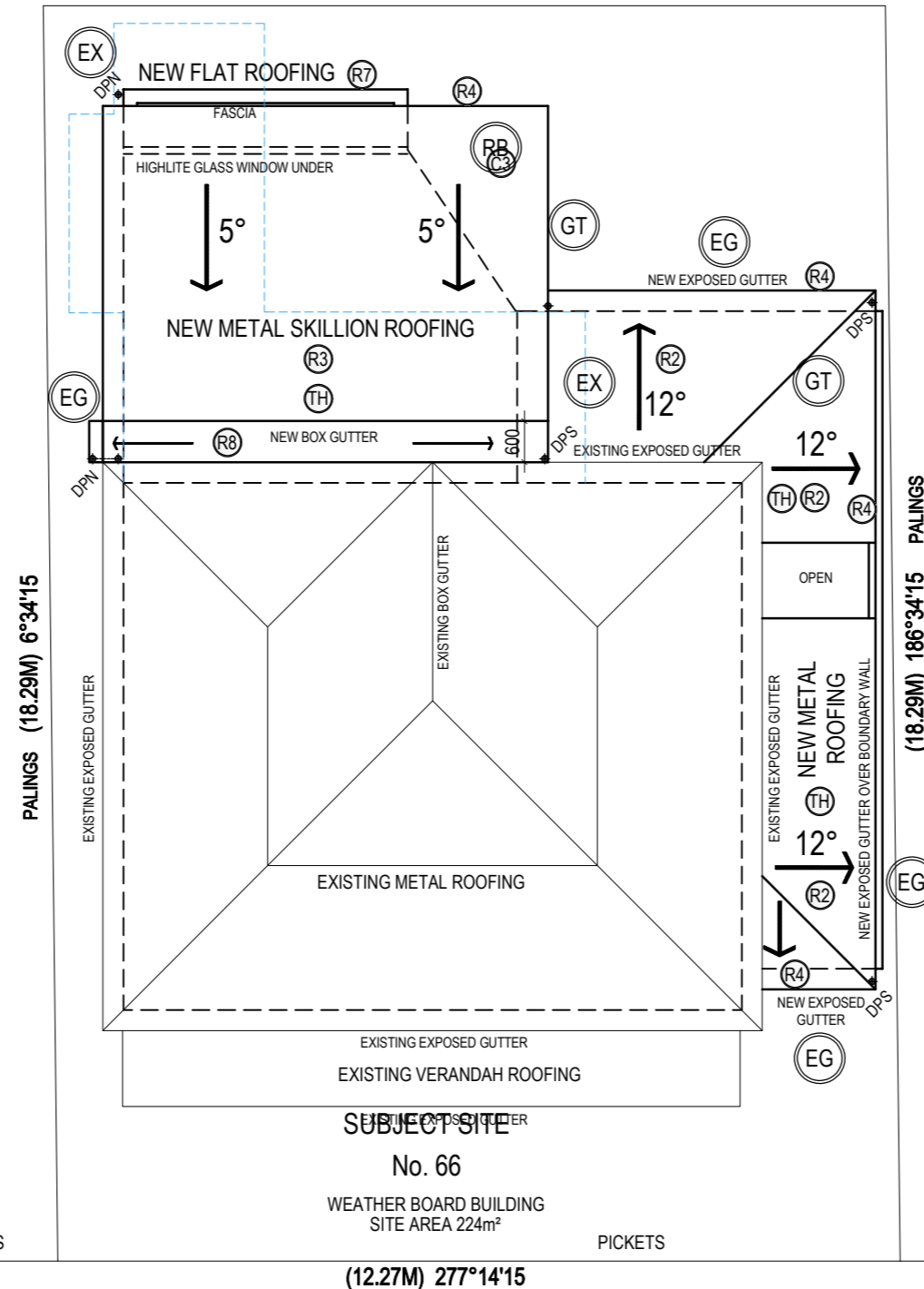
- (EX)** DEMOLISHED, SAW CUT & STABILIZE PART OF ROOF AS SHOWN. ALLOWANCE FOR FLAT ROOFING CONSTRUCTION AS DOCUMENTED. PROVIDE NEW GUTTERS, DOWNPIPES AND FLASHINGS & CONNECTION TO STORM WATER SYSTEM. BUILDER TO ENSURE FLASHINGS OVER NEW WORKS AND OPENINGS TO COVER INTERSECTIONS OR JOINTS, JUNCTIONS OF WALLS AND WINDOWS TO PREVENT WATER PENETRATION IN ACCORDANCE WITH AS 2904 AND THE BCA.
- (GT)** DENOTES FASCIA & ROOF BEAMS AS PER ENG'S SIZES AND DETAILS WITH SELECT METAL GUTTER SET TO FALL TO DOWNPIPES. BUILDER TO ENSURE NO PART OF THE NEW WALLS TO GO BEYOND THE BOUNDARY LINE - CONNECT TO EXISTING STORMWATER SYSTEM
- (SL)** ALL SKYLIGHTS / ROOFLIGHTS ARE FIXED REFER TO WINDOW SCHEDULE FOR SIZES MINIMUM GLAZING REQUIREMENTS TO MATCH SPEC'S AS PER ENERGY REPORT
- (EG)** ALL EXTERNAL GUTTERS & DOWNPIPES SHALL BE COLOURBOND - DULUX DURALLOY CHARCOAL. OR TO MATCH WINDOW FRAMES COLOUR

DOWN PIPES LEGEND

- DP-E ♦ EXISTING DOWN PIPE
- DPS ♦ NEW SPREADER DOWN PIPE
- DPN ♦ NEW DOWN PIPE

PLEASE CONFIRM LOCATIONS OF ALL DOWNPIPES (PROVIDED NOT GREATER THAN 12.0 M APART AND WITHIN 1.2M OF VALLEYS)

PALINGS (12.27M) 97°14'15



ALL FLASHING TO ROOF AND NEW PARAPET TO CONFORM WITH A.S. 2179 - 1978. ALL FLASHING, PLUMBING AND CAPPING TO MATCH EITHER WALL OR ROOF COLOUR.

INSULATION:
 SUPPLY & INSTALL SARKING TO UNDERSIDE OF ROOFING MATERIAL & SUPPLY & INSTALL R5.0 CEILING BATTS TO ROOF CAVITY AS PER MANUFACTURES INSTRUCTIONS. REFER TO ENERGY RATING REPORT FOR FURTHER DETAILS

DP'S & BOX GUTTER NOTE:
 SUPPLY & INSTALL ZINCALUME BOX GUTTERS AS SPECIFIED ON SPANDEK HI-TEN (OR EQUIVALENT) TO FULLY SUPPORT BOTTOM OF GUTTER ALONG WHOLE LENGTH, SUPPORTED BY ADJUSTABLE METAL BOX GUTTER BRACKETS (OR WATER RESISTANT MATERIAL) WITH MIN. 1:100 FALL. PROVIDE MESH OVER BOX GUTTER SUMP - OVERFLOWS SHALL BE SAME SIZE AS DOWNPIPE (MIN) BOX GUTTERS INSTALLATION TO BE IN ACCORDANCE WITH AS/NZS 3500.3, AS/NZS 3500.5, HB 114 AND HB 39.

GUTTERS, DOWNPIPES AND FLASHINGS MUST:

- BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2179.1 FOR METAL
- BE MANUFACTURED IN ACCORDANCE WITH AS 1273 FOR UPVC COMPONENTS AND
- BE COMPATIBLE WITH ALL ROOFING MATERIALS IN ACCORDANCE WITH BCA VOL 1 3.5.1.

STANDARDS AND CODES OF PRACTICE
 COMPLY WITH APPLICABLE PORTIONS OF THE FOLLOWING AUSTRALIAN STANDARDS:

- AS 1170 2002 THE SAA LOADING CODE
 PART 1 1990 DEAD AND LIVE LOADS
 PART 2 1990 WIND LOADS
- AS 1397 2011 STEEL SHEET AND STRIP - NOT DIPPED ZINC COATED OR ALUMINIUM/ZINC COATED
- AS 1562 1992 DESIGN AND INSTALLATION OF METAL ROOFING
- AS 2179 1994 METAL RAINWATER GOODS - SPECIFICATION
- AS 2180 1994 METAL RAINWATER GOODS - SELECTION AND INSTALLATION
- AS 3566 2002 SELF-DRILLING SCREWS FOR THE BUILDING AND CONSTRUCTION INDUSTRIES

DRAINAGE SYSTEM
 THE ROOF DRAINAGE SYSTEM INCLUDING GUTTERS AND DOWN PIPES SHOULD BE CONNECTED TO A COMPLIANT STORMWATER DRAINAGE SYSTEM AND SHOULD BE DESIGNED SO THAT ANY OVERFLOW DURING HEAVY RAIN PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING ACCORDING TO BCA VOL 1 PART 3.5.2

EAVES SOFFIT LINING
 PROVIDE 6mm VILLABOARD PANELS, PAINT FINISH AS SPECIFIED. U.N.O. NOTED OVERHANGING ROOFS ABOVE TO HAVE FRAMED SOFFIT UNDERSIDE, REFER TO ELEVATIONS & SECTIONS FOR HEIGHTS. WHERE NO DIMENSION IS SHOWN, HEIGHT OF SOFFIT WILL MATCH HEIGHT OF SURROUNDING OPENINGS AS SHOWN. INSTALLATION AS PER MANUFACTURERS REQUIREMENTS

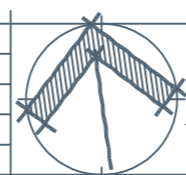
CEILING / SOFFIT LINING TYPES
 UNLESS OTHERWISE NOTED CEILING LINING TYPES ARE AS FOLLOWS:

- **INTERNAL CEILING LINING**
 10mm PLASTERBOARD (AQUACHECK PLASTERBOARD IN WET AREAS) WITH PAINT FINISH AS SPECIFIED.
 THERE ARE NO CORNICES, INSTEAD FORM SHADOW LINE DETAIL USING RONDO P51 COMBINATION SET BEAD.
 INSTALL 10mm THICK AQUACHEK PLASTERBOARD CEILING LINING TO ALL WET AREAS
- **EXTERNAL SOFFIT LINING**
 6mm VILLABOARD EXTERNAL LINING WITH PAINT FINISH AS SPECIFIED.

PROVIDE CEILING/SOFFIT LEVEL STRUCTURE VIA "RONDO KEY LOCK" CEILING SUSPENSION SYSTEM IN ACCORDANCE WITH MANUFACTURERS DETAILS TO ACHIEVE CEILING LEVELS SPECIFIED.

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Revisions



PROPOSED ROOF PLAN
TOWN PLANNING REVIEW

A06
 Rev 1
 JUN 3 2024
 1:100 @ A3 SHEET

PROPOSED BUILDING WORKS AT
 No. 66 HOBBS STREET
 SEDDON 3011
 FOR Mr. LACHLAN LANE



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- ROOFS & CEILING
- ROOF/CEILINGS: 1 LAYER OF SINGLE SIDED FOIL, MIN R1.3 (UNDER ROOF) & BULK CEILING INSULATION - MIN R6.0 EXTERNAL WALLS
- EXISTING WALLS WITH ADDED R2.5 BULK INSULATION
- TIMBER CLAD WALLS - 1 LAYER OF VAPOUR BARRIER (FRONT OF STUD FRAMING) & BULK INSULATION - MIN R2.5
- INTERNAL WALLS
- WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR: BULK INSULATION - MIN R2.5
- FLOORS
- TIMBER FLOOR WITH BULK INSULATION - MIN R3.0
- ROOF SARKING & WALL WRAP
- FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5
- INSULATION:
- ANON-COMBUSTIBLE: BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.
- FLOOR INSULATION:
- WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDERFLOOR INSULATION.

- Ⓔ1 MATERIAL FINISHES AND EXTENT OF WORKS REFER TO SHEET A02 FOR NOTE TAGS AND SPECIFICATIONS, PROJECT SPECIFICATIONS APPLIES TO FULL SET OF DOCS

MATERIALS

WALLS

- EXISTING TIMBER WEATHERBOARDS NEW PAINT FINISH
- NEW TIMBER WEATHERBOARD PAINT FINISH

- TEXTURED FINISH TO BOUNDARY WALLS AND PART FRONT AND REAR WALLS
- NEW PAINT FINISH TO GENERALLY MATCH DULUX HERITAGE BISCUIT

WINDOWS

- EXISTING TIMBER & ALUMINIUM WINDOWS TO MATCH WALL COLOUR

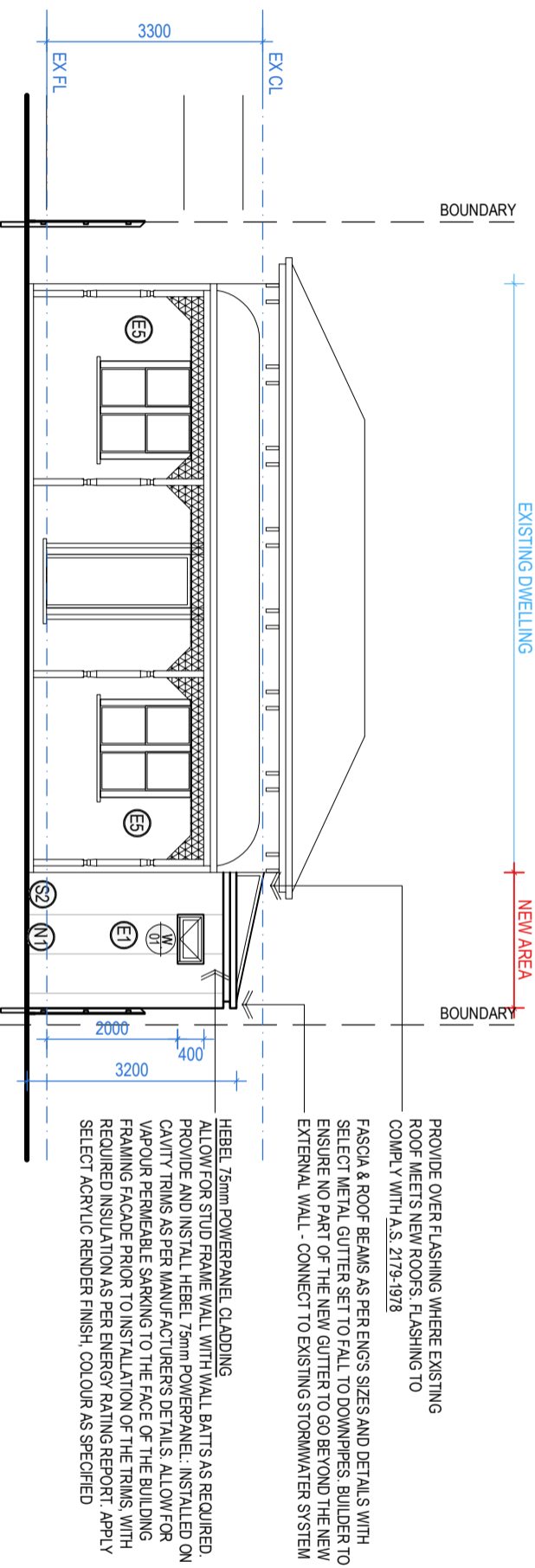
ROOFING

- SELECTED NEW METAL ROOFING @ 2° & 12° ROOF PITCH

SUB FLOOR VENTILATION - REFER TO NCC 3.4.1
SUB FLOOR VENTILATION: BELOW TIMBER FLOOR CONSTRUCTION, SHALL BE A MINIMUM OF 150mm IN EVERY PART (400mm MIN. CLEARANCE WHERE TERMITE BARRIERS ARE INSTALLED) VENTS SHALL BE LOCATED 700 MM MAX. FROM THE CORNERS AND EVENLY SPACED.

EXISTING SERVICES IS TO BE ABANDONED, CUT AND SEAL OR DISCONNECT TO THE SATISFACTION OF THE AUTHORITIES CONCERNED. RETURN METERS TO THE APPROPRIATE SUPPLY AUTHORITY IN THE CASE OF DISCONNECTION.

THERMAL INSULATION AS PER ENERGY REPORT
- EXTERNAL WALLS: DOUBLE SIDED REFLECTIVE FOIL LAMINATE FIXED TO EXTERNAL FACE OF STUDS, WITH RECOMMENDED INSULATION AS PER ENERGY RATING REPORT
- ROOF: REFLECTIVE FOIL LAMINATE UNDER ROOFING AS SARKING & WITH RECOMMENDED INSULATION AS PER ENERGY RATING REPORT OVER CEILING LINING.



SOUTH ELEVATION HOBBS STREET

PROVIDE OVER FLASHING WHERE EXISTING ROOF MEETS NEW ROOFS. FLASHING TO COMPLY WITH A.S. 2179-1978

NEW EXTERNAL WALLS
PROVIDE & INSTALL SPECIFIED RENDERED JAMES HARDIE PANELS WHERE NOTED. PAINT TO MATCH EXISTING, TO BE CONFIRMED BY THE OWNER.
PROVIDE INSULATION AS REQUIRED BY THE BCA. SISALATION MUST BE INSTALLED ONTO FACE OF STUD FRAMING.

HEBEL 75mm POWERPANEL CLADDING
ALLOW FOR STUD FRAME WALL WITH WALL BATTAS AS REQUIRED, PROVIDE AND INSTALL HEBEL 75mm POWERPANEL. INSTALLED ON CAVITY TRIMS AS PER MANUFACTURERS DETAILS. ALLOW FOR VAPOUR PERMEABLE SARKING TO THE FACE OF THE BUILDING FRAMING FACADE PRIOR TO INSTALLATION OF THE TRIMS WITH REQUIRED INSULATION AS PER ENERGY RATING REPORT. APPLY SELECT ACRYLIC RENDER FINISH, COLOUR AS SPECIFIED

EAST ELEVATION

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Revisions

ELEVATIONS TOWN PLANNING REVIEW

A07
Rev 2
JUL 17 2024

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE



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- COLD FORMED STEEL STRUCTURES TO AS-4600
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- COMPOSITE STEEL & CONCRETE TO AS2327.1
- ALUMINIUM CONSTRUCTION TO AS-1664.1 OR AS-664.2
- PILING TO AS-2159
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- FLASHING TO AS 2904 AND THE BCA
- PROVIDE WATERPROOFING MEMBRANES TO ALL ABOVE GROUND CONCRETE TERRACES, BALCONIES AND ROOFS IN ACCORDANCE WITH AS-4654-2012.
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- CO-ORDINATION OF WORKS: IT IS THE SOLE RESPONSIBILITY OR THE CONTRACTOR TO CO-ORDINATE WITH ALL THE OTHER CONTRACTORS FOR THEIR SPECIALIST REQUIREMENTS AND CO-ORDINATE WITH THE STRUCTURAL AND ARCHITECTURAL ELEMENTS.

DEMOLITION NOTES:

- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADES PERSON.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.
- INVESTIGATION SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.

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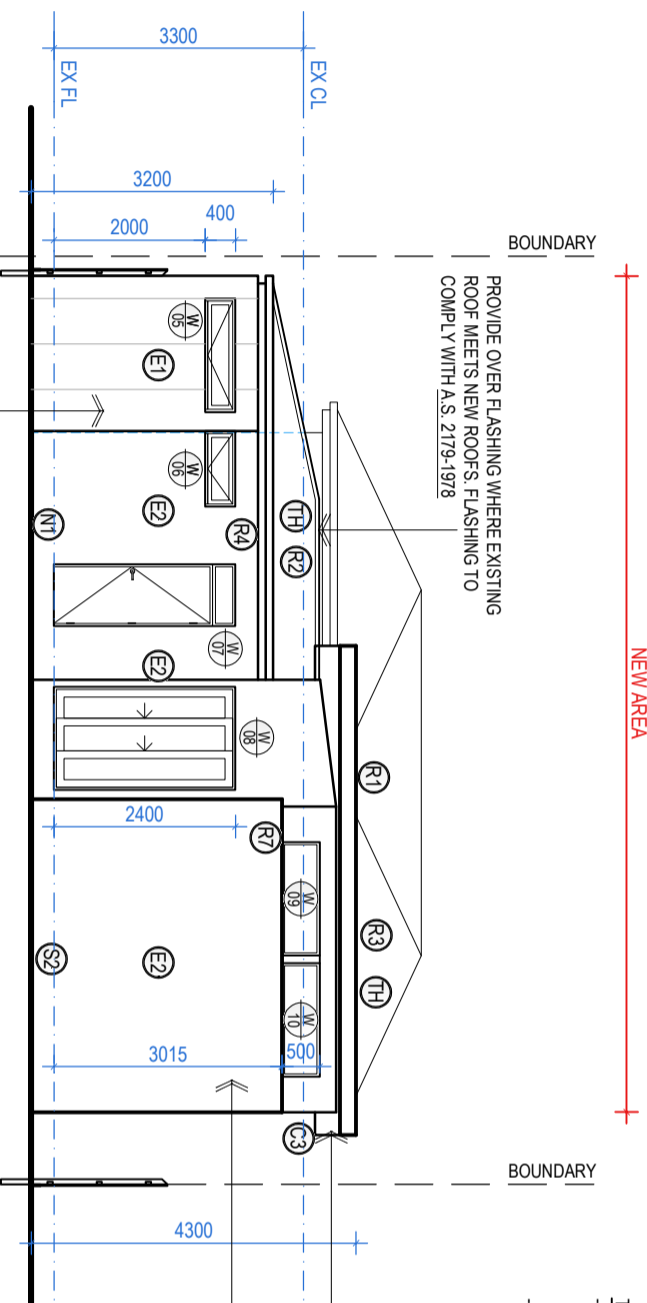
- ROOFS & CEILING
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- WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR - BULK INSULATION - MIN R2.5
- TIMBER FLOOR WITH BULK INSULATION - MIN R3.0
- ROOF SARKING & WALL WRAP
- FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5
- ANON-COMBUSTIBLE - BRADFORD GLASSWOOL FIBRE TYPE INSULATION;
- INSULATION TO WALLS & CEILINGS.
- FLOOR INSULATION:
- WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDERFLOOR INSULATION.

E1 MATERIAL FINISHES AND EXTENT OF WORKS REFER TO SHEET A02 FOR NOTE TAGS AND SPECIFICATIONS. PROJECT SPECIFICATIONS APPLIES TO FULL SET OF DOCS

- MATERIALS**
- EXISTING TIMBER WEATHERBOARDS
 - NEW PAINT FINISH
 - NEW TIMBER WEATHERBOARD
 - PAINT FINISH
 - TEXTURED FINISH TO BOUNDARY WALLS AND PART FRONT AND REAR WALLS
 - NEW PAINT FINISH TO GENERALLY MATCH DULUX HERITAGE BISCUIT
- WINDOWS** - EXISTING TIMBER & ALUMINIUM WINDOWS TO MATCH WALL COLOUR
- ROOFING** - SELECTED NEW METAL ROOFING @ 2° & 12° ROOF PITCH

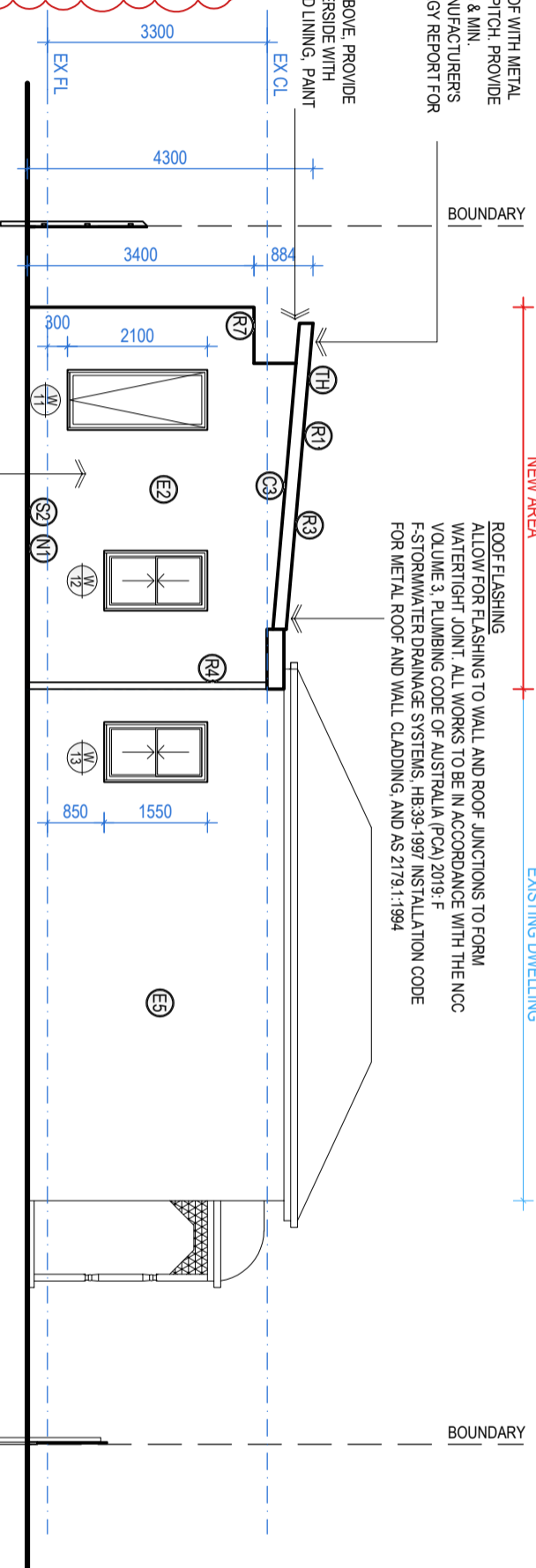
NEW TIMBER FRAMED ROOF WITH METAL ROOFING WITH 12° ROOF PITCH. PROVIDE SIGNALATION FOIL SARKING & MIN. INSULATION BATTS TO MANUFACTURERS DETAILS - REFER TO ENERGY REPORT FOR DETAILS

SOFFIT LINING
OVERHANGING ROOFS ABOVE, PROVIDE FRAMING TO SOFFIT UNDERSIDE WITH PAINTED 6mm VILLA BOARD LINING, PAINT FINISH AS SPECIFIED



NORTH ELEVATION

HEBEL 75mm POWERPANEL CLADDING
ALLOW FOR STUD FRAME WALL WITH WALL BATTS AS REQUIRED. PROVIDE AND INSTALL HEBEL 75mm POWERPANEL. INSTALLED ON CAVITY TRIMS AS PER MANUFACTURER'S DETAILS. ALLOW FOR VAPOUR PERMEABLE SARKING TO THE FACE OF THE BUILDING FRAMING FACADE PRIOR TO INSTALLATION OF THE TRIMS. WITH REQUIRED INSULATION AS PER ENERGY RATING REPORT. APPLY SELECT ACRYLIC RENDER FINISH, COLOUR AS SPECIFIED



WEST ELEVATION

NEW EXTERNAL WALLS
PROVIDE & INSTALL SPECIFIED RENDERED JAMES HARDIE PANELS WHERE NOTED. PAINT TO MATCH EXISTING. TO BE CONFIRMED BY THE OWNER. PROVIDE INSULATION AS REQUIRED BY THE BCA. SIGNALATION MUST BE INSTALLED ONTO FACE OF STUD FRAMING.

EXISTING SERVICES IS TO BE ABANDONED, CUT AND SEAL OR DISCONNECT TO THE SATISFACTION OF THE AUTHORITIES CONCERNED. RETURN METERS TO THE APPROPRIATE SUPPLY AUTHORITY IN THE CASE OF DISCONNECTION.

SUB FLOOR VENTILATION - REFER TO NCC 3.4.1
SUB FLOOR VENTILATION, BELOW TIMBER FLOOR CONSTRUCTION, SHALL BE A MINIMUM OF 150mm IN EVERY PART (400mm MIN. CLEARANCE WHERE TERMITE BARRIERS ARE INSTALLED) VENTS SHALL BE LOCATED 700 MM MAX. FROM THE CORNERS AND EVENLY SPACED.

EXISTING SERVICES IS TO BE ABANDONED, CUT AND SEAL OR DISCONNECT TO THE SATISFACTION OF THE AUTHORITIES CONCERNED. RETURN METERS TO THE APPROPRIATE SUPPLY AUTHORITY IN THE CASE OF DISCONNECTION.

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Revisions

ELEVATIONS

TOWN PLANNING REVIEW

Rev
A08 2
JUL 17 2024

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE

LEVI ADAPON - 67 SILVER STREET, ELLIEM 3085 - 0414 934 161
levi.adapon@leviadapon.com

NEW AREA

GENERAL NOTES:

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**CITY OF MARIBYRNONG
ADVERTISED PLAN**

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- ROOFS & CEILING**
- ROOF/CEILINGS 1 LAYER OF SINGLE SIDED FOIL MIN R1.3 (UNDER ROOF) & BULK CEILING INSULATION - MIN R6.0
- EXTERNAL WALLS**
- EXISTING WALLS WITH ADDED R2.5 BULK INSULATION
 - TIMBER CLAD WALLS - 1 LAYER OF VAPOUR BARRIER (FRONT OF STUD FRAMING) & BULK INSULATION - MIN R2.5
- INTERNAL WALLS**
- WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR. BULK INSULATION - MIN R2.5
- FLOORS**
- TIMBER FLOOR WITH BULK INSULATION - MIN R3.0
- ROOF SARKING & WALL WRAP:**
FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5
- INSULATION:**
A NON-COMBUSTIBLE, BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.
- FLOOR INSULATION:**
WHERE REQUIRED PROVIDE NON - COMBUSTIBLE FLOOR INSULATION, BRADFORD OPTIMO UNDERFLOOR INSULATION.

SOFFIT LINING 6mm VILLABOARD PANELS PROVIDE 6mm VILLABOARD SOFFIT LINING TO NEW ROOF UNDERSIDE. PAINT FINISH. INSTALLATION AS PER MANUFACTURERS REQUIREMENTS

NEW TIMBER FRAMED ROOF WITH METAL ROOFING WITH 5° ROOF PITCH. PROVIDE SISALATION FOIL SARKING & MIN. INSULATION BATTS TO MANUFACTURER'S DETAILS - REFER TO ENERGY REPORT FOR DETAILS

WHERE REQUIRED DEMOLISHED, SAW CUT & STABILIZE PART OF ROOF AS SHOWN. ALLOWANCE FOR FLAT ROOFING CONSTRUCTION AS DOCUMENTED. PROVIDE NEW GUTTERS, DOWNPIPES AND FLASHINGS & CONNECTION TO STORM WATER SYSTEM. BUILDER TO ENSURE FLASHINGS OVER NEW WORKS AND OPENINGS TO COVER INTERSECTIONS OR JOINTS, JUNCTIONS OF WALLS AND WINDOWS TO PREVENT WATER PENETRATION IN ACCORDANCE WITH AS 2904 AND THE BCA.

BOX GUTTERS
PROVIDE WIDTH AS NOTED, AND 100mm MIN. DEEP COLORBOND BOX GUTTER COMPLETED WITH OVER AND UNDER FLASHING, AND GUTTER SUPPORTS. TO BE IN ACCORDANCE WITH HYDRAULIC DRAWINGS. CONNECT TO COLORBOND DOWN PIPES AND STORMWATER SYSTEM, AS PER AS/NZS 3500.3:2015 PLUMBING AND DRAINAGE, PART3: STORMWATER DRAINAGE

STEEL LINTELS & STRUCTURAL SUPPORTS
ALL STEEL LINTELS & STRUCTURAL BEAMS SHALL BE GALVANISED OR TREATED IN ACCORDANCE TO AS/NZS 4680 AND PAINTED TO COMPLY WITH AS/NZS 2312 BEFORE BEING BUILT INTO WALLING. REFER TO ENG'S DRAWINGS FOR DETAILS

PLASTERBOARD CEILING
PROVIDE 13mm PLASTERBOARD CEILING (ALLOW FOR GYPROCK WET AREA PLASTERBOARD TO WET AREAS) ON METAL FURRING CHANNEL, PAINT FINISH AS SPECIFIED. WHERE NOTED PROVIDE INSULATION BATTS AS PER ENERGY RATING REPORT

SUB FLOOR VENTILATION - REFER TO NCC 3.4.1
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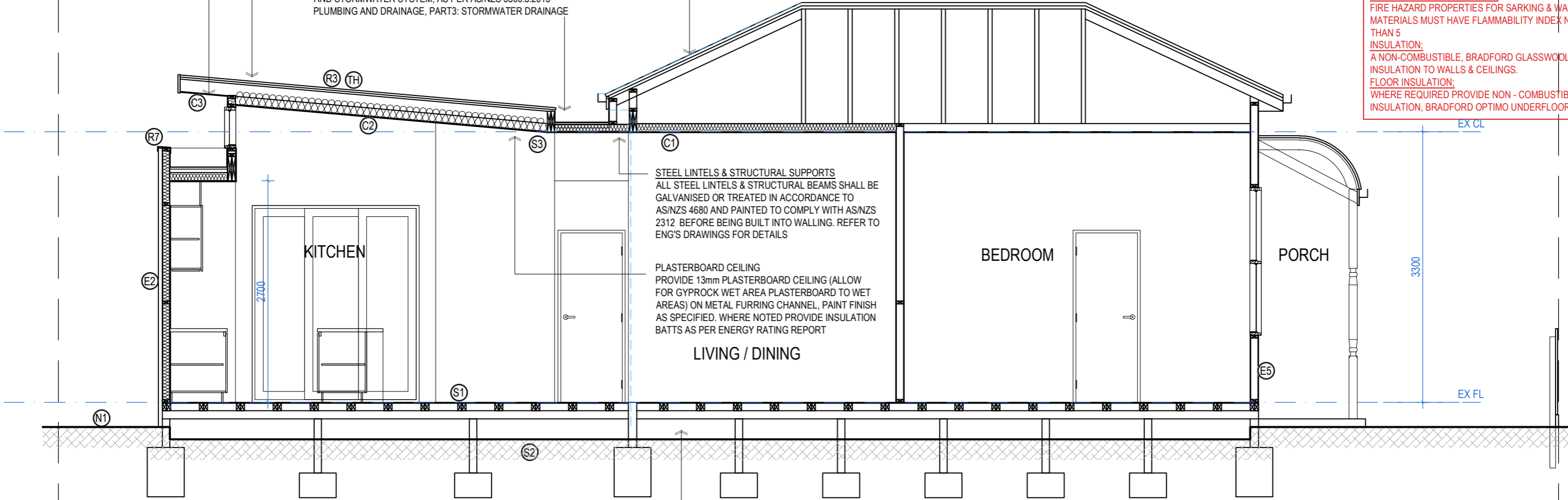
EXISTING EXTERNAL WALLS AND FOOTINGS TO REMAIN, BUILDER TO ALLOW FOR PROPPING OF EXISTING STRUCTURE PRIOR TO DEMOLISHING AS NOTED

EXISTING SERVICES IS TO BE ABANDONED, CUT AND SEAL OR DISCONNECT TO THE SATISFACTION OF THE AUTHORITIES CONCERNED. RETURN METERS TO THE APPROPRIATE SUPPLY AUTHORITY IN THE CASE OF DISCONNECTION.

THERMAL INSULATION AS PER ENERGY REPORT

- EXTERNAL WALLS: DOUBLE SIDED REFLECTIVE FOIL LAMINATE FIXED TO EXTERNAL FACE OF STUDS. WITH RECOMMENDED INSULATION AS PER ENERGY RATING REPORT
- ROOF: REFLECTIVE FOIL LAMINATE UNDER ROOFING AS SARKING & WITH RECOMMENDED INSULATION AS PER ENERGY RATING REPORT OVER CEILING LINING.

E1 MATERIAL, FINISHES AND EXTENT OF WORKS
REFER TO SHEET A02 FOR NOTE TAGS AND SPECIFICATIONS. PROJECT SPECIFICATIONS APPLIES TO FULL SET OF DOCS



NEW AREA

EXISTING DWELLING

KITCHEN

LIVING / DINING

BEDROOM

PORCH

3300

2700

EX CL

EX FL

BOUNDARY

BOUNDARY

SECTION A - A

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Revisions

SECTION
TOWN PLANNING REVIEW

A09 Rev 1
JUN 3 2024
1:50 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE



PLEASE REFER TO THERMAL ASSESSMENT REPORT PREPARED BY URBAN LEAF. ANY DISCREPANCY SHOULD BE REPORTED TO THE ASSESSOR

ROOFS & CEILING

- ROOF/CEILINGS 1 LAYER OF SINGLE SIDED FOIL MIN R1.3 (UNDER ROOF) & BULK CEILING INSULATION - MIN R6.0

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- WALLS ADJACENT TO GARAGE, WC, BATHROOM AND UNDE CELLAR. BULK INSULATION - MIN R2.5

FLOORS

- TIMBER FLOOR WITH BULK INSULATION - MIN R3.0

ROOF SARKING & WALL WRAP:

FIRE HAZARD PROPERTIES FOR SARKING & WALL WRAP TYPE MATERIALS MUST HAVE FLAMMABILITY INDEX NOT GREATER THAN 5

INSULATION:

A NON-COMBUSTIBLE, BRADFORD GLASSWOOL FIBRE TYPE INSULATION TO WALLS & CEILINGS.

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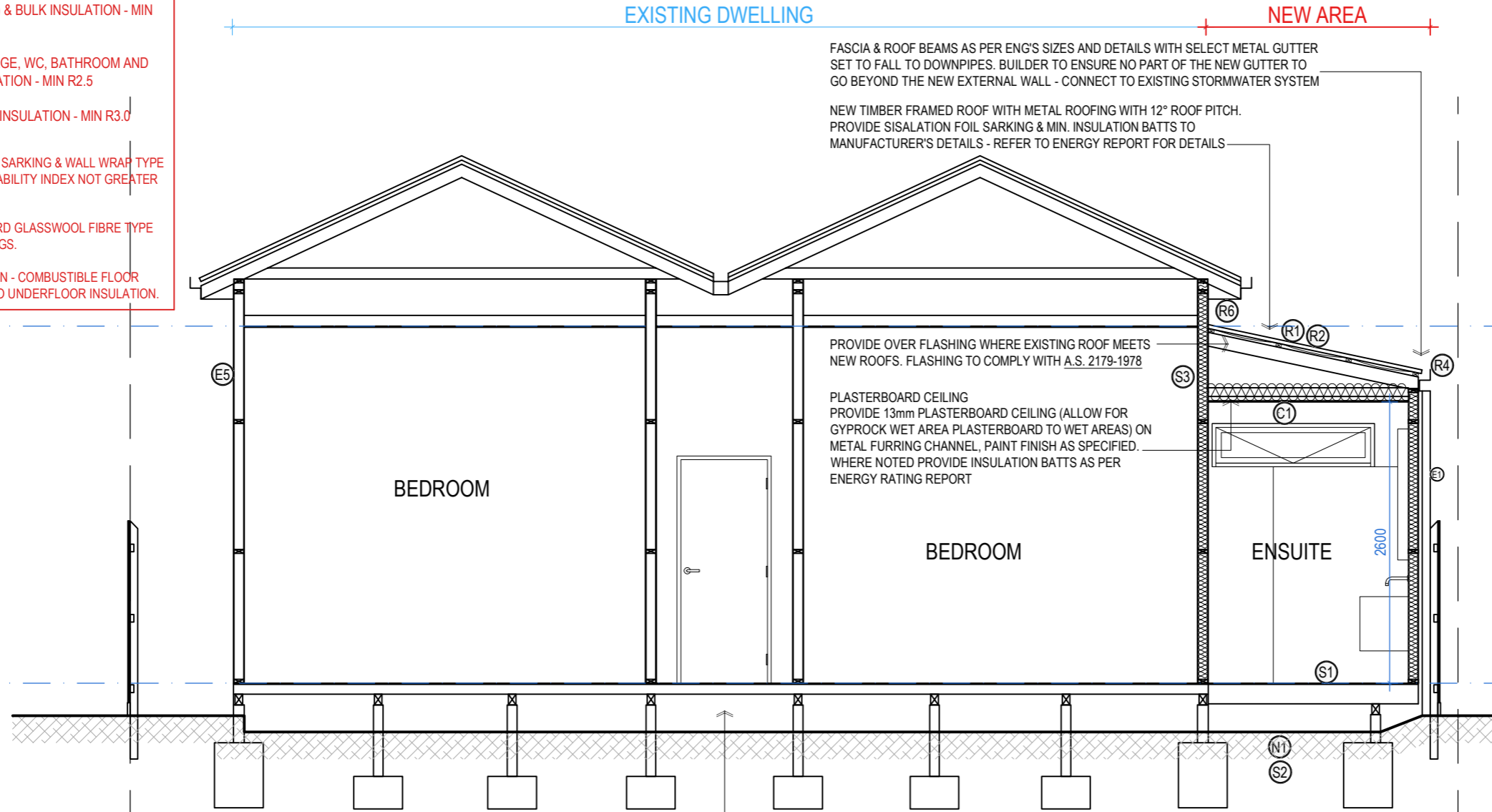
**CITY OF MARIBYRNONG
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FASCIA & ROOF BEAMS AS PER ENG'S SIZES AND DETAILS WITH SELECT METAL GUTTER SET TO FALL TO DOWNPIPES. BUILDER TO ENSURE NO PART OF THE NEW GUTTER TO GO BEYOND THE NEW EXTERNAL WALL - CONNECT TO EXISTING STORMWATER SYSTEM

NEW TIMBER FRAMED ROOF WITH METAL ROOFING WITH 12° ROOF PITCH. PROVIDE SISALATION FOIL SARKING & MIN. INSULATION BATTS TO MANUFACTURER'S DETAILS - REFER TO ENERGY REPORT FOR DETAILS

PROVIDE OVER FLASHING WHERE EXISTING ROOF MEETS NEW ROOFS. FLASHING TO COMPLY WITH A.S. 2179-1978

PLASTERBOARD CEILING
PROVIDE 13mm PLASTERBOARD CEILING (ALLOW FOR GYPROCK WET AREA PLASTERBOARD TO WET AREAS) ON METAL FURRING CHANNEL, PAINT FINISH AS SPECIFIED. WHERE NOTED PROVIDE INSULATION BATTS AS PER ENERGY RATING REPORT

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THE GROUND BENEATH SUSPENDED FLOOR MUST BE GRADED SO THAT THE AREA UNDER THE BUILDING PREVENTS SURFACE WATER FROM PONDING. A SEALED IMPERVIOUS MEMBRANE SHALL BE PROVIDED TO THE GROUND SURFACE BELOW THE BUILDING OR THE SUBFLOOR TIMBERS SHALL BE OF DURABILITY CLASS 1 OR 2 TIMBERS OR H3 PRESERVATIVE TREATED TIMBERS IN ACCORDANCE WITH AS1684 PARTS 2, 3 OR 4

HEBEL 75mm POWERPANEL CLADDING
ALLOW FOR STUD FRAME WALL WITH WALL BATTS AS REQUIRED. PROVIDE AND INSTALL HEBEL 75mm POWERPANEL: INSTALLED ON CAVITY TRIMS AS PER MANUFACTURER'S DETAILS. ALLOW FOR VAPOUR PERMEABLE SARKING TO THE FACE OF THE BUILDING FRAMING FACADE PRIOR TO INSTALLATION OF THE TRIMS, WITH REQUIRED INSULATION AS PER ENERGY RATING REPORT. APPLY SELECT ACRYLIC RENDER FINISH, COLOUR AS SPECIFIED

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Revisions

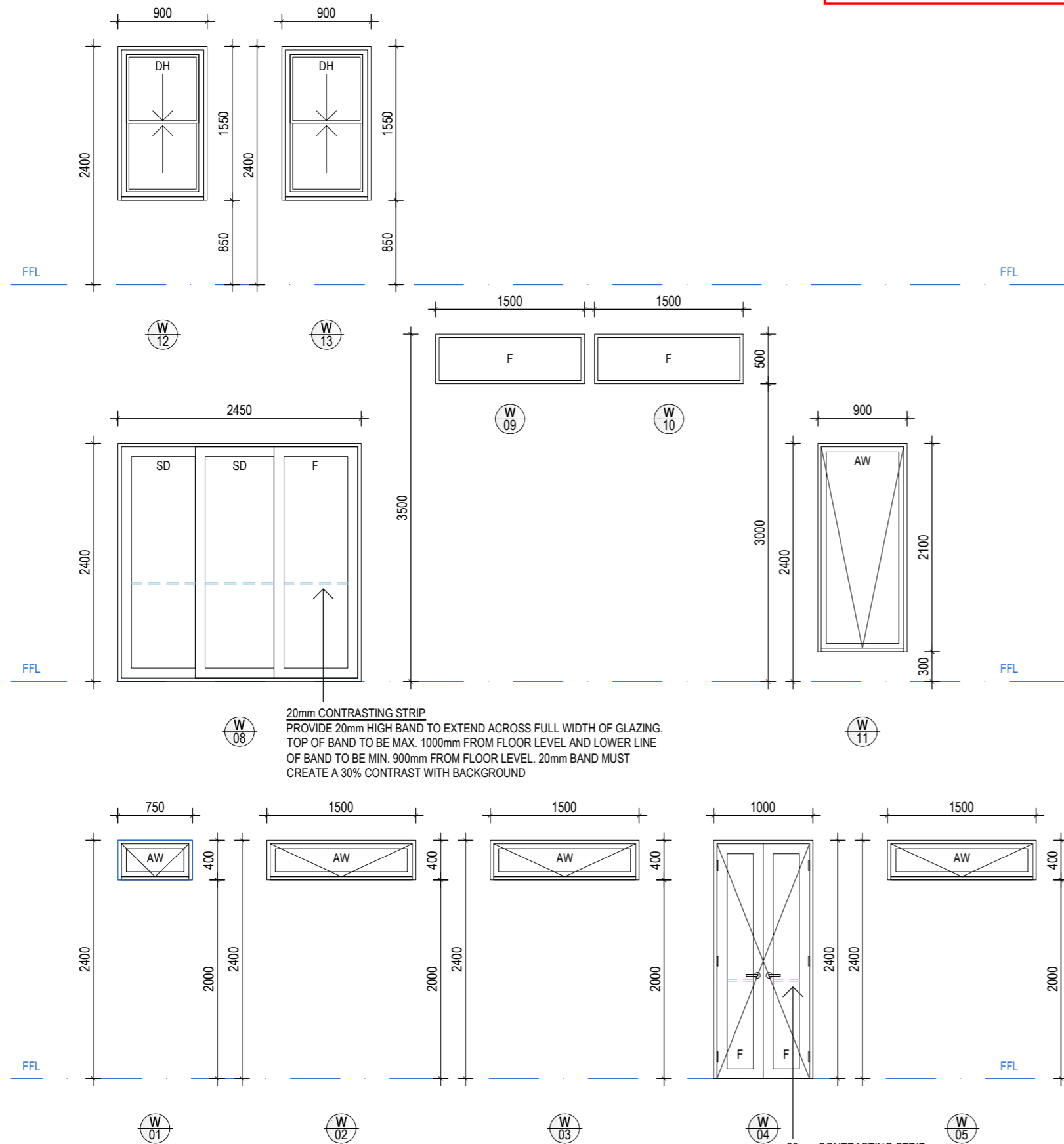
SECTION
TOWN PLANNING REVIEW

Rev
A10 1
JUN 3 2024
1:50 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE

LEVI ADAPON - 67 SILVER STREET, ELTHAM 3095 - 0414 504 161
levi_adapon@bigpond.com

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



W08
20mm CONTRASTING STRIP
PROVIDE 20mm HIGH BAND TO EXTEND ACROSS FULL WIDTH OF GLAZING.
TOP OF BAND TO BE MAX. 1000mm FROM FLOOR LEVEL AND LOWER LINE
OF BAND TO BE MIN. 900mm FROM FLOOR LEVEL. 20mm BAND MUST
CREATE A 30% CONTRAST WITH BACKGROUND

W04
20mm CONTRASTING STRIP
PROVIDE 20mm HIGH BAND TO EXTEND ACROSS FULL WIDTH OF GLAZING.
TOP OF BAND TO BE MAX. 1000mm FROM FLOOR LEVEL AND LOWER LINE
OF BAND TO BE MIN. 900mm FROM FLOOR LEVEL. 20mm BAND MUST
CREATE A 30% CONTRAST WITH BACKGROUND

**REFER TO PLAN FOR DOOR SIZES AND
OPENING DIRECTION**

SKIRTINGS' AND ARCHITRAVES
TO ALL NEW, DOORS AND WINDOWS AND WALL OPENINGS
SKIRTING: 100 X 18 PINE MDF SQUARE PROFILE
ARCHITRAVE TO WINDOWS, DOORS AND OPENINGS: 140X
19 KDHW SQUARE PROFILE BS TONGUE PROFILE
WINDOW ARCHITRAVES TO BE MITRED AT TOP AND TO
STOP INTO WINDOW SILLS.

DOORS & HARDWARE
SOLID CORE FLUSH PANEL DOORS - EXTERNAL QUALITY
• DOORS FLUSH WEATHERPROOF GRADE PLYWOOD BOTH
SIDES
• DOOR THICKNESS: MIN 38MM
• EDGES: 10MM KDHW TIMBER EDGE TO VERTICAL STYLES.
INTERNAL DOORS- FLUSH PANEL
• UNIVERSAL DOOR WITH 120 MM KDHW STYLES AND 90 MM
• DOOR THICKNESS: MIN 38MM, 10MM KDHW TIMBER EDGE
TO VERTICAL STYLES.

DOOR HARDWARE AS PER CLIENT'S / OWNER'S APPROVAL
RECOMMENDED DOOR HINGE CONFIGURATION:
- DOOR LEAF SIZE UP TO 2040h x 920w = 2 HINGES
- DOOR LEAF SIZE UP TO 2400h x 1020w = 3 HINGES
- DOOR LEAF SIZE UP TO 3000h x 1500w = 5 HINGES
- DOOR HARDWARE GENERALLY 1050mm HIGH FROM FLOOR
LEVEL

PAINT DOOR 3 COATS, DULUX, HIGH-GLOSS ENAMEL TO
APPROVED COLOUR BY CLIENT / OWNER

CAVITY SLIDING DOORS
35mm SEMI SOLID FLUSH PANEL DOORS
• CAVITY DOOR POCKETS
• SOFT CLOSE SYSTEM
DOOR HARDWARE AS PER CLIENT'S / OWNER'S APPROVAL

**WINDOWS SUPPLIER TO MEASURE DOOR & WINDOW
OPENINGS ON SITE & PROVIDE SHOP DRAWINGS TO
THE DESIGNER FOR APPROVAL PRIOR TO
MANUFACTURING**

WINDOW ABBREVIATIONS

HD HINGED DOOR	F FIXED GLASS
SP SPANDREL PANEL	FS FIXED SASH
SD SLIDING DOOR	SH SHUGG SLIDING GLASS
CC OPAQUE GLASS	OG OBSCURE GLAZING
BF BI-FOLD DOOR	CB COLOUR BACK GLAZING
AW AWNING	DH DOUBLE HUNG
CA CASEMENT	RO RESTRICTED OPENING

- WINDOWS & GLAZING SCHEDULE**
1. GLAZING MUST BE IN ACCORDANCE WITH THE ENERGY RATING REPORT
 2. WINDOWS SHALL HAVE A 5 STAR RATING AS RATED BY THE WINDOW ENERGY RATING SCHEME (WERS). INSTALL AND SEAL WINDOWS IN ACCORD WITH THE WERS RATING DOCUMENTATION.
 3. INSECT SCREENS: PROVIDE AN EXTRUDED ALUMINIUM POWDER COAT FLY SCREENS THROUGHOUT.

- OPENING SIZES TO BE CHECKED ON SITE PRIOR TO
MANUFACTURE.**
- WINDOW SIZES NOMINATED REFER TO OPENING SIZES ONLY AND ARE TAKEN FROM STRUCTURAL FLOOR LEVEL. WINDOW SIZES ARE TO BE COORDINATED WITH STRUCTURAL DRAWINGS & ALL NECESSARY CLEARANCES TO BE ALLOWED FOR BY THE WINDOW MANUFACTURER.
 - ALL DIMENSIONS ARE NOMINAL. OPENING SIZES TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.
 - WINDOW MANUFACTURER TO MAKE ALL NECESSARY ADJUSTMENTS TO WINDOW SIZES TO ALLOW FOR REQUIRED TOLERANCES NECESSARY TO ACCOMMODATE THE FINAL BUILT FORM (SUCH AS THICKNESS OF FINISHED WALL CLADDING MATERIALS) AND ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO MANUFACTURING. WINDOW MANUFACTURER TO ALLOW FOR TOLERANCES, PACKING, ETC.
 - WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH DOOR SCHEDULE WHEN REFERRING TO SLIDING OR HINGED DOORS.
 - **WINDOWS ARE VIEWED FROM BUILDING EXTERIOR.**
 - PROVIDE SHOP DRAWINGS FOR ALL WINDOWS AND BE APPROVED PRIOR TO MANUFACTURING.
 - ALL WINDOW FRAMES TO BE TIMBER FRAMED UNLESS NOTED.
 - ALL GLAZING ARE CLEAR UNLESS NOTED OTHERWISE. REFER TO EXTERIOR FINISHES SCHEDULES FOR FRAMES/GLASS FINISHES.
 - RAVEN WEATHER & ACOUSTIC SEALS TO BE PROVIDED TO ALL DOORS & OPENABLE SASHES. PROVIDE INSECT SCREENS TO ALL OPENABLE WINDOWS AND SLIDING DOORS. SASHES AS SPECIFIED.
 - PROVIDE ALL NECESSARY IRONMONGERY & HARDWARE FOR DOOR & GLAZING SUITES. HARDWARE COLOUR TO BE APPROVED BY ARCHITECT OR AS SCHEDULED.
 - SUBMIT SAMPLES OF ALL HARDWARE, FRAMING, RASHINGS, CAULKING, SEALS, GLAZING BEADS AND OTHER COMPONENTS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING
 - ALL WINDOWS TO BE PROVIDED COMPLETE WITH ALL REQUIRED FLASHINGS AND SEALS. TO BE READ IN CONJUNCTION WITH DETAIL DRAWINGS, PLANS & SPECIFICATION
 - ALL WINDOWS TO BE PROVIDED WITH COLOUR MATCHED SUB SILLS AND SUBHEADS.
 - WINDOW SIZES NOMINATED REFER TO OPENING SIZES ONLY AND ARE TAKEN FROM STRUCTURAL FLOOR LEVEL. WINDOW SIZES ARE TO BE CO-ORDINATED WITH STRUCTURAL DRAWING & CLEARANCES ALL DIMENSIONS ARE NOMINAL.
 - **OPENING SIZES TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.**
 - GLAZING MANUFACTURER TO ALLOW FOR TOLERANCES, PACKING, ETC.
 - WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH DOOR SCHEDULE WHEN REFERRING TO SLIDING OR HINGED DOORS.
 - WINDOWS ARE VIEWED FROM BUILDING EXTERIOR.
 - PROVIDED SHOP DRAWINGS FOR APPROVAL FOR ALL WINDOWS.

**PLEASE REFER TO ENERGY RATING REPORT FOR ALL
MINIMUM INSULATION AND GLAZING REQUIREMENTS**

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Revisions

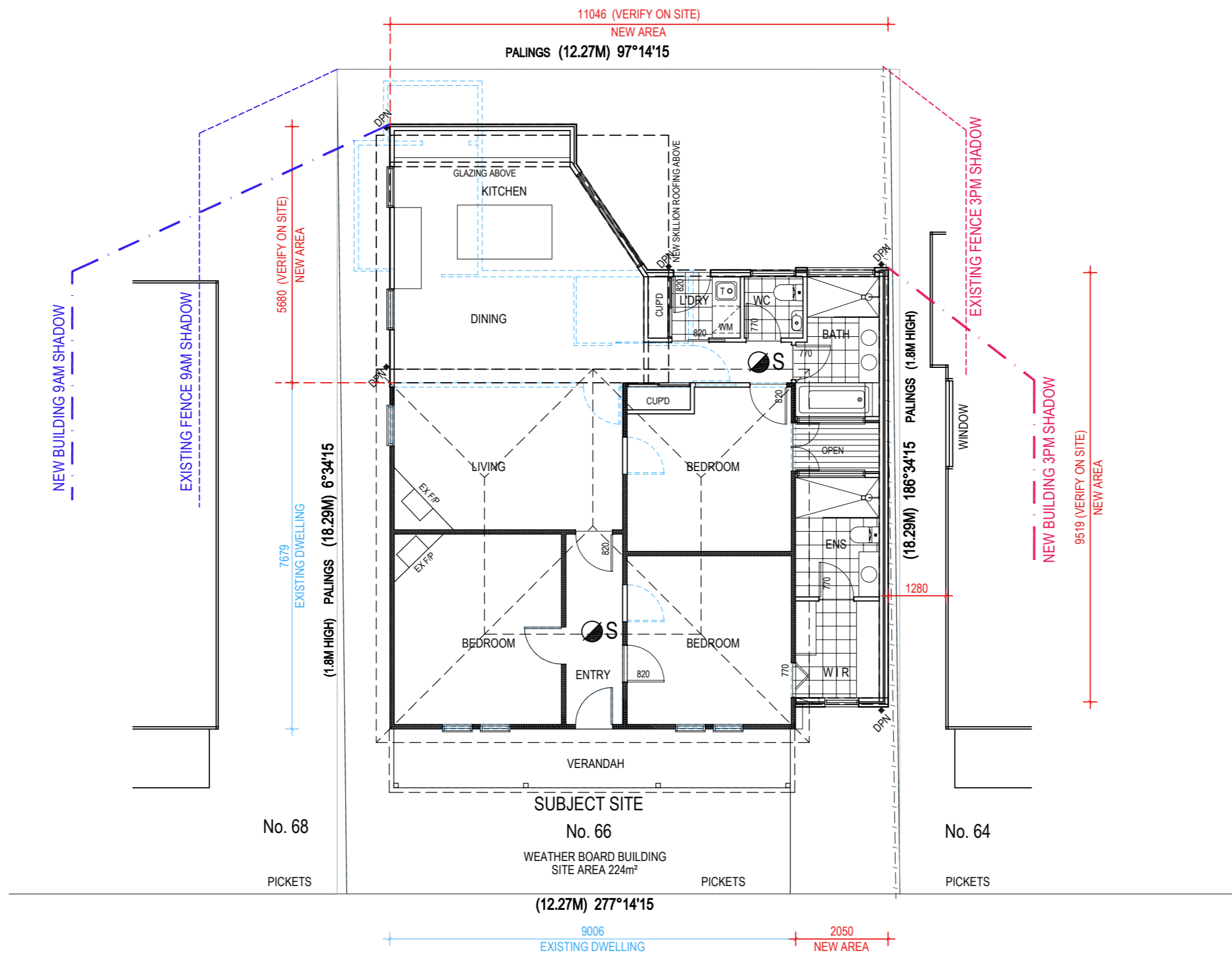
WINDOW SCHEDULE

TOWN PLANNING REVIEW

Rev
A11 1
JUN 3 2024
1:50 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE





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Revisions



PROPOSED FLOOR PLAN AND
ADJACENT NEIGHBOURS
TOWN PLANNING REVIEW

A12
1
JUN 3 2024
1:100 @ A3 SHEET

PROPOSED BUILDING WORKS AT
No. 66 HOBBS STREET
SEDDON 3011
FOR Mr. LACHLAN LANE

