



AERIAL MAP (NEIGHBOURHOOD CONTEXT)



NORTH SIDE ACCESS



FRONT FACADE



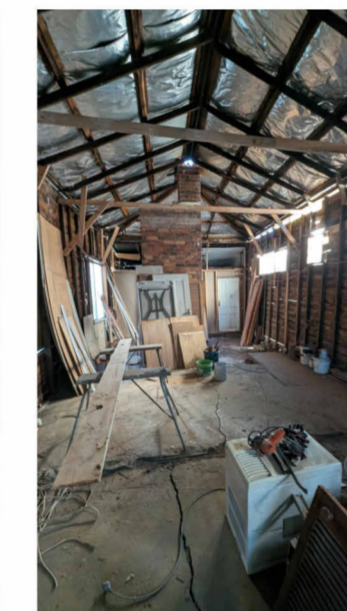
REAR YARD - SHED AND L'DRY / BATH AREA



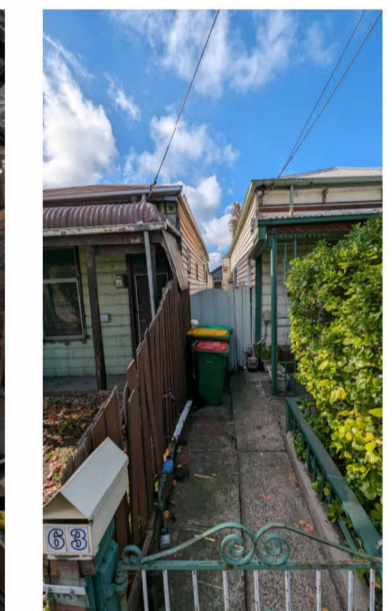
REAR PRIVATE OPEN SPACE



SIDE ACCESS (NORTH OF PROPERTY)



HOUSE INTERIOR



NEIGHBOUR ACCESS

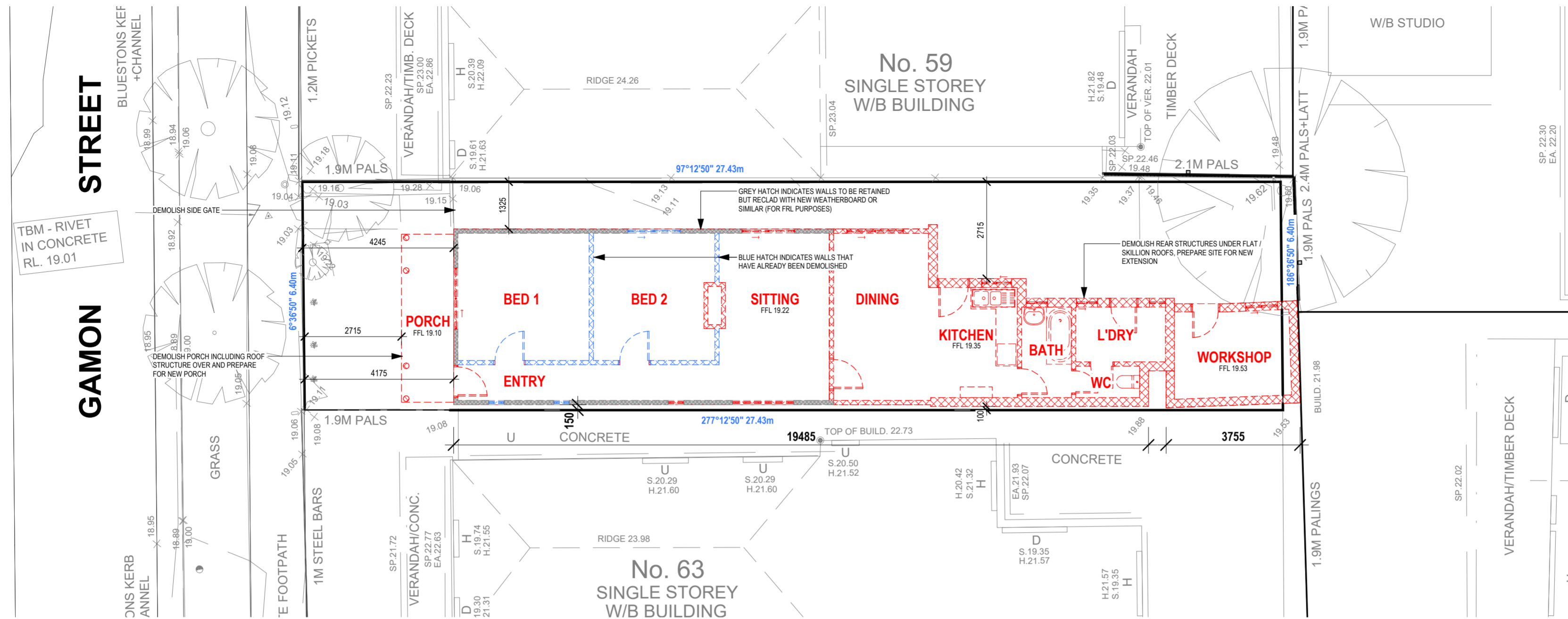


59 GAMON ST

SUBJECT SITE

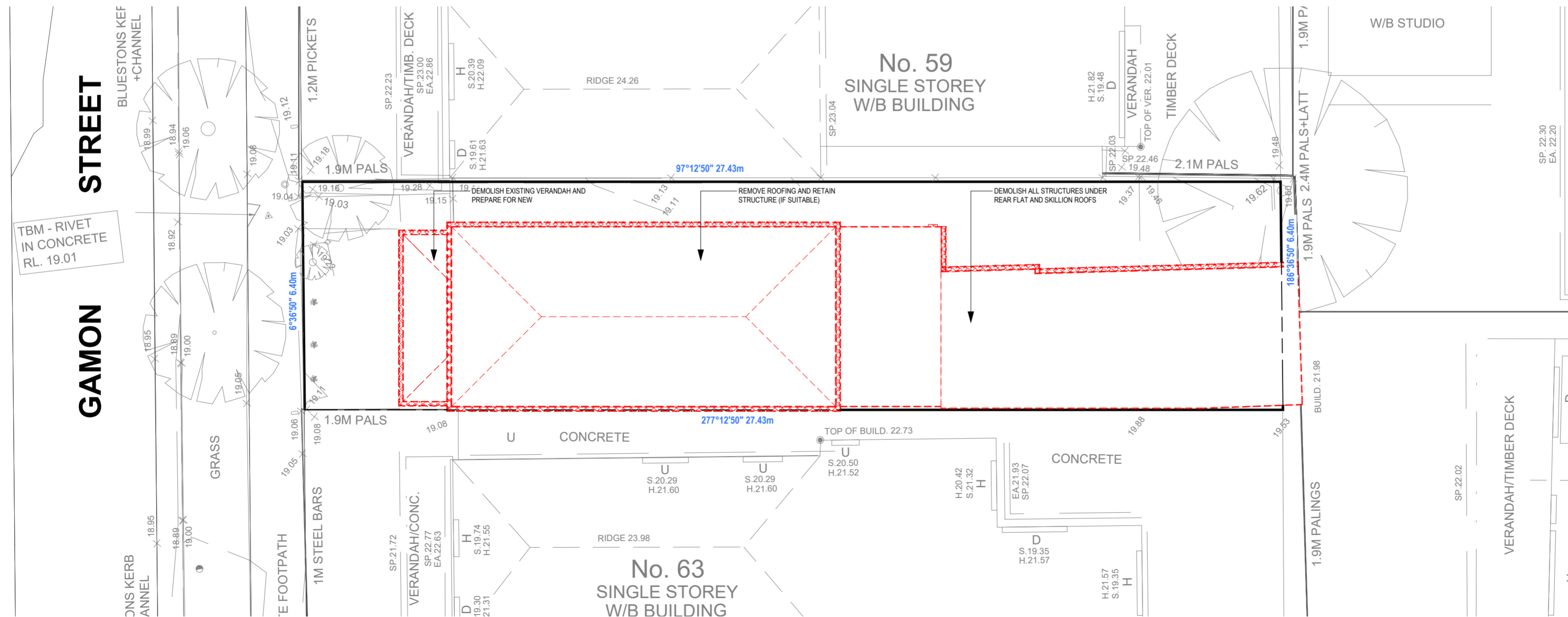
63 GAMON ST

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



GROUND FLOOR DEMOLITION PLAN

SCALE: 1 : 100



ROOF DEMOLITION PLAN

SCALE: 1 : 100

- LEGEND:**
- INDICATES ITEMS TO BE DEMOLISHED
 - TREE PROTECTION ZONE (TPZ)
 - STRUCTURAL ROOT ZONE (SRZ)
 - INDICATES LOCATION OF EXISTING TREE TO BE REMOVED

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

CLIMATE ZONE

CLIMATE ZONE 6
THE LOCATION OF MELBOURNE IS DEFINED AS CLIMATE ZONE 6. FOUR DISTINCT SEASONS, HIGH DIURNAL (DAY/NIGHT) TEMPERATURE RANGE INLAND, COLD TO VERY COLD WINTERS WITH MAJORITY OF RAINFALL, HOT DRY SUMMER, LOW HUMIDITY.

STORMWATER

NEW DOWNPIPES CONNECTED TO EXISTING STORM WATER SYSTEM TO LOCAL AUTHORITIES REQUIREMENTS

SITE NOTES

EXTERNAL F.G.L. TO BE GRADED AWAY FROM BUILDING AND DRAINED TO PREVENT WATER PONDING AND PENETRATING ONTO FOOTINGS.

BUILDER/CONTRACTOR TO ENSURE THAT SIGNIFICANT & ADEQUATE PROTECTION OF ADJOINING PROPERTIES AND COUNCIL UTILITIES ARE IN PLACE PRIOR TO ANY EXCAVATION WORKS WHERE REQUIRED.

BUILDER TO ENGAGE A LICENSED LAND SURVEYOR TO CHECK AND VERIFY ALL DIMENSIONS, SETBACKS AND SETOUT ON SITE TO LOCATE PROPOSED BUILDING WORKS PRIOR TO COMMENCEMENT OF ANY WORKS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE. DO NOT SCALE. ARCHITECTURAL DRAWINGS TO BE VIEWED AND READ IN CONJUNCTION WITH ALL ENGINEERS DRAWINGS AND DETAILS, AND ANY OTHER CONSULTANTS DOCUMENTATION AND PERMITS AS PART OF THIS BUILDING PERMIT. BOLTHOLE DESIGN & DRAFTING'S APPROVAL TO BE OBTAINED BEFORE ANY VARIANCE FROM THESE DRAWINGS.

BUILDER/CONTRACTOR TO ENSURE THAT ALL SERVICES ARE LOCATED CLEARLY IDENTIFIED AND TERMINATED (OR PROTECTED) PRIOR TO ANY DEMOLITION WORKS.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES SHEET.

TITLE BOUNDARY

TITLE: 61 GAMON STREET, SEDDON
VOLUME: 03710 **FOLIO NUMBER:** 896
AREA: 175.55m²
 SITE BOUNDARIES HAVE BEEN RE-ESTABLISHED AND SITE FEATURES LOCATED BY A LICENSED LAND SURVEYOR.
REFERENCE: 355600AA
LAND SURVEYOR: MACKIE SURVEYING

PLANNING

ZONE: NEIGHBOURHOOD RESIDENTIAL ZONE (NR2)
 A PERMIT REQUIRED TO CONSTRUCT OR EXTEND ONE DWELLING ON A LOT UNDER 300 SQUARE METRES.

THERE ARE NO ADDITIONAL CLAUSE 54 REQUIREMENTS SPECIFIED IN THE SCHEDULE TO THE ZONE.

MAXIMUM BUILDING HEIGHT MUST NOT EXCEED 9.0M (OR 10.0M WHERE SLOPE CONDITIONS ARE MET)

OVERLAY: HERITAGE OVERLAY (H09)
 QUEENSVILLE ESTATE HERITAGE AREA, KINGSVILLE

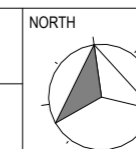
OVERLAY: DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCP02)

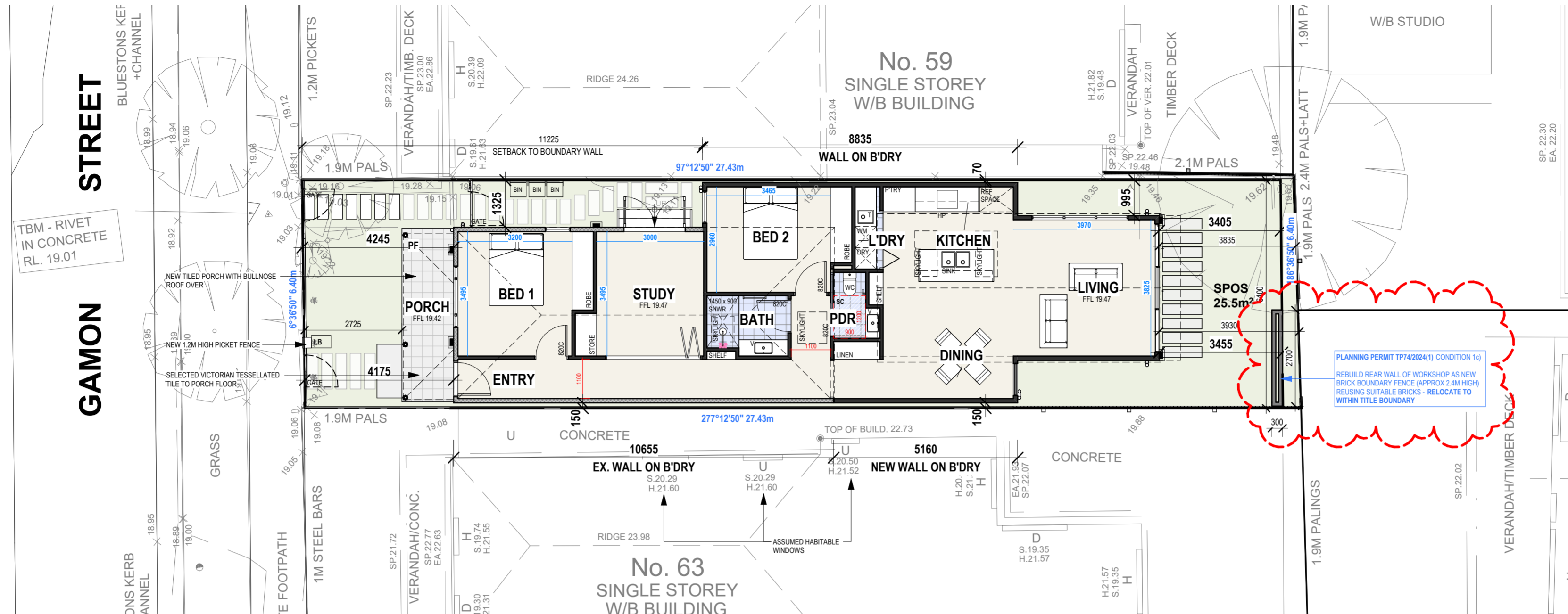
NEIGHBOUR CHARACTER PRECINCT: NIL



ISSUE	DETAILS	DATE
IC	ISSUED FOR SECONDARY CONSENT	03.10.24
IR	ISSUED FOR ENERGY RATING	29.08.24
IT	ISSUED FOR REVIEW	10.08.24
B	ISSUED FOR ENDORSEMENT OF P PERMIT	31.07.24
A1	ISSUED RESPONSE TO RFI - 19th MARCH	13.06.24
A	ISSUED FOR PLANNING PERMIT	13.06.24
P1	ISSUED WITH ADJUSTMENTS	27.05.24

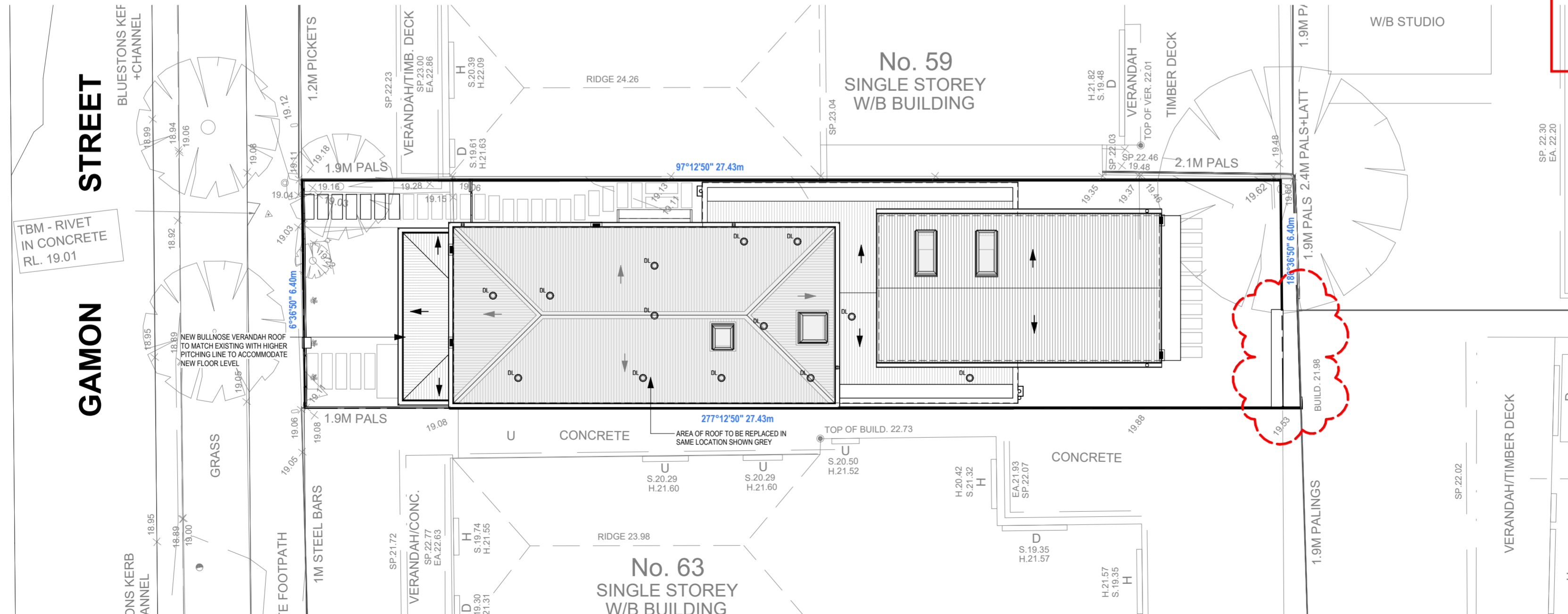
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GROUND FLOOR PLAN

SCALE: 1 : 100



ROOF PLAN

SCALE: 1 : 100

LEGEND:

- INDICATES EXISTING WALLS TO BE RETAINED
NOMINAL EXISTING WALL THICKNESS:
INTERNAL: 120mm
EXTERNAL: 250mm (BRICK VENEER)
- INDICATES NEW WEATHERBOARD CLADDING (OR FRL RATED EQUIVALENT) WALL WITH PLASTERBOARD LINING INTERNALLY
- INDICATES NEW 90mm TIMBER WALLS WITH PLASTERBOARD LINING
- DENOTES LOCATION OF A FULL-HEIGHT BRICKWORK EXPANSION JOINTS IN ACCORDANCE WITH AS 3700 AND SOIL REPORT RECOMMENDATIONS
- INDICATES SELECTED TILE FLOORING
- CEILING MOUNTED SMOKE DETECTOR IN ACCORDANCE WITH AUSTRALIAN STANDARD (AS) 3786-2014 HARD WIRED TO MAINS SUPPLY WITH 9 VOLT BATTERY BACK-UP & INTERCONNECTED (IF EXISTING SMOKE DETECTOR IN VICINITY, RETAIN IF SUITABLE)
- INDICATES CEILING MOUNTED EXHAUST FAN DUCTED DIRECTLY OUTSIDE IN ACCORDANCE WITH NCC PART 4.4.7
- INDICATES PROPOSED LOCATION OF NEW 90mm CIRCULAR PVC DOWNPIPE
- INDICATES LOCATION OF A SPREADER ATTACHED TO A DOWNPIPE
- INDICATES PROPOSED LOCATION OF NEW SELECTED RAINWATER HEAD TO 90mm CIRCULAR PVC DOWNPIPE
- INDICATES LOCATION WATER METER
- INDICATES LOCATION OF GAS METER
- INDICATES LOCATION OF METERBOX
- INDICATES LOCATION OF HOT WATER SYSTEM
- INDICATES LOCATION OF LETTERBOX
- INDICATES LOCATION OF GARBAGE / RECYCLING / GREEN WASTE / GLASS BINS

SITE NOTES

- EXTERNAL F.G.L. TO BE GRADED AWAY FROM BUILDING AND DRAINED TO PREVENT WATER PONDING AND PENETRATING ONTO FOOTINGS.
- BUILDER/CONTRACTOR TO ENSURE THAT SIGNIFICANT & ADEQUATE PROTECTION OF ADJOINING PROPERTIES AND UTILITIES ARE IN PLACE PRIOR TO ANY EXCAVATION WORKS.
- BUILDER TO ENGAGE A LICENSED LAND SURVEYOR TO CHECK THE PROPERTY BOUNDARIES, SETBACKS AND SETOUT ON SITE TO CONFIRM THE EXISTING WORKS PRIOR TO COMMENCEMENT OF NEW WORK. WRITE ON DIMENSIONS TO TAKE PRECEDENCE. DO NOT SCALE ARCHITECTURAL DRAWINGS TO BE VIEWED AND READ IN CONJUNCTION WITH ALL ENGINEERS DRAWINGS AND DETAILS, AND ANY OTHER CONSULTANTS DOCUMENTATION AND PERMITS AS PART OF THIS BUILDING PERMIT. BOLTHOLE DESIGN & DRAFTING'S APPROVAL TO BE OBTAINED BEFORE ANY VARIANCE FROM THESE DRAWINGS.
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**CITY OF MARRIBONG
ADVERTISED PLAN**

AREA SCHEDULE

EXISTING BUILDING AREA SCHEDULE:

GROUND FLOOR (EX)	87.66 m ²
WORKSHOP (EX)	10.22 m ²
PORCH (EX)	6.88 m ²

EXISTING LAND AREA SCHEDULE:

SITE AREA:	175.55 m ²
SITE COVERAGE	59.09% OR 103.74 m ²
PERMEABLE AREA	40.78% OR 71.59 m ²

PROPOSED BUILDING AREA SCHEDULE:

GROUND FLOOR	105.51 m ²
PORCH (NEW)	7.14 m ²

PROPOSED LAND AREA SCHEDULE:

SITE AREA:	175.55 m ²
SITE COVERAGE	64.17% OR 112.65 m ²
STANDARD A5	60% (MAX) OR 105.33 m ²
PERMEABLE AREA	35.83% OR 62.90 m ²
STANDARD A6	20% (MIN) OR 35.11 m ²

MINIMUM GARDEN AREA

LOT SIZE UNDER 400m² NO MINIMUM GARDEN AREA REQUIREMENT

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 LAND SURVEYOR: MACKIE SURVEYING

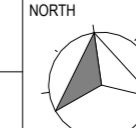


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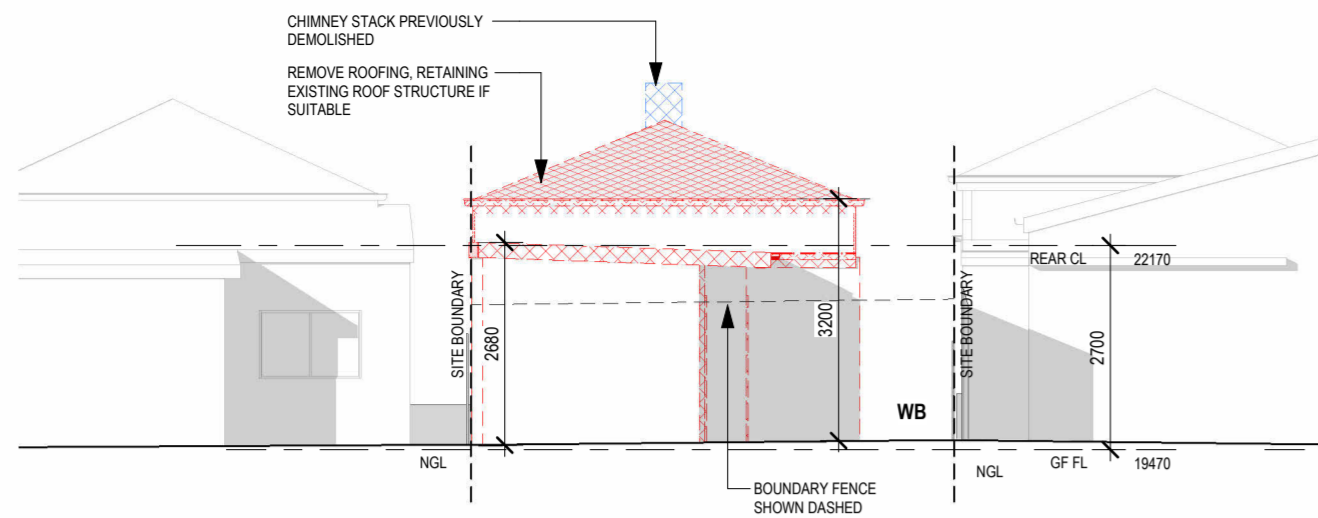
PROPOSED
NEW DWELLING
 SITE ADDRESS
61 GAMON STREET, SEDDON

SHEET CONTENT
PROPOSED GROUND FLOOR PLAN
 CLIENT
GERALDINE & ANDREW WEBSTER



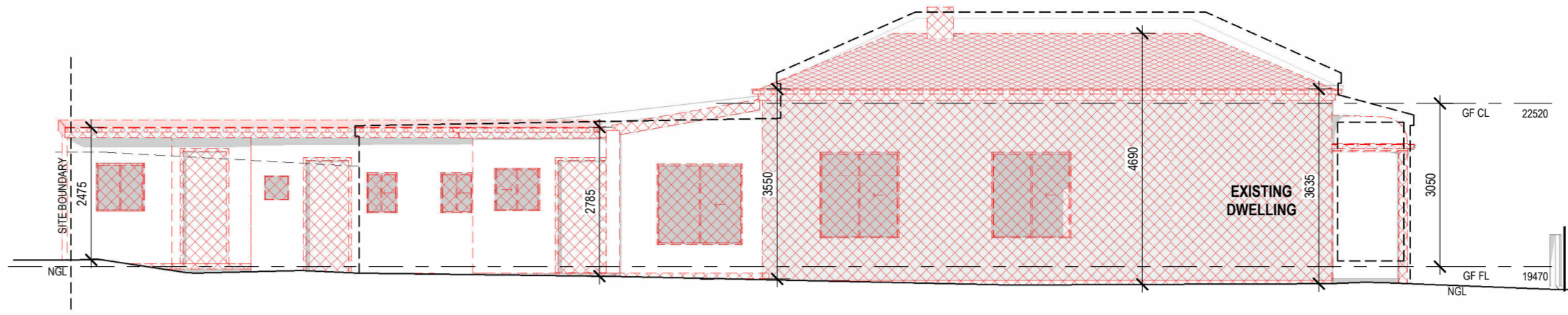
SCALE
AS SHOWN @ A2
 DRAWING NUMBER
03 OF 08

REVISION:
C
 DRAWN BY
JD
 DESIGN
JD
 JOB NUMBER
BH1075
 DATE
03.10.24



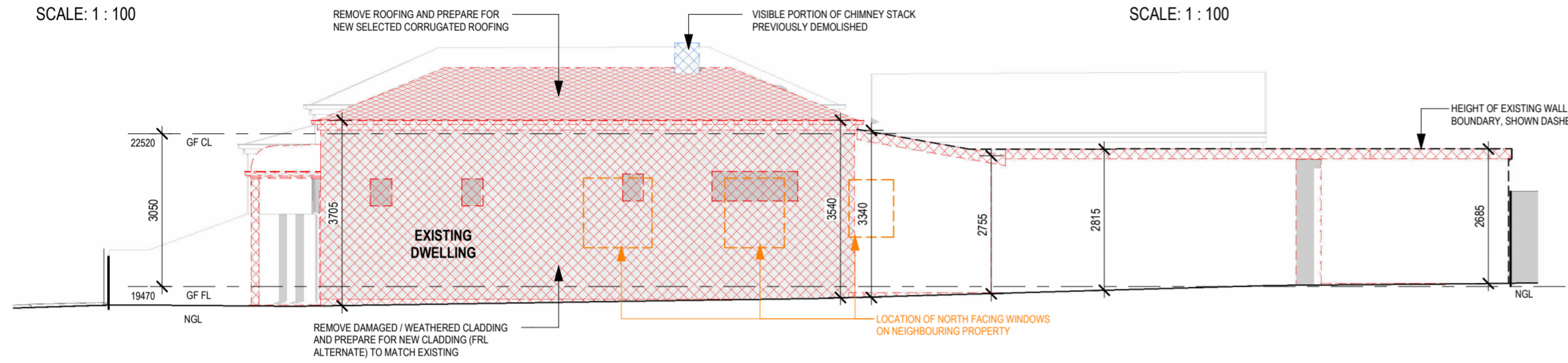
EAST ELEVATION (EXISTING)

SCALE: 1 : 100



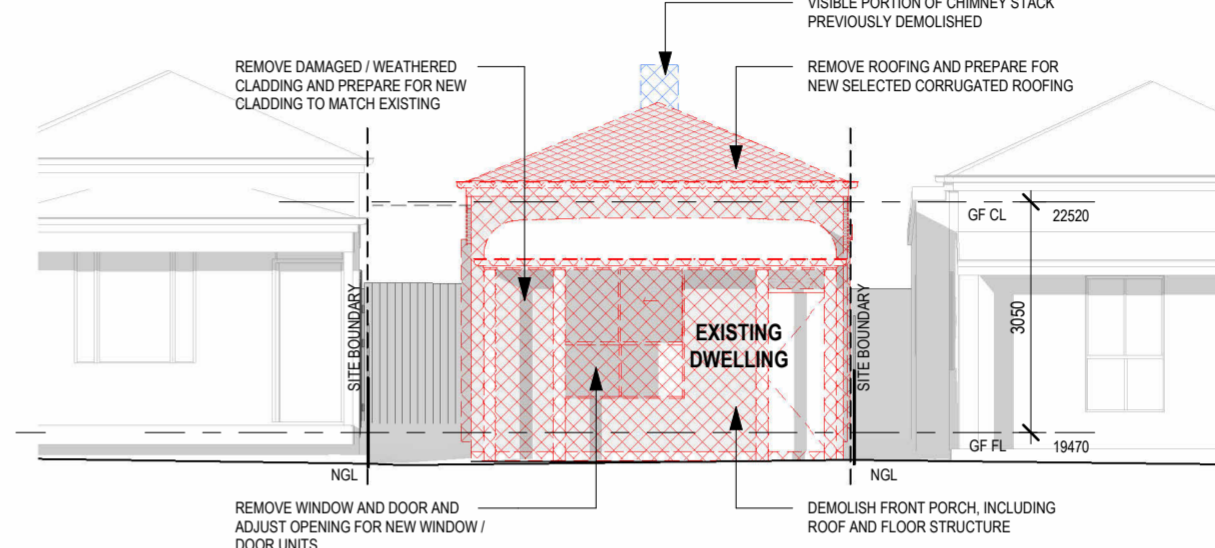
NORTH ELEVATION (EXISTING)

SCALE: 1 : 100



SOUTH ELEVATION (EXISTING)

SCALE: 1 : 100

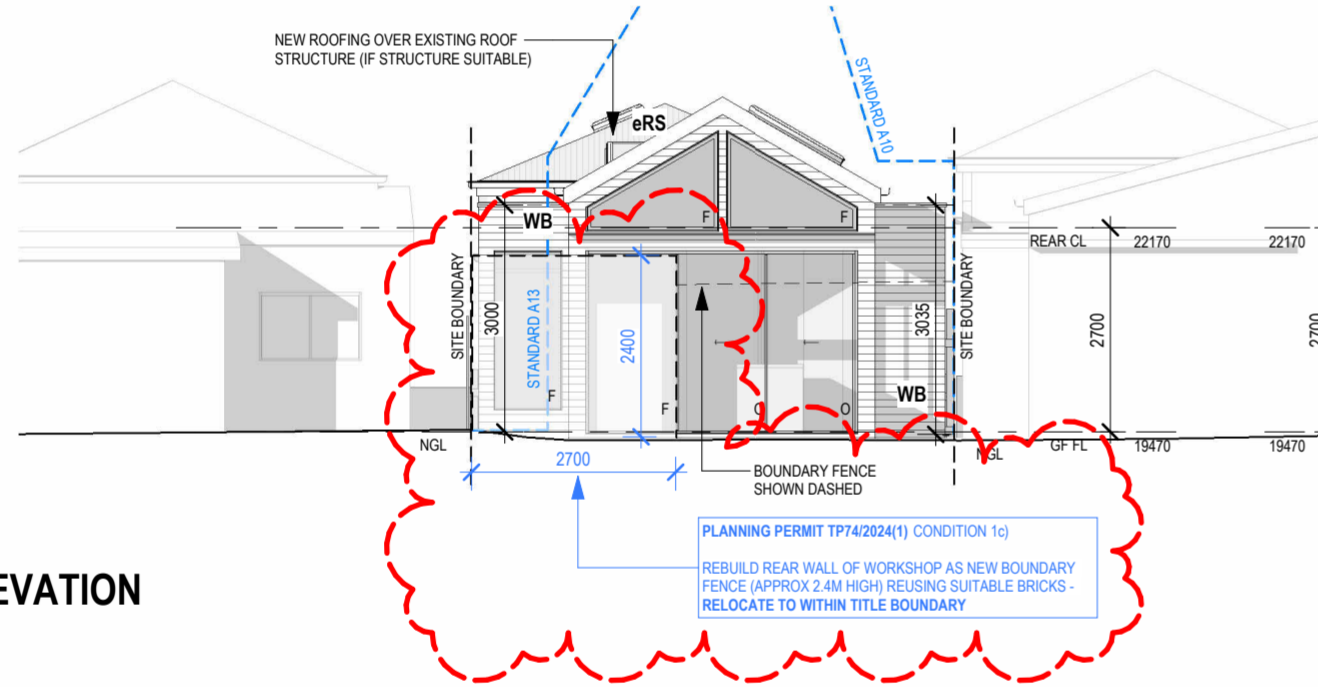


WEST ELEVATION (EXISTING)

SCALE: 1 : 100

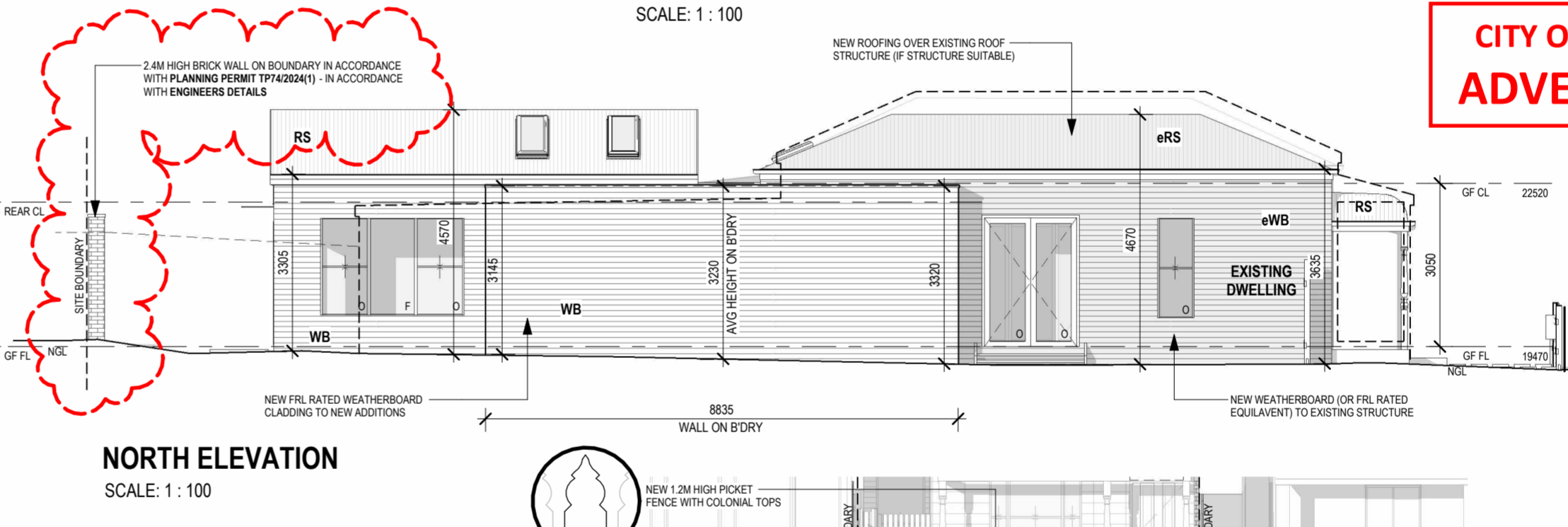
LEGEND:

- DENOTES AREA OF DWELLING TO BE REMOVED
- DENOTES AREA OF DWELLING WHERE CLADDING / ROOFING TO BE REMOVED AND STRUCTURE RETAINED IF SUITABLE FOR REUSE



EAST ELEVATION

SCALE: 1 : 100



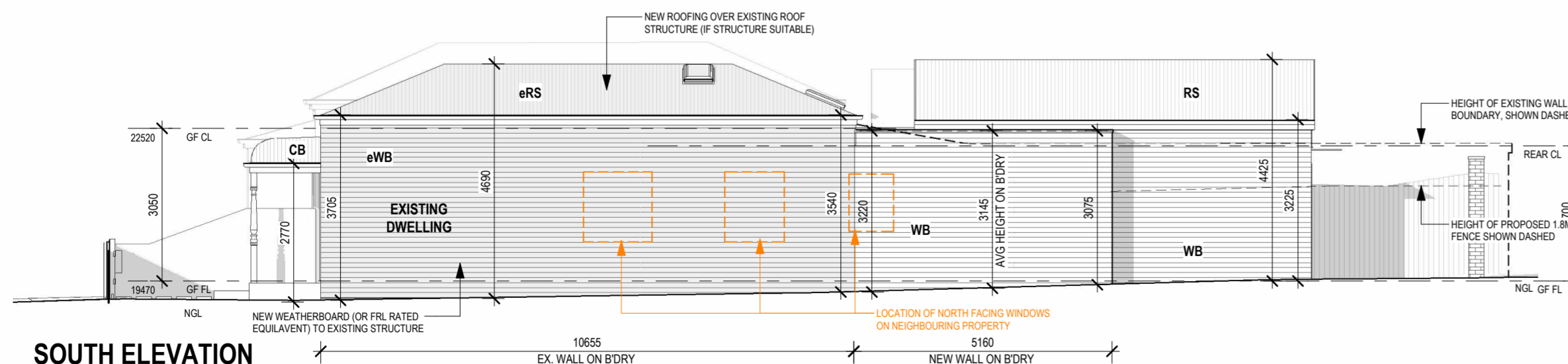
NORTH ELEVATION

SCALE: 1 : 100

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

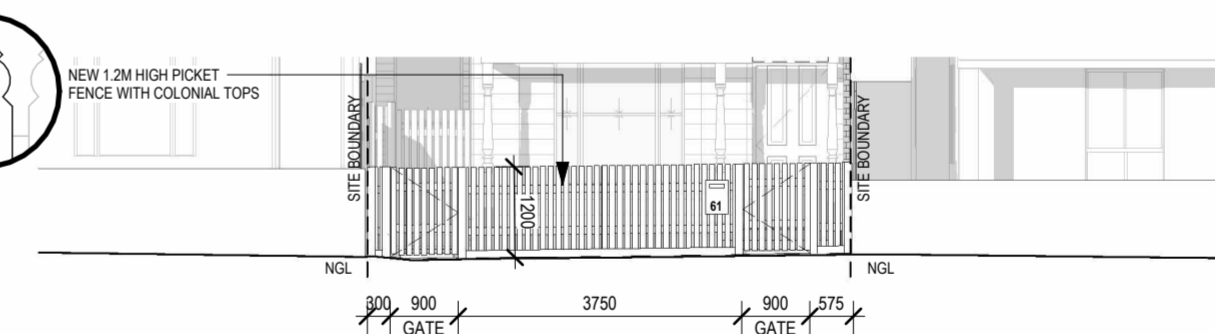
FRONT FACADE

TP74/2023(1) - PLANNING PERMIT CONDITION 1a.
FRONT FACADE IS TO BE REBUILT TO THE SAME DIMENSIONS AS THE EXISTING HERITAGE BUILDING.



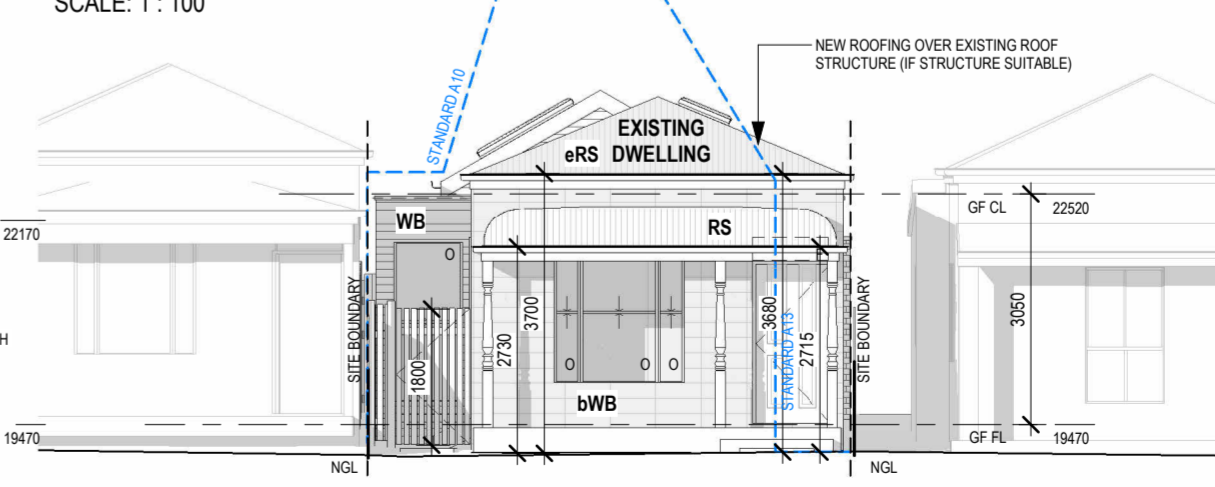
SOUTH ELEVATION

SCALE: 1 : 100



FENCE ELEVATION

SCALE: 1 : 100



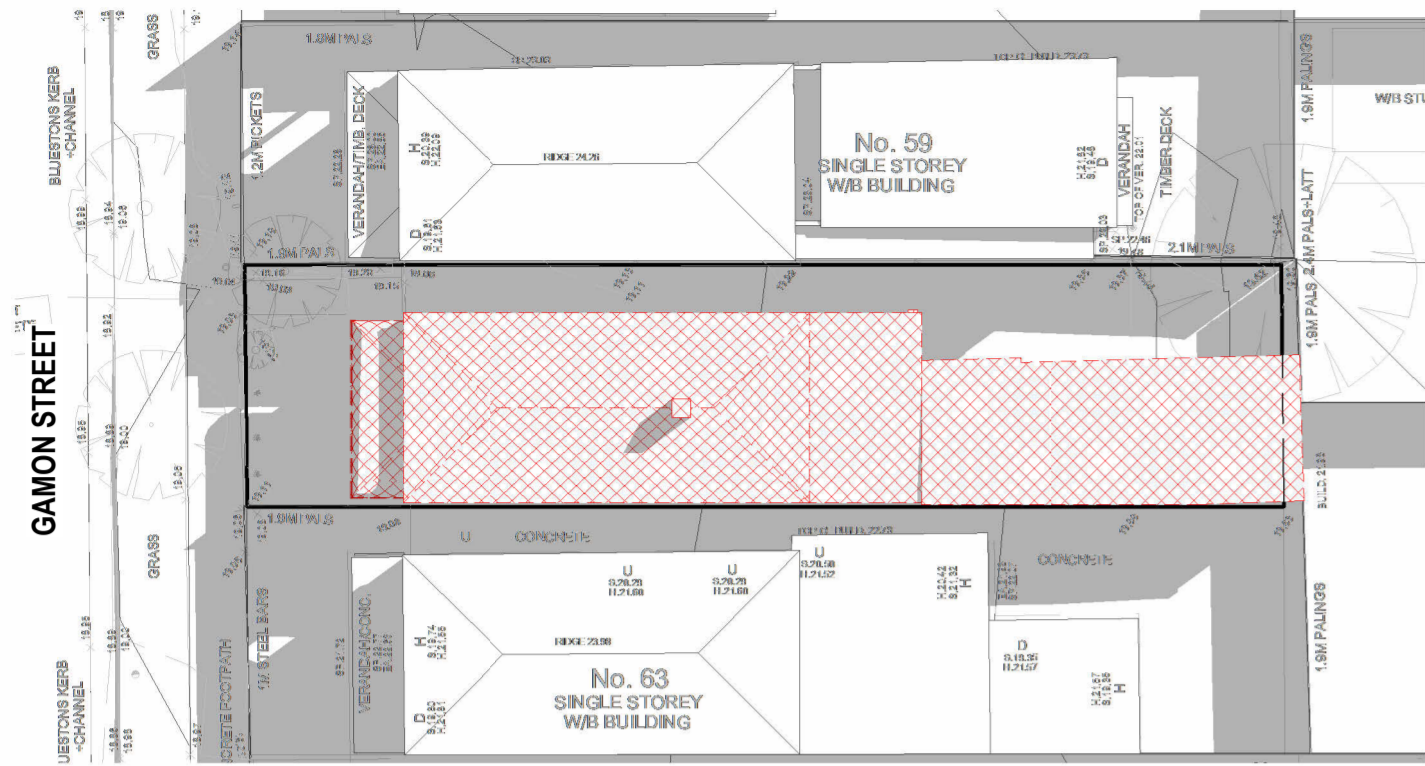
WEST ELEVATION

SCALE: 1 : 100

MATERIAL SCHEDULE:

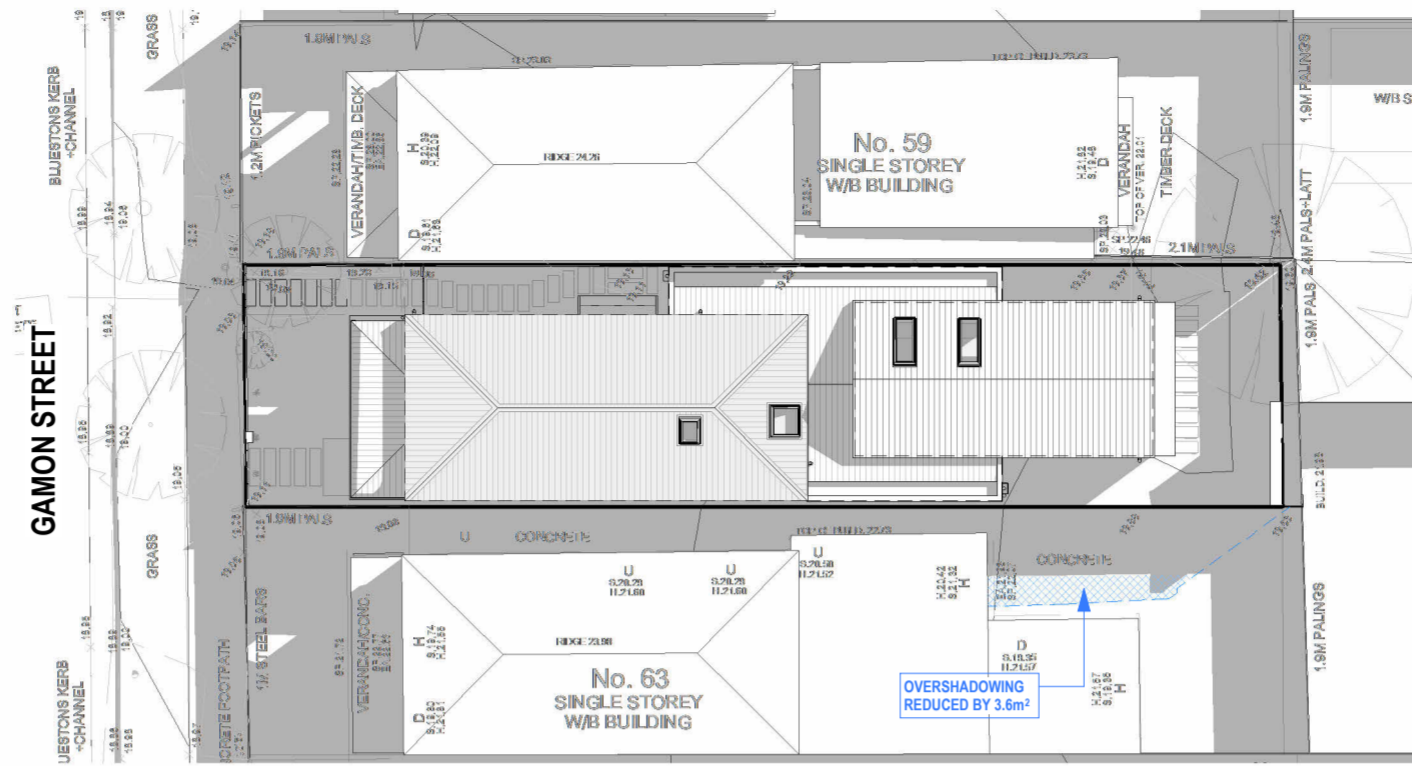
- DENOTES SELECTED BLOCK FACE WEATHERBOARD CLADDING TO MATCH EXISTING.
COLOUR - SEE COLOURBOARD
- DENOTES SELECTED WEATHERBOARD STYLE CLADDING (JAMES HARDIE LINEA / WEATHERTEX CLASSIC)
COLOUR - SEE COLOURBOARD
- DENOTES SELECTED COLORBOND CLADDING
COLOUR - SEE COLOURBOARD

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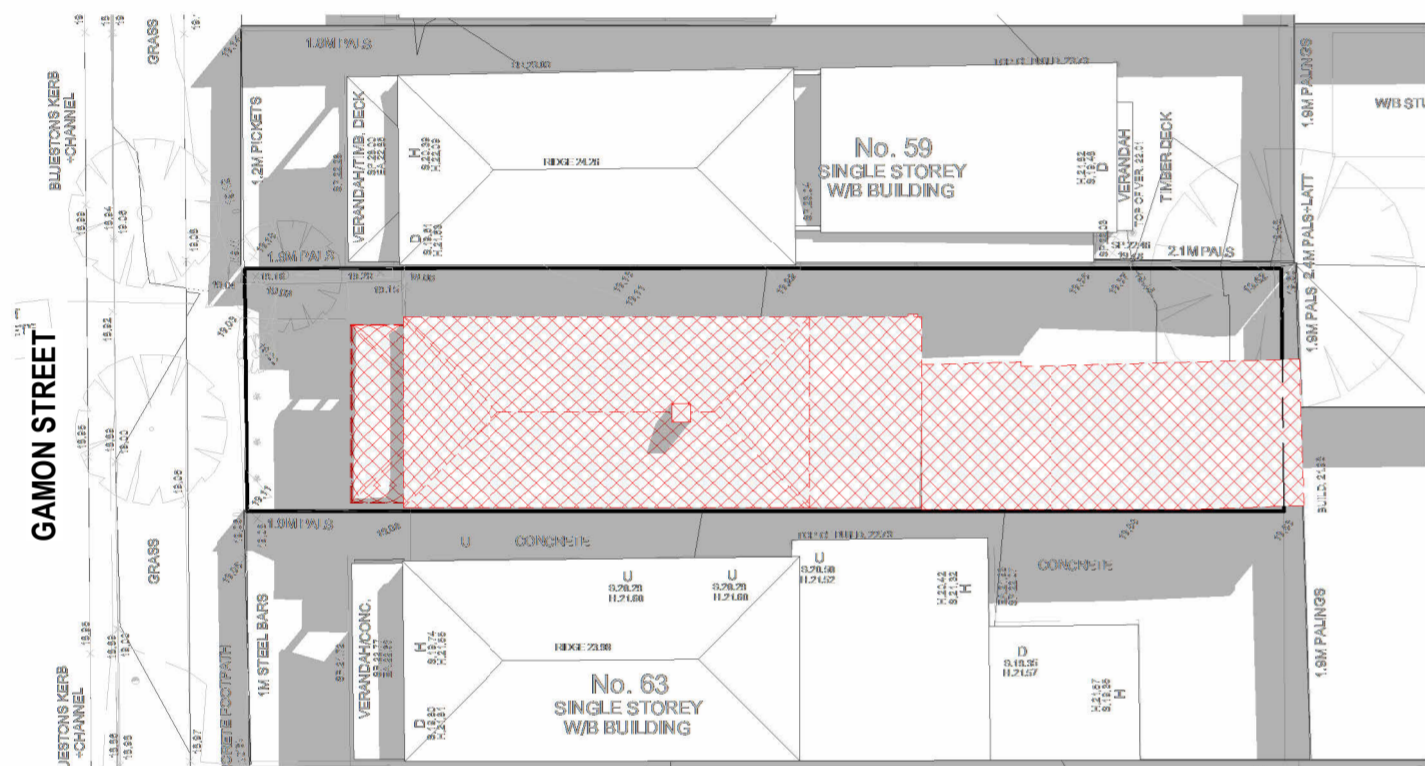
9AM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



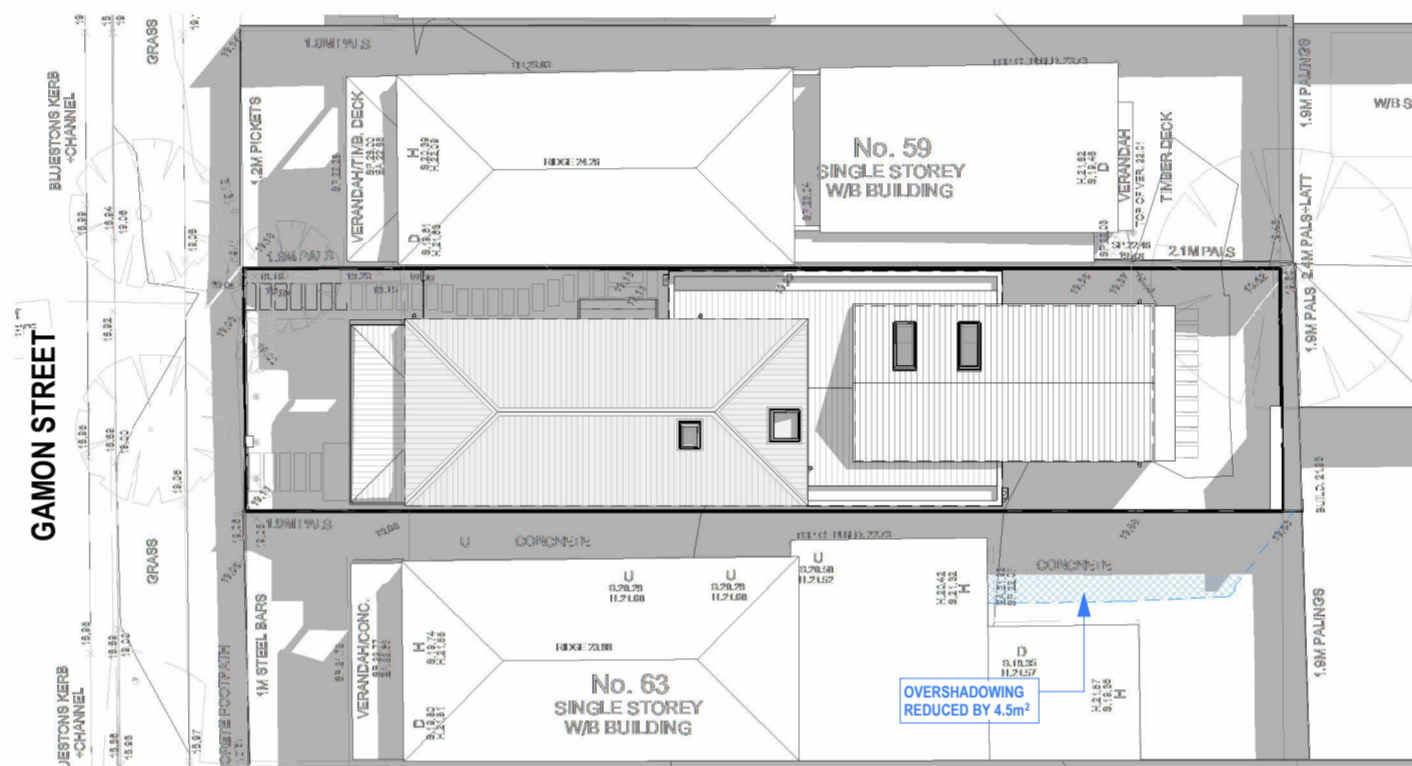
9AM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200



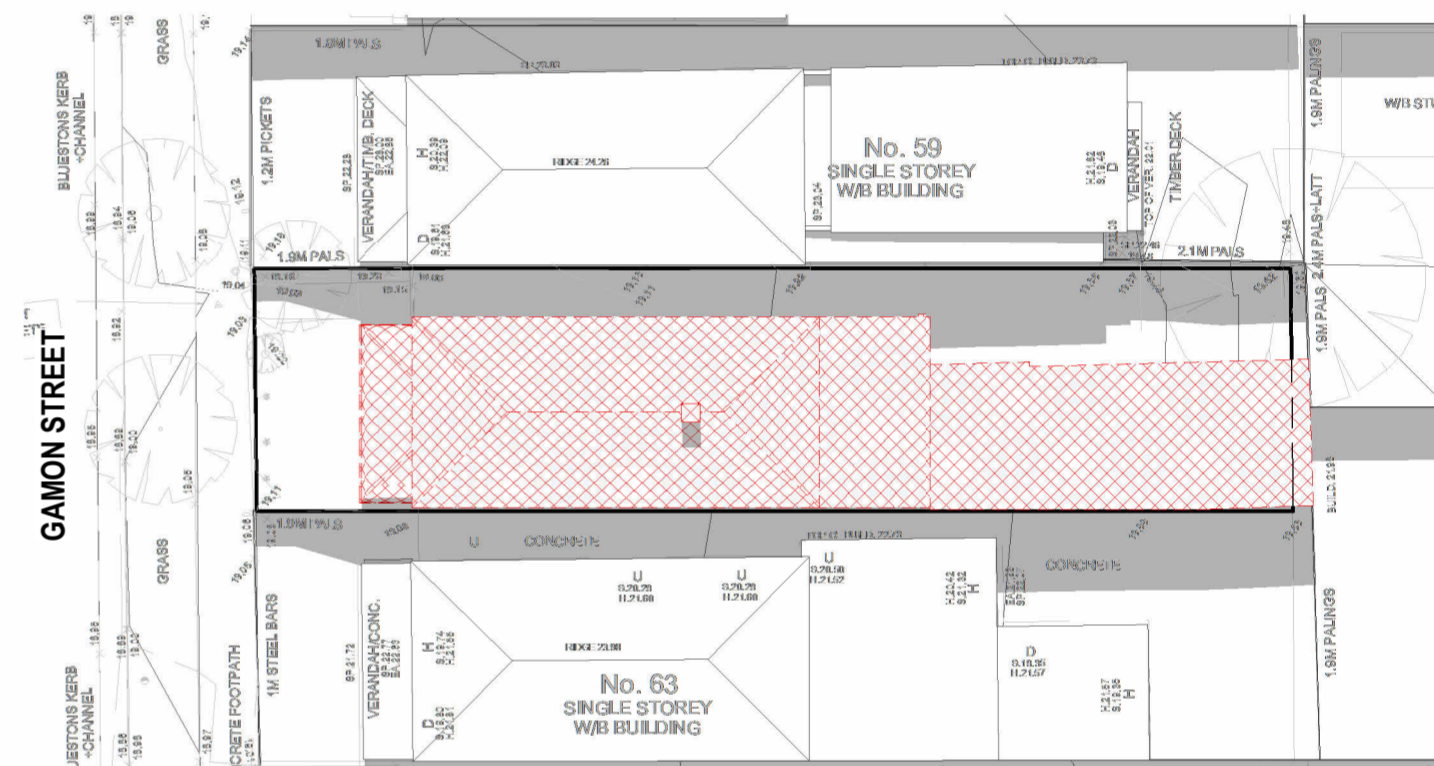
10AM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



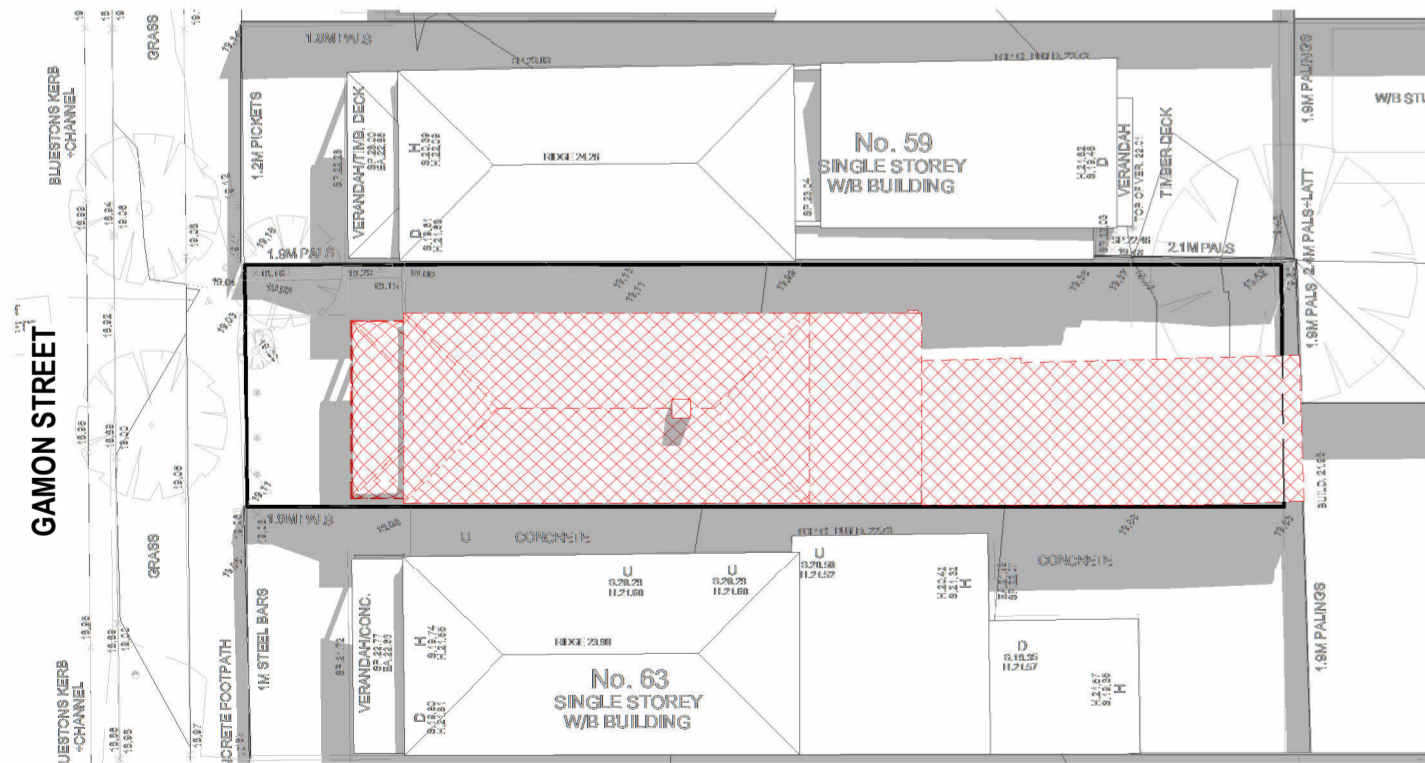
10AM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200



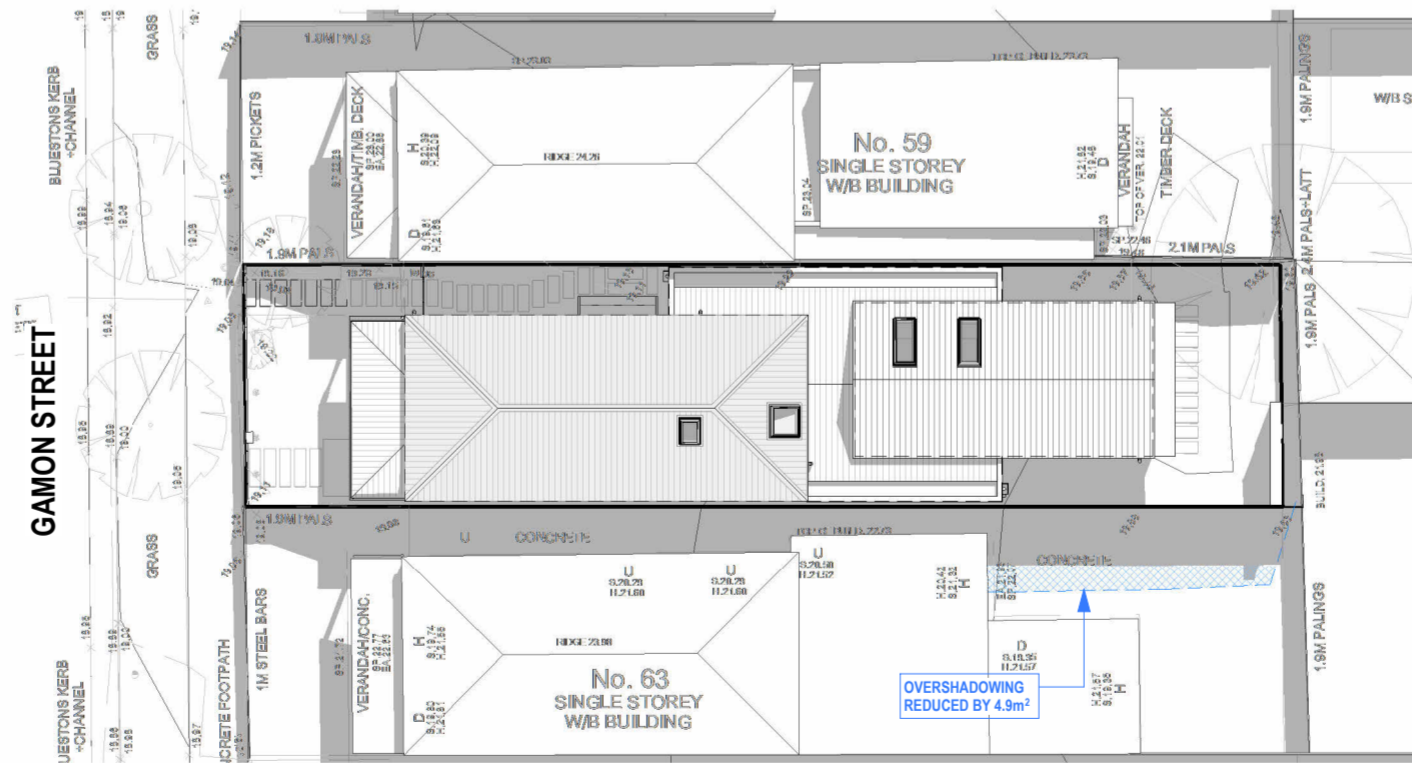
12NOON SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



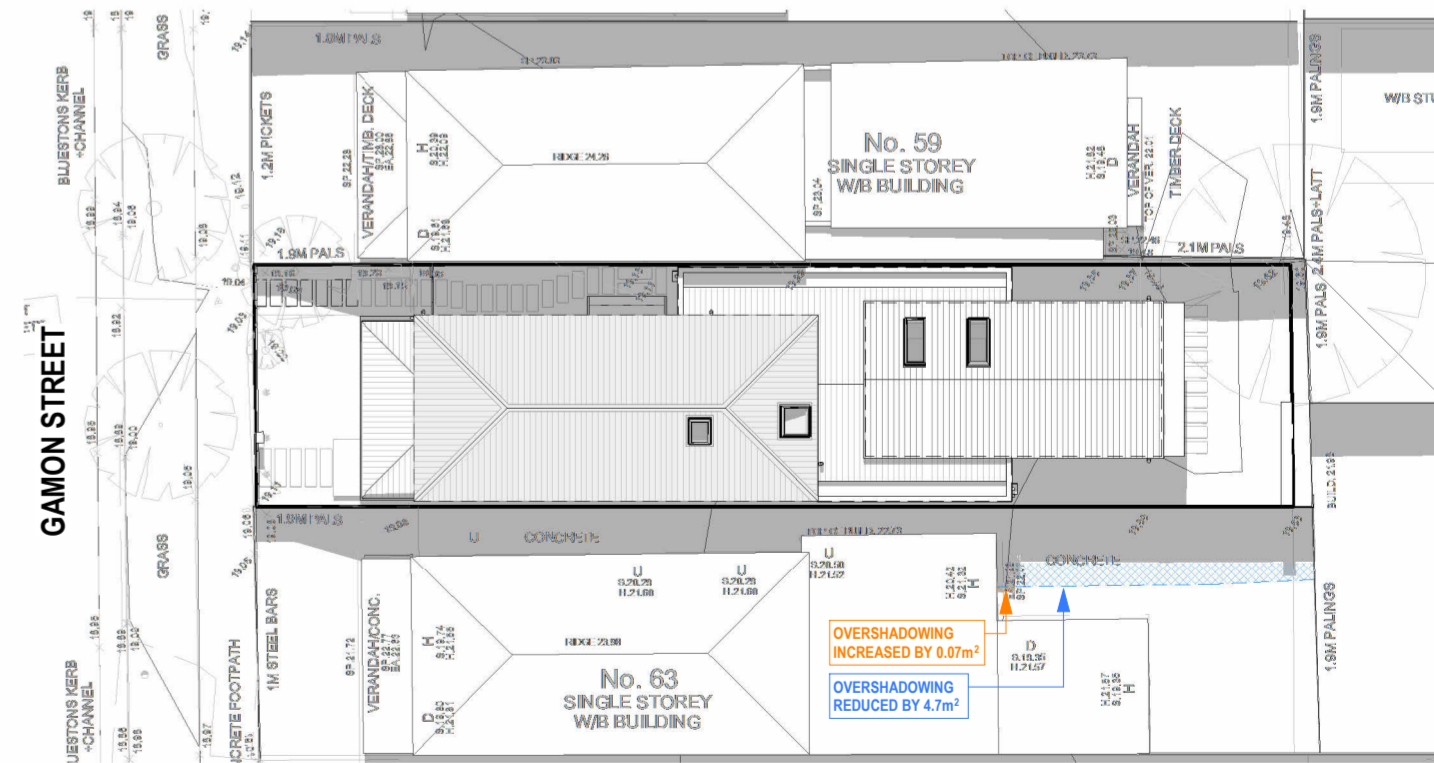
11AM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



11AM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200



12NOON SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200

LEGEND:

INDICATED AREA SHADOWED BY DWELLING AT TIME INDICATED

SHADOWS ON 22 SEPTEMBER AT HOURS INTERVALS BETWEEN 9AM TO 3PM SHOWN

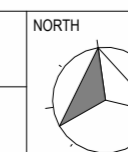
**CITY OF MARIBYRNONG
ADVERTISED PLAN**

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PROPOSED
NEW DWELLING
SITE ADDRESS
61 GAMON STREET, SEDDON

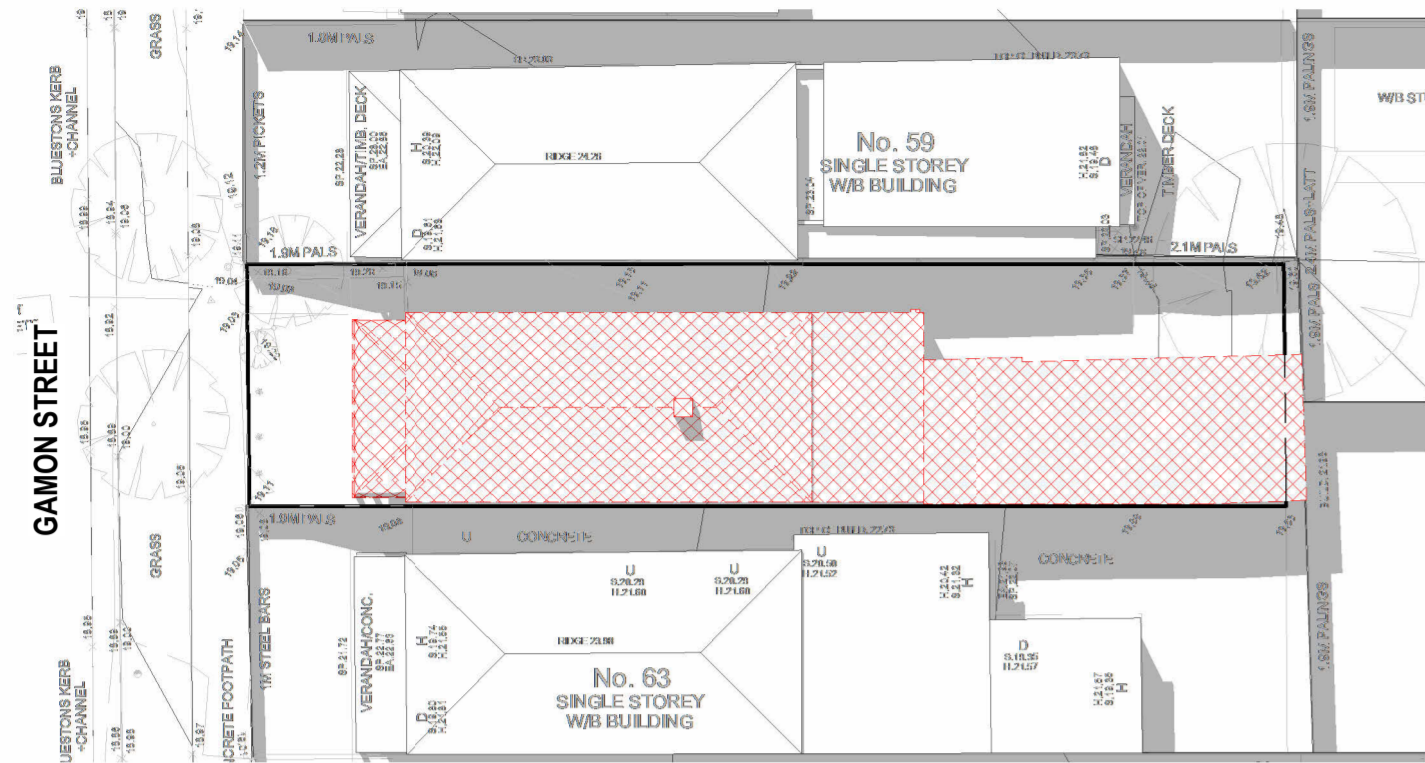
SHEET CONTENT
SHADOW DIAGRAMS
CLIENT
GERALDINE & ANDREW WEBSTER



SCALE
AS SHOWN @ A2
DRAWING NUMBER
05 OF 08

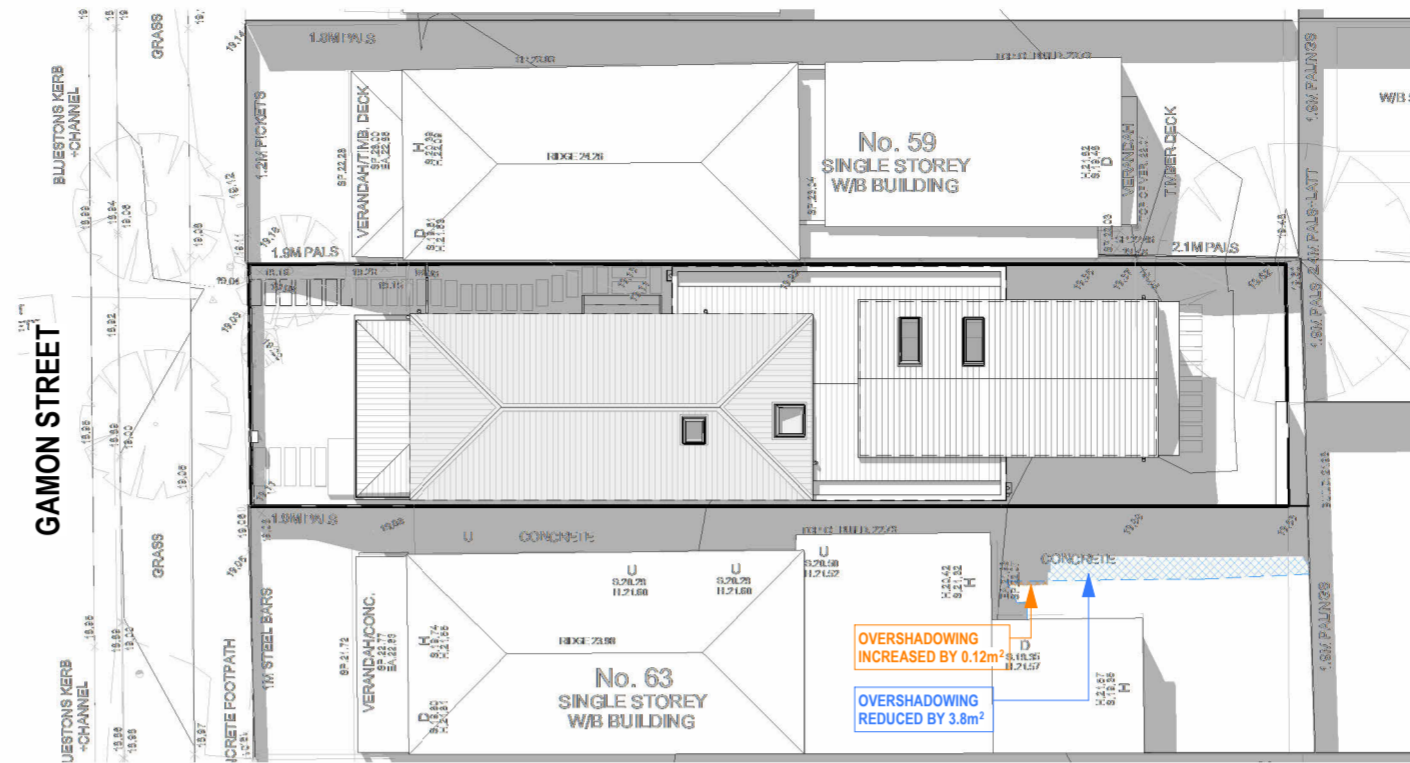
REVISION:
C

DRAWN BY JD	JOB NUMBER BH1075
DESIGN JD	DATE 03.10.24



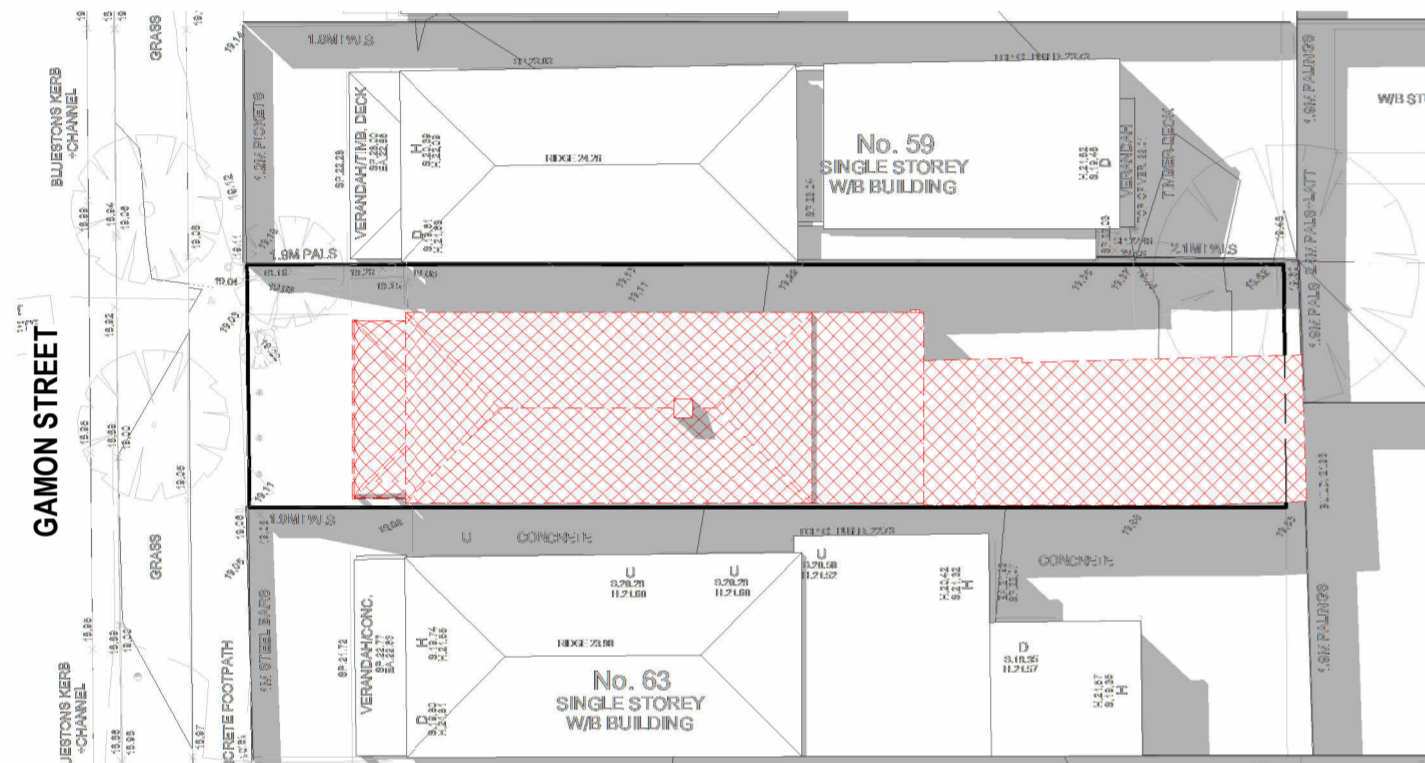
1PM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



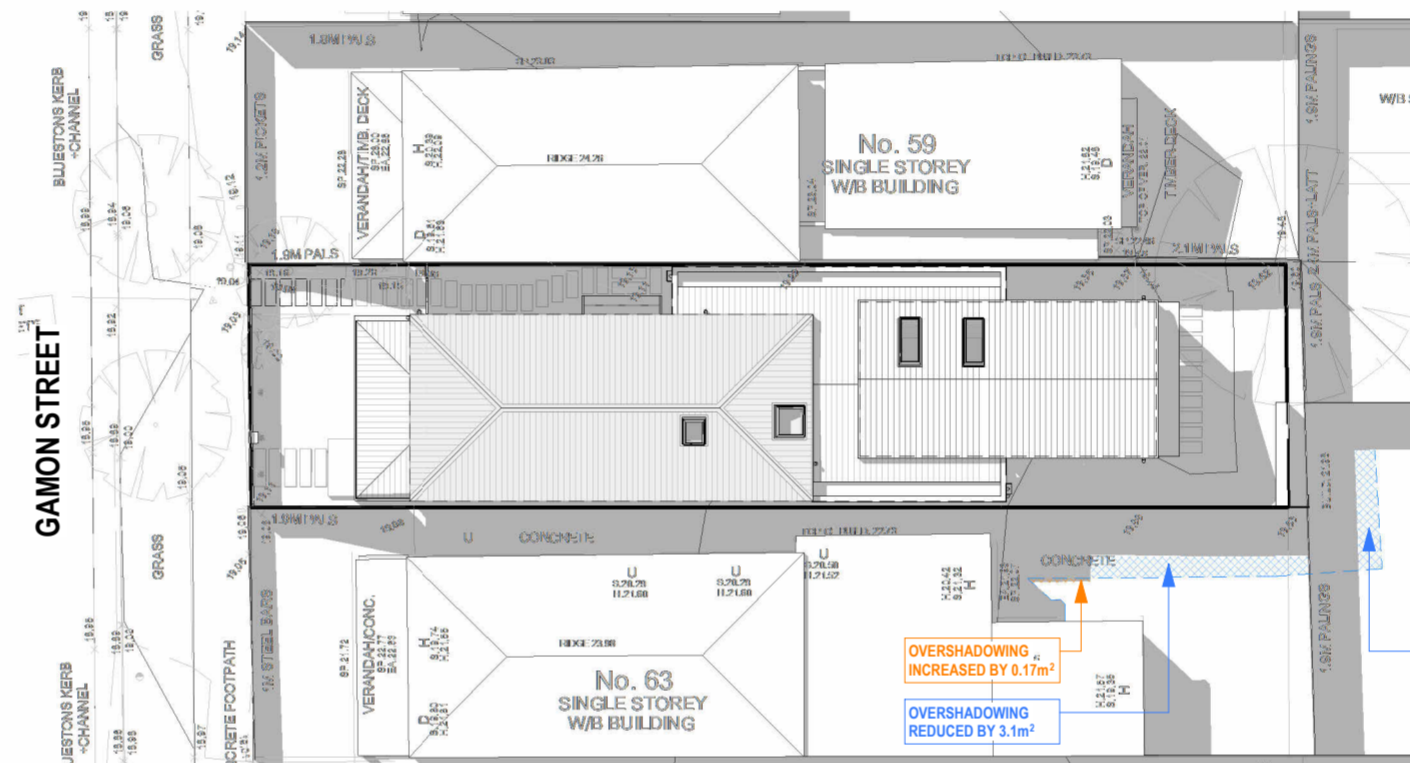
1PM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200



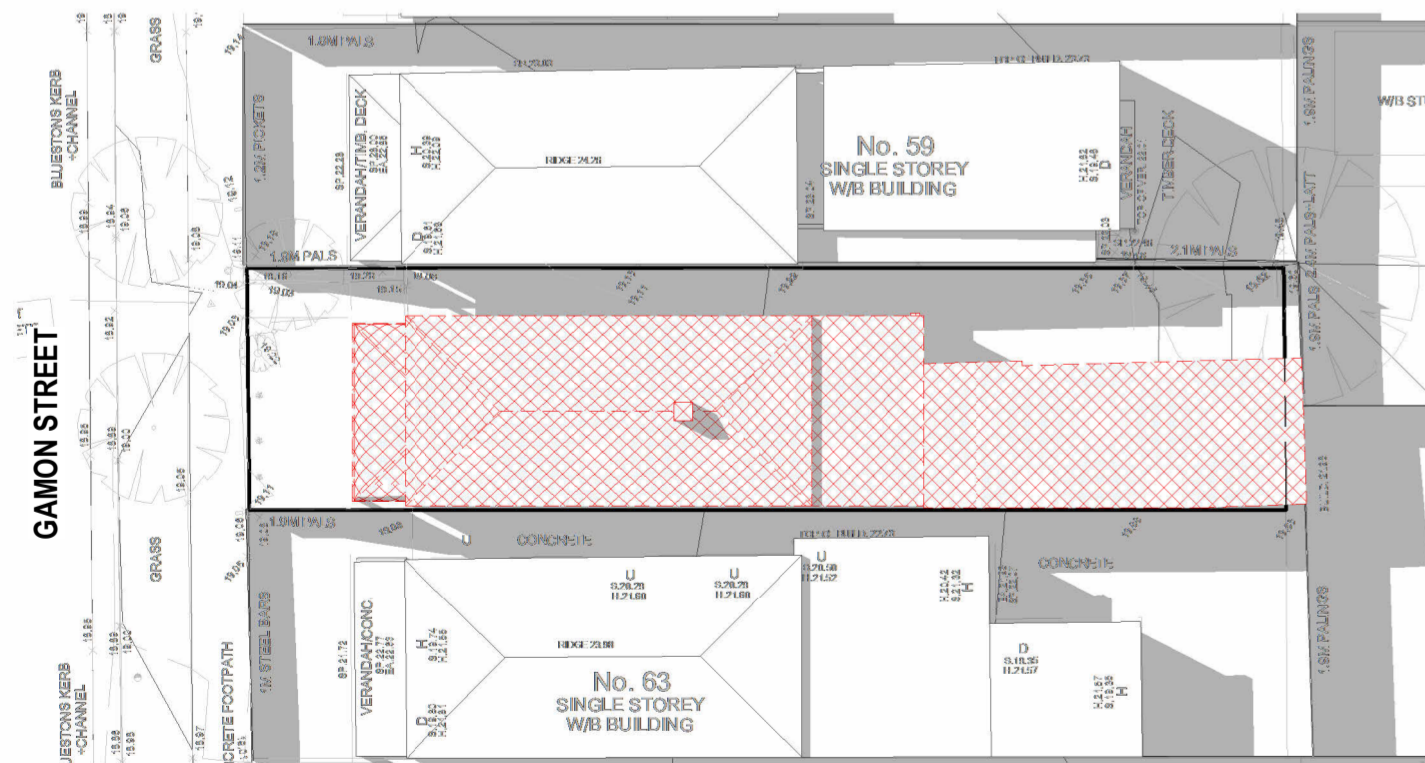
2PM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



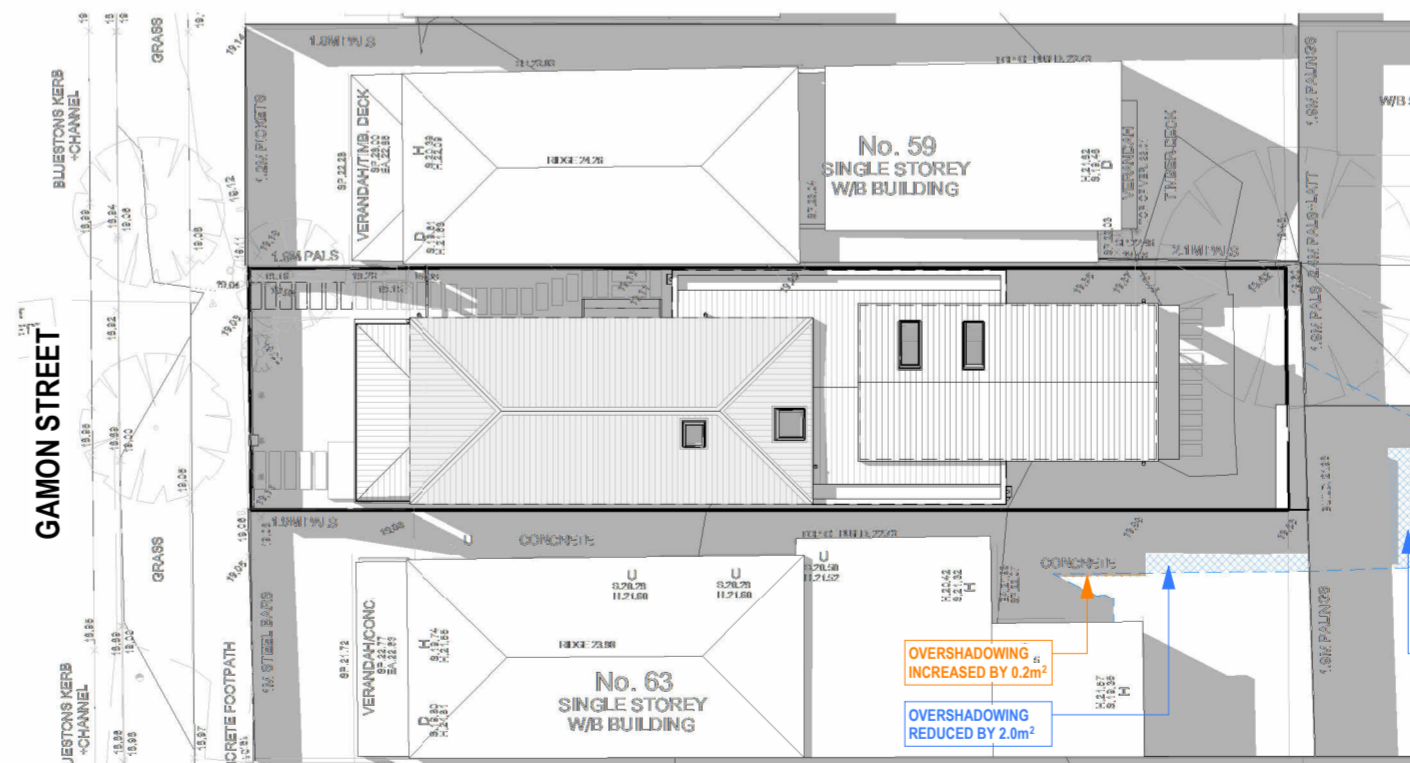
2PM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200



3PM SHADOW DIAGRAM (EXISTING)

SCALE: 1 : 200



3PM SHADOW DIAGRAM (PROPOSED)

SCALE: 1 : 200

LEGEND:

INDICATED AREA SHADOWED BY DWELLING AT TIME INDICATED

SHADOWS ON 22 SEPTEMBER AT HOURS INTERVALS BETWEEN 9AM TO 3PM SHOWN

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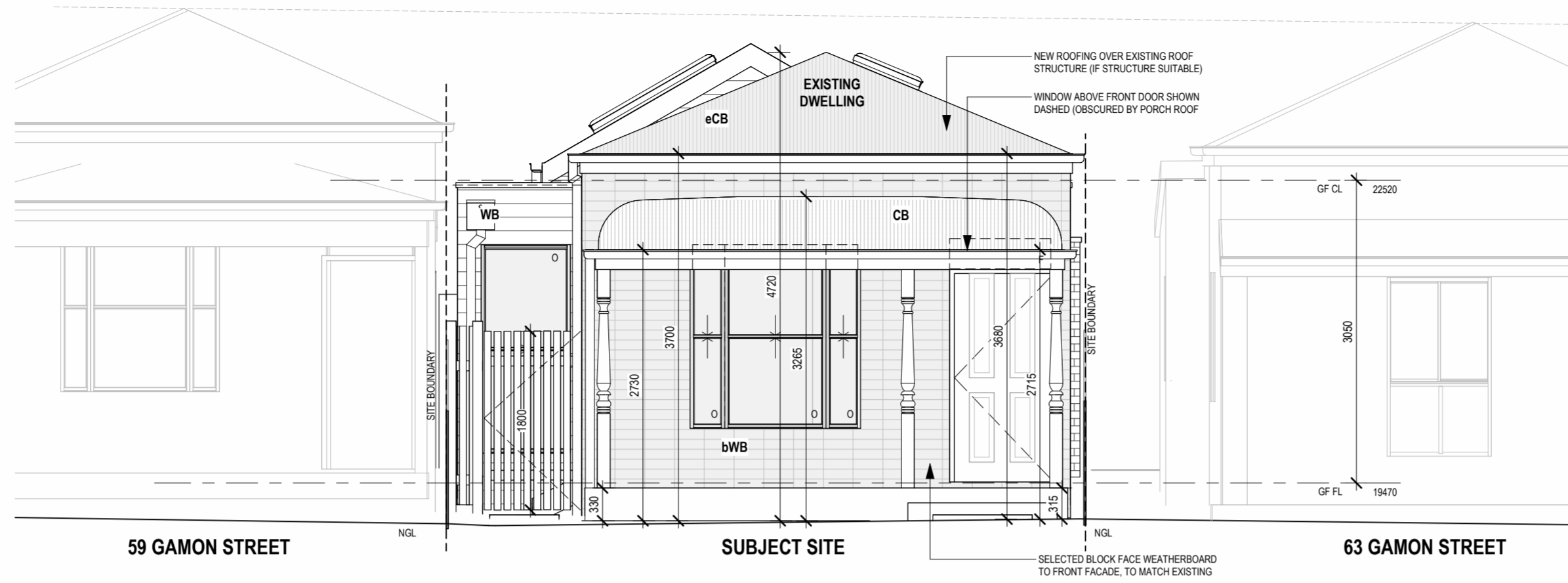
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61 GAMON STREET, SEDDON

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GERALDINE & ANDREW WEBSTER

NORTH
SCALE
AS SHOWN @ A2
DRAWING NUMBER
06 OF 08

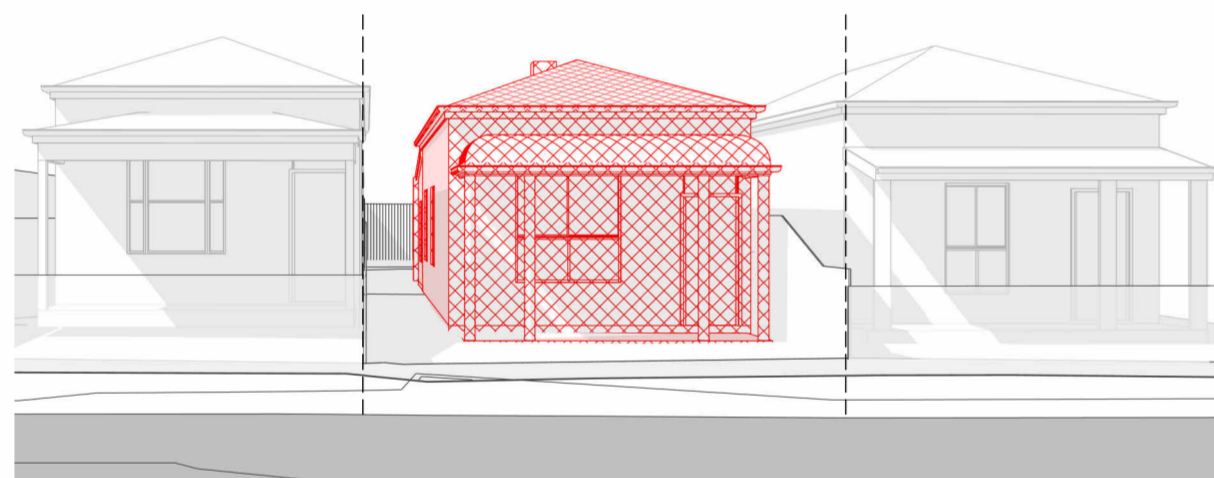
REVISION:
C
DRAWN BY
JD
DESIGN
JD
JOB NUMBER
BH1075
DATE
03.10.24



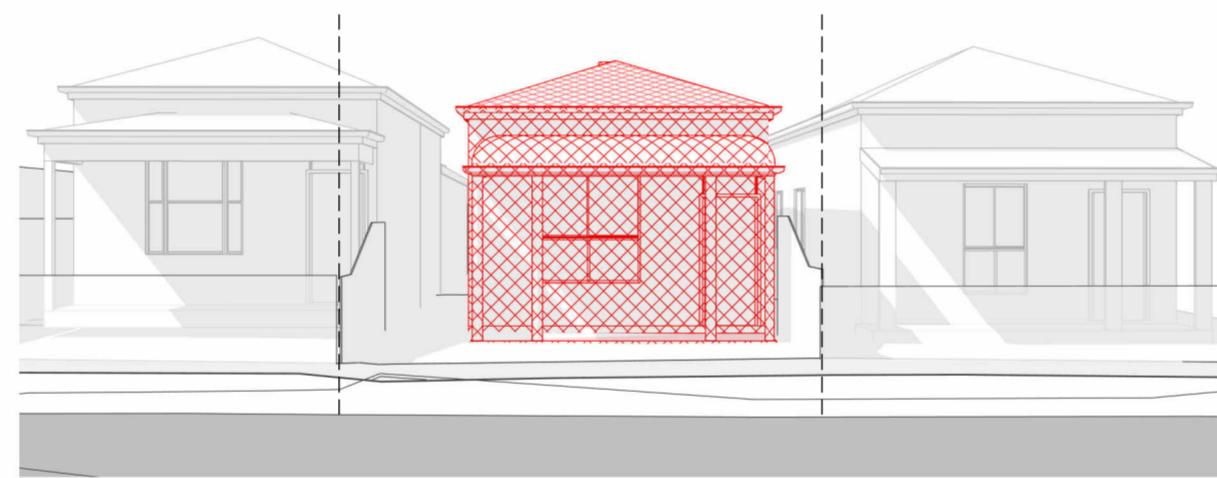
FRONT FACADE
 TP74/2023(1) - PLANNING PERMIT CONDITION 1a.
 FRONT FACADE IS TO BE REBUILT TO THE SAME DIMENSIONS AS THE EXISTING HERITAGE BUILDING.

WEST ELEVATION (FACADE DETAIL)
 SCALE: 1 : 50

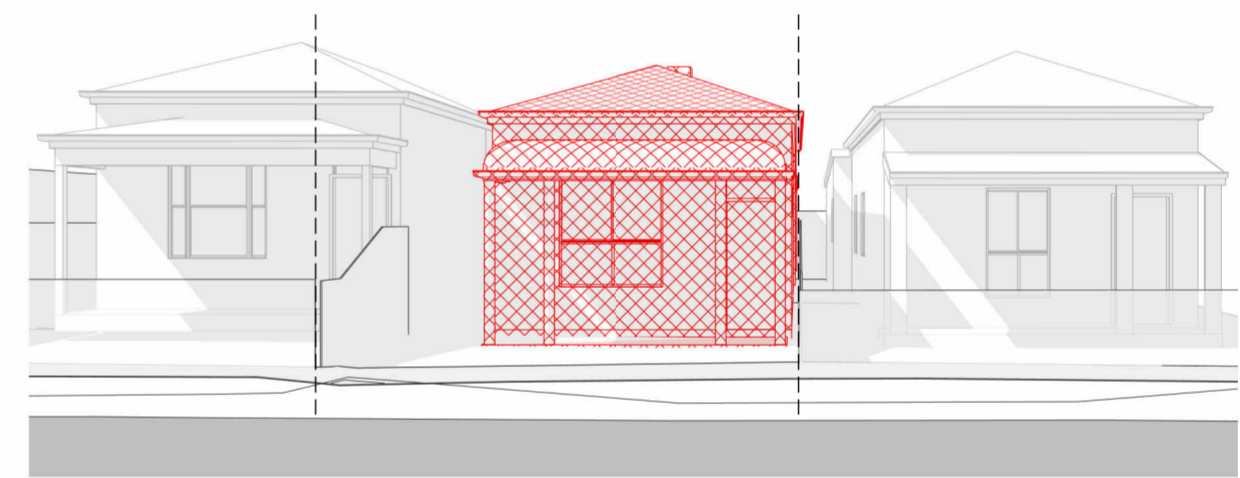
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LEFT OBLIQUE (EXISTING)



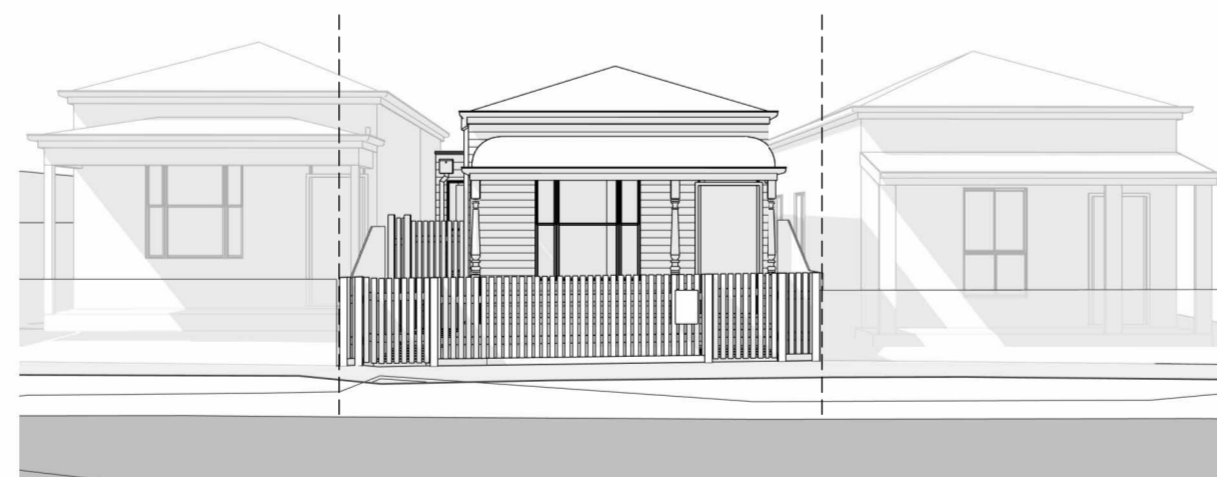
STREETSCAPE (EXISTING)



RIGHT OBLIQUE (EXISTING)



LEFT OBLIQUE (PROPOSED)



STREETSCAPE (PROPOSED)



RIGHT OBLIQUE (PROPOSED)

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