



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

DESIGN RESPONSE

- 1 EXISTING CROSSOVER TO SERVICE UNIT 1.
- 2 PROPOSED VEHICLE STORAGE FOR ALL UNITS ARE LOCATED BEHIND THE LINE OF THE FRONT DWELLING TO HIDE THE DOMINANCE OF CAR PARKING STRUCTURES FROM THE STREET-SCAPE.
- 3 NEW MAILBOXES FOR ALL UNITS.
- 4 PROPOSED FRONT STREET SETBACK TO DEVELOPMENT IS SYMPATHETIC TO THE ADJOINING NEIGHBOURS.
- 5 LARGE LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- 6 OPEN SPACES TO UNITS ARE ORIENTED TOWARDS NORTH PROVIDING FUTURE RESIDENCES WITH EXCELLENT SOLAR ACCESS AND NORTH LIGHT. OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR ALL DWELLINGS ARE LOCATED OFF LIVING AREAS.
- 7 LANDSCAPING LOCATION TO PROVIDE SOFT BUFFER AND SCREENING BETWEEN THE ADJOINING PROPERTIES.
- 8 DRIVEWAYS HAVE BEEN DESIGNED WITH A TURNING CIRCLE TO ALLOW VEHICLES TO EXIT THE SITE IN A FORWARD DIRECTION.
- 9 ANY PROPOSED WALLS TO BE BUILT TO THE BOUNDARY ARE LOCATED AWAY FROM EXISTING HABITABLE ROOM WINDOWS AND OPEN SPACES.
- 10 PROPOSED CROSSOVER TO THE LEFT OF THE SITE TO PROVIDE VEHICLE ACCESS TO UNIT 2 & 3.
- 11 UPPER FLOOR LEVEL OF DWELLINGS SETBACK FROM SIDE BOUNDARIES TO REDUCE OVERSHADOWING AND VISUAL BULK TO ADJOINING PROPERTIES. UPPER FLOOR FOOTPRINT IS OFFSET WITHIN THE GROUND FLOOR ENVELOPE TO REDUCE VISUAL BULK AND CREATE A MORE GRADUAL TRANSITION BETWEEN THE SINGLE STOREY AND TWO-STOREY BUILDING FORM.

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Revisions

Rev B	RFI SUBMISSION
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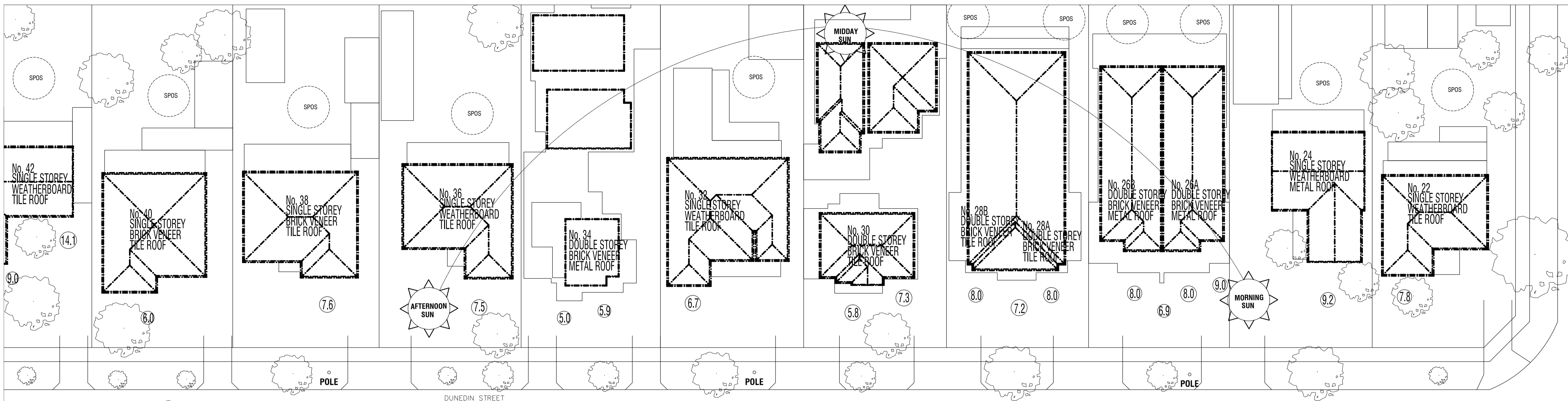
DESIGN RESPONSE

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

RENOWN STREET

DUNEDIN STREET

MITCHELL STREET

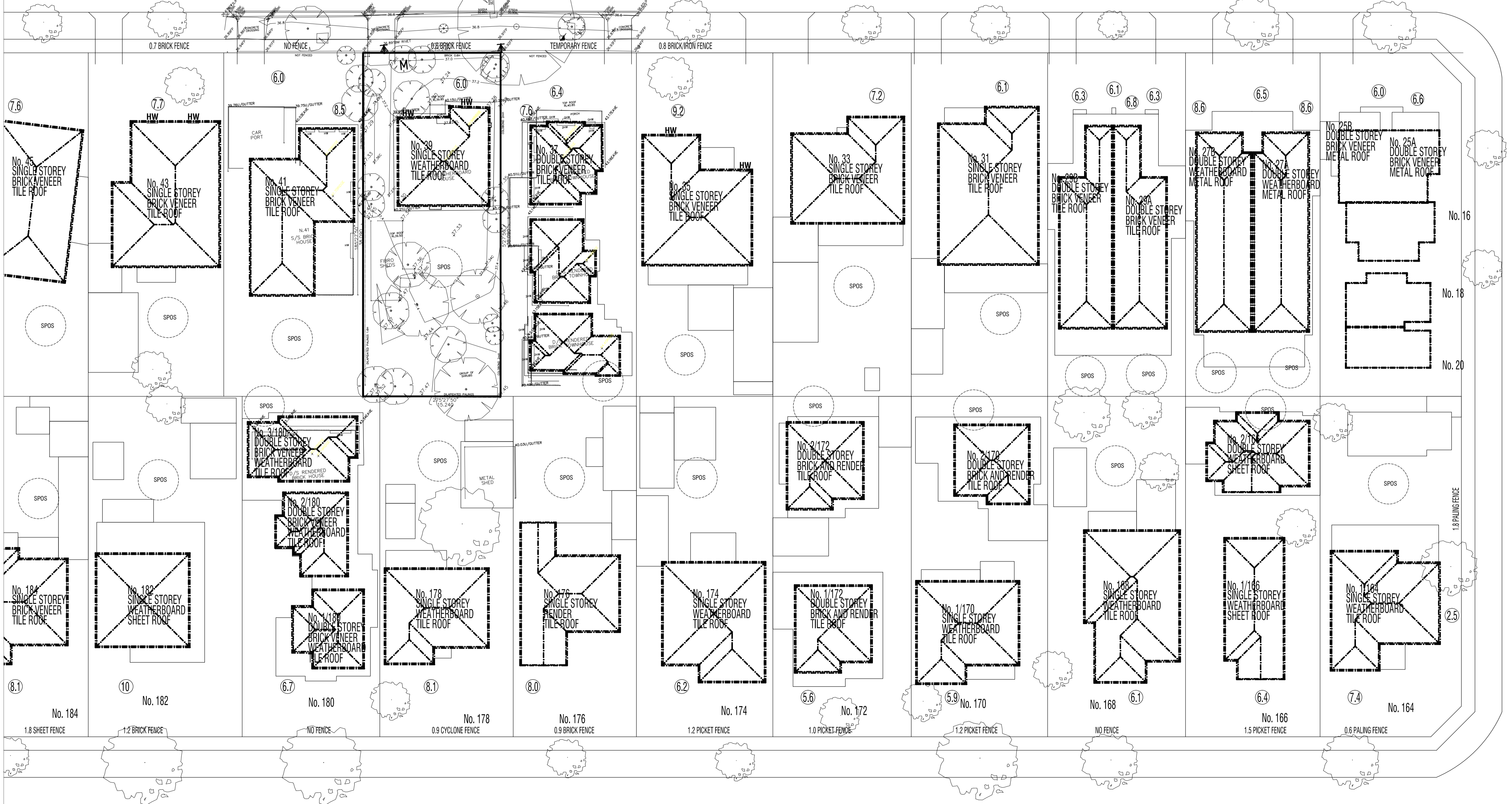


KEY

- P.O.S PRIVATE OPEN SPACE
- S.P.O.S SECLUDED PRIVATE OPEN SPACE
- HW HABITABLE WINDOWS
- CANOPY TREES
- 8.2 BUILDING SETBACKS TO BOUNDARY FENCE LINE
- V1 PHOTO VIEW ANGLE
- POLE POWER POLE
- PIT PHONE PIT

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

DUNEDIN STREET



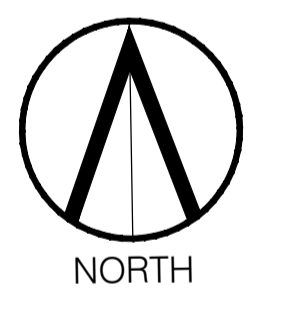
RENOVN STREET

MITCHELL STREET

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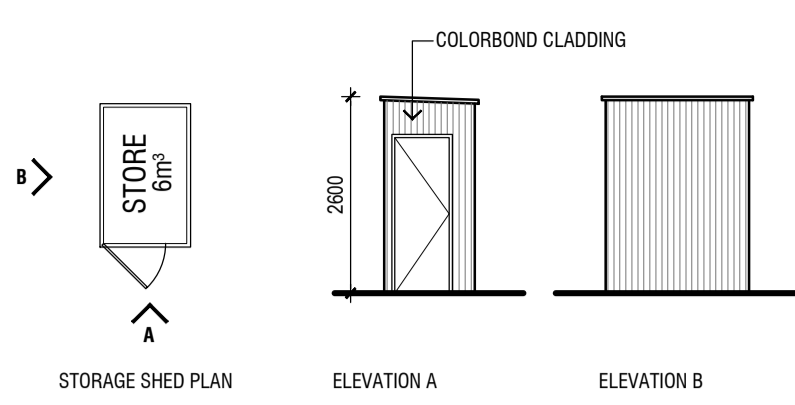
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**NEIGHBOURHOOD AND SITE
DESCRIPTION PLAN**

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

BEARING ARE ON MGA94_ZONE 55 DATUM
LEVELS ARE TO AHD VIDE CONNECTION TO CUT-PAW-PAW PM 225



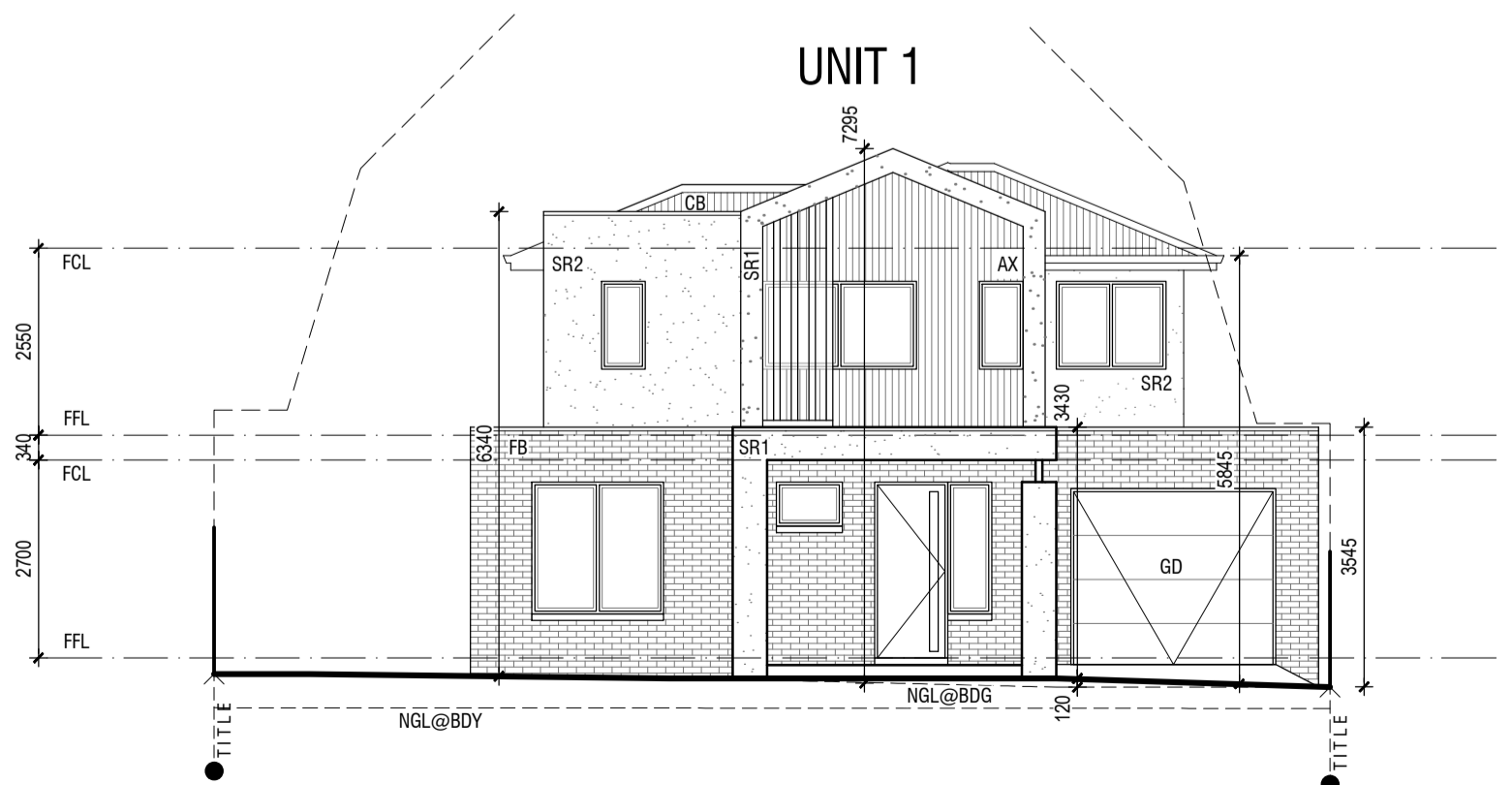
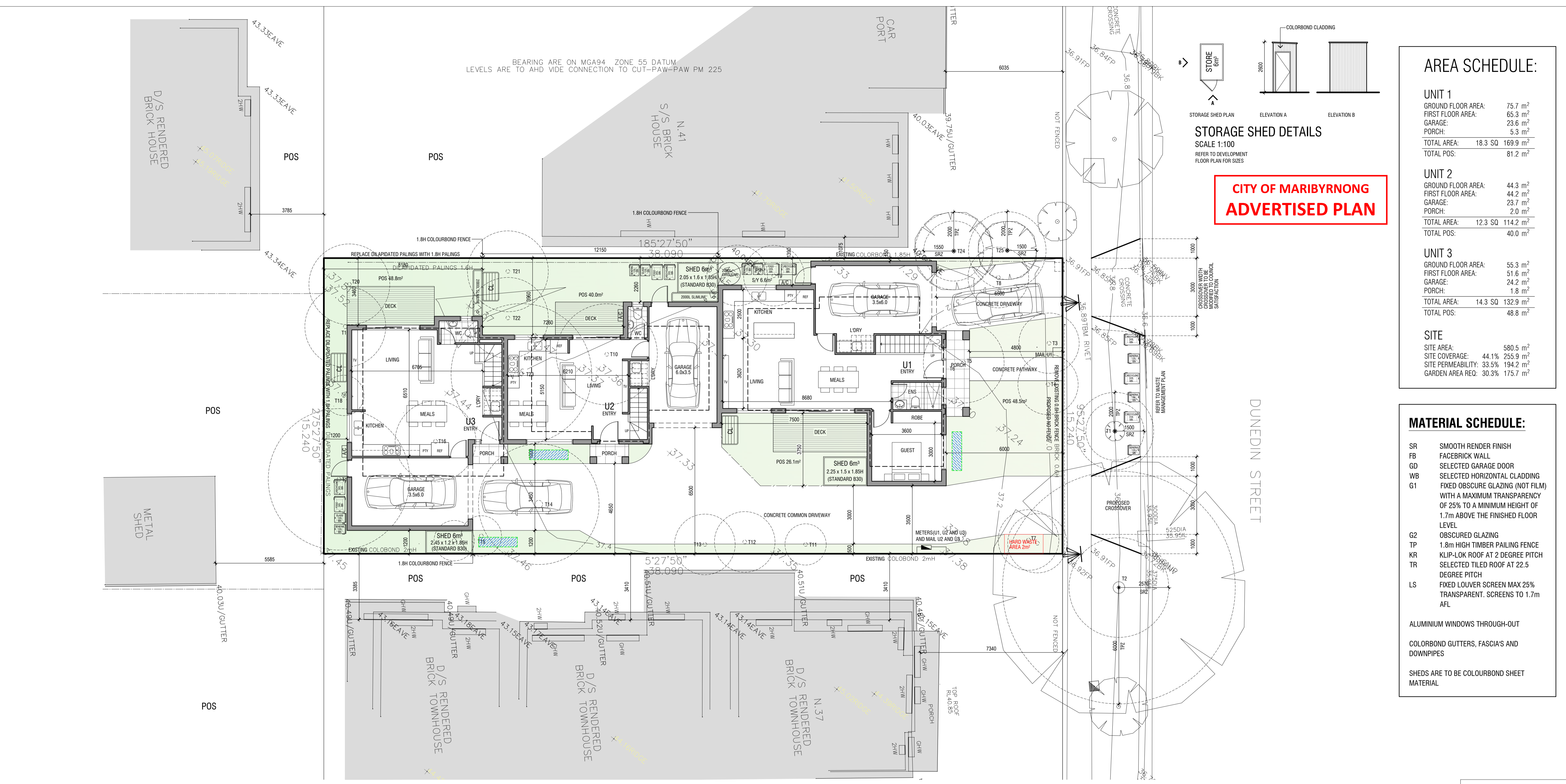
**CITY OF MARIBYRNONG
ADVERTISED PLAN**

AREA SCHEDULE:

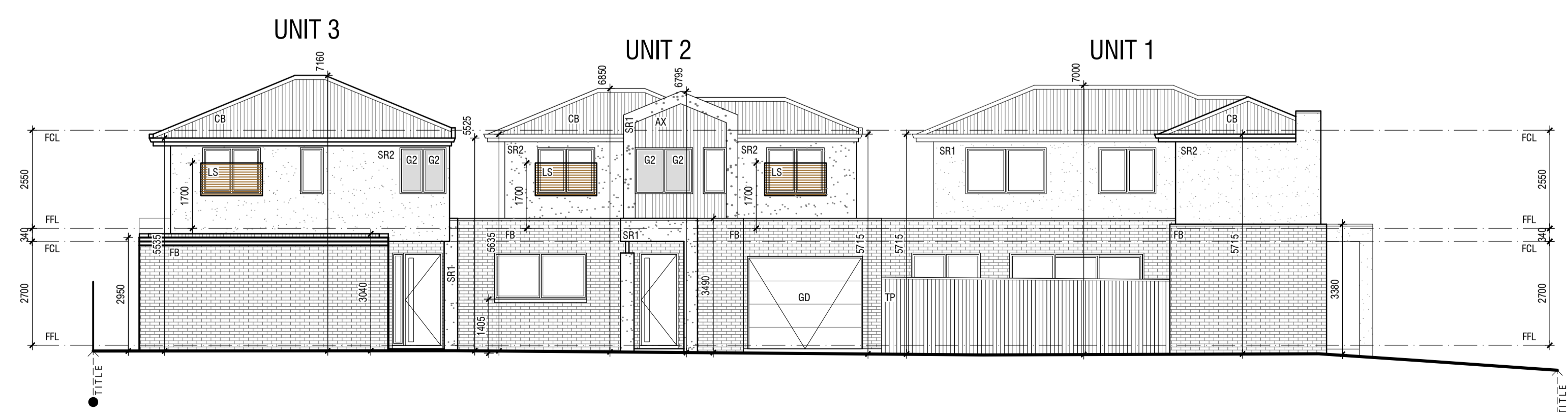
UNIT	GROUND FLOOR AREA:	FIRST FLOOR AREA:	GARAGE:	PORCH:	TOTAL AREA:	TOTAL POS:
UNIT 1	75.7 m ²	65.3 m ²	23.6 m ²	5.3 m ²	18.3 SQ 169.9 m ²	81.2 m ²
UNIT 2	44.3 m ²	44.2 m ²	23.7 m ²	2.0 m ²	12.3 SQ 114.2 m ²	40.0 m ²
UNIT 3	55.3 m ²	51.6 m ²	24.2 m ²	1.8 m ²	14.3 SQ 132.9 m ²	48.8 m ²
SITE	SITE AREA: 580.5 m ²	SITE COVERAGE: 44.1% 255.9 m ²	SITE PERMEABILITY: 33.5% 194.2 m ²	GARDEN AREA REQ: 30.3% 175.7 m ²		

MATERIAL SCHEDULE:

- SR SMOOTH RENDER FINISH
 - FB FACEBRICK WALL
 - GD SELECTED GARAGE DOOR
 - WB SELECTED HORIZONTAL CLADDING
 - G1 FIXED OBSCURE GLAZING (NOT FILM) WITH A MAXIMUM TRANSPARENCY OF 25% TO A MINIMUM HEIGHT OF 1.7m ABOVE THE FINISHED FLOOR LEVEL
 - G2 OBSCURED GLAZING
 - TP 1.8m HIGH TIMBER PAILING FENCE
 - KR KLIP-LOK ROOF AT 2 DEGREE PITCH
 - TR SELECTED TILED ROOF AT 22.5 DEGREE PITCH
 - LS FIXED LOUVER SCREEN MAX 25% TRANSPARENT. SCREENS TO 1.7m AFL
- ALUMINIUM WINDOWS THROUGH-OUT
- COLORBOND GUTTERS, FASCIA'S AND DOWNPIPES
- SHEDS ARE TO BE COLOURBOND SHEET MATERIAL



NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

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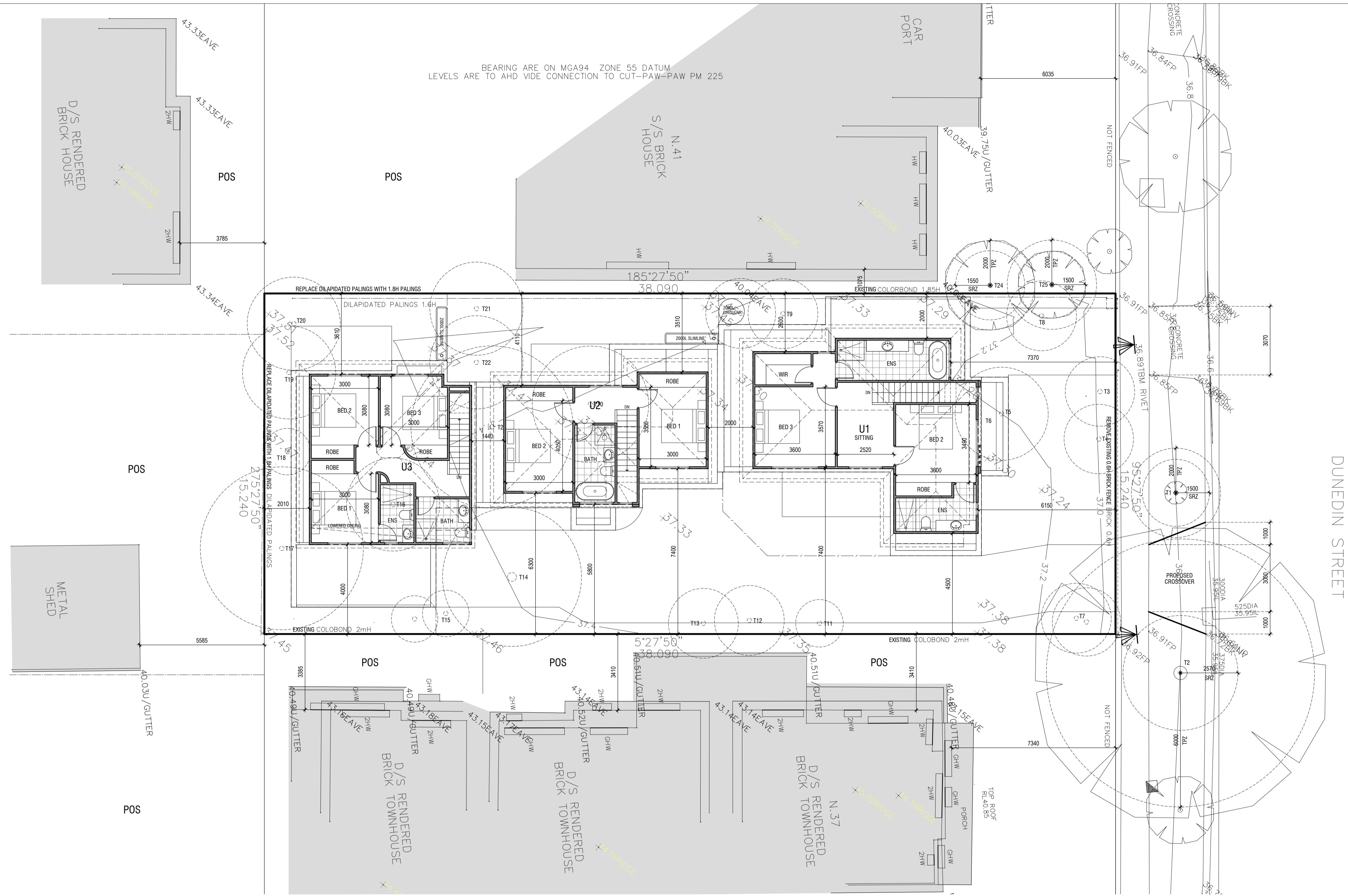
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GROUND FLOOR PLAN

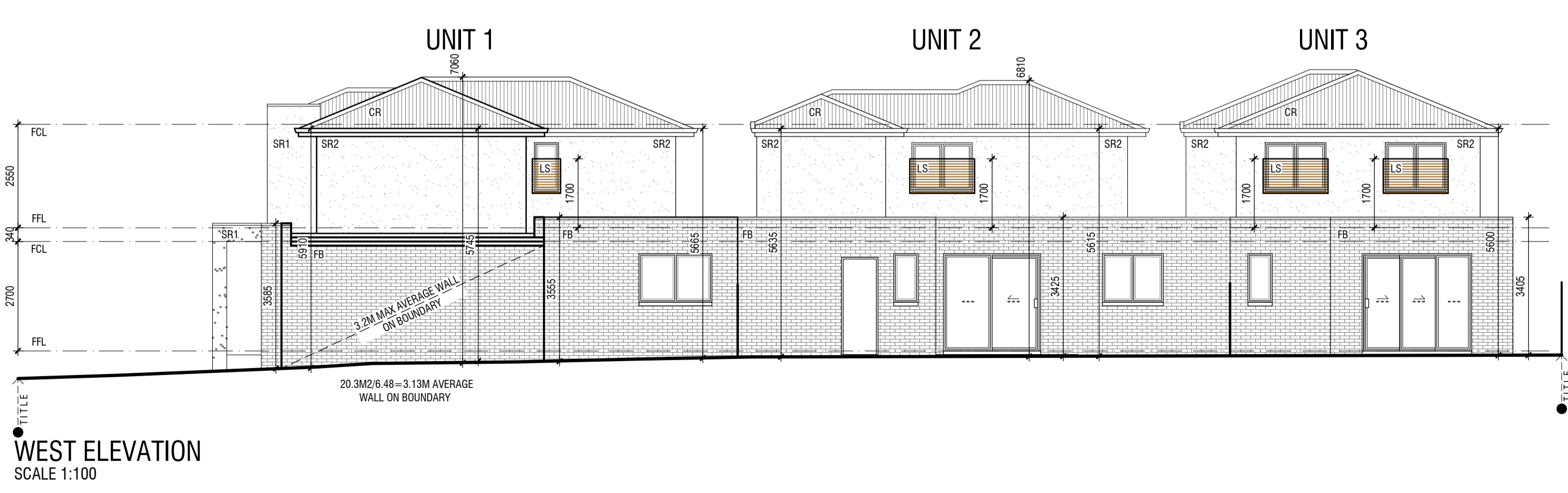
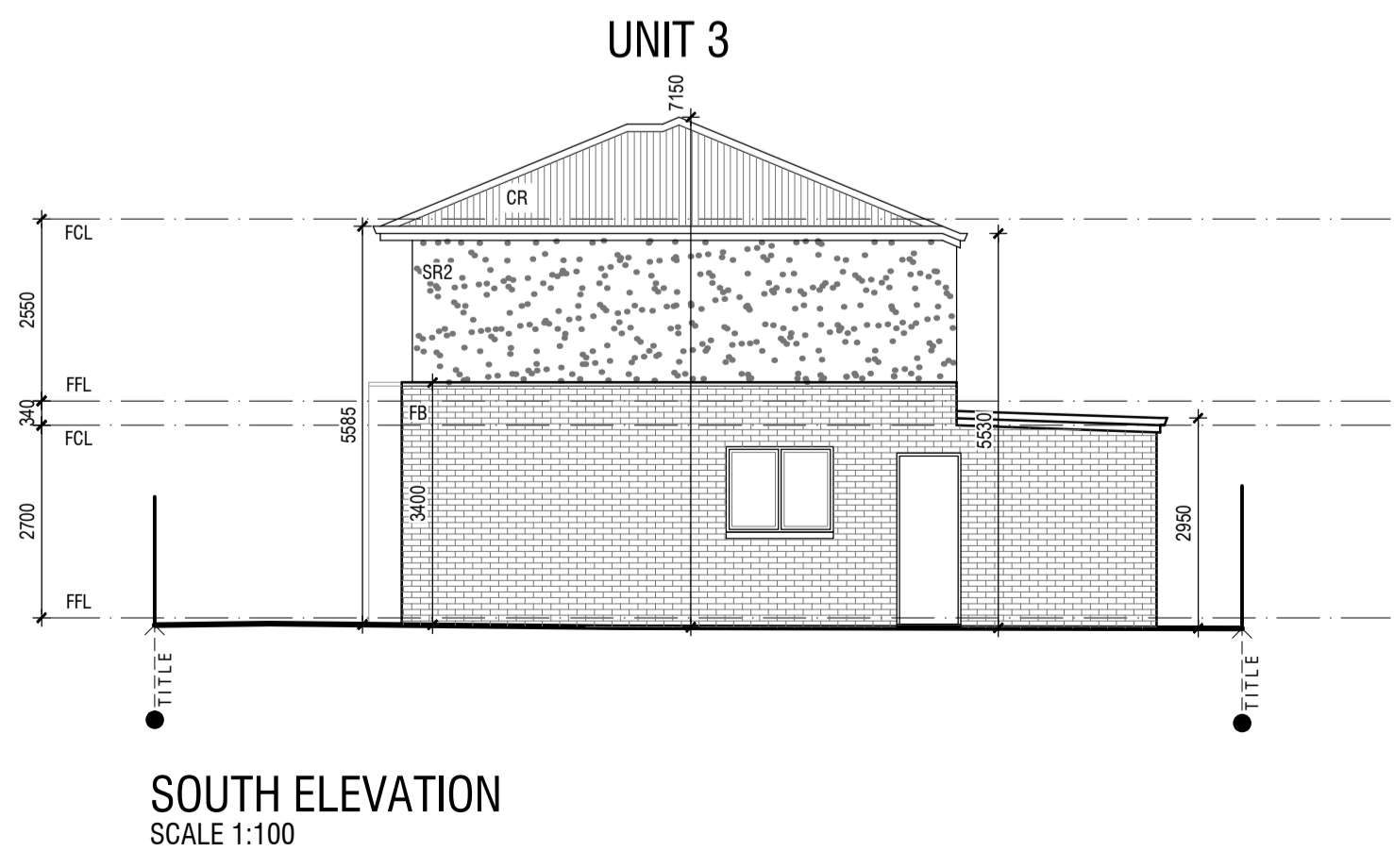
UNIT DEVELOPMENT
39 DUNEDIN STREET,
MARDSTONE

TP01
REV_B

BEARING ARE ON MGA94_ZONE 55 DATUM
LEVELS ARE TO AHD VIDE CONNECTION TO CUT-PAW-PAW PM 225



DUNEDIN STREET



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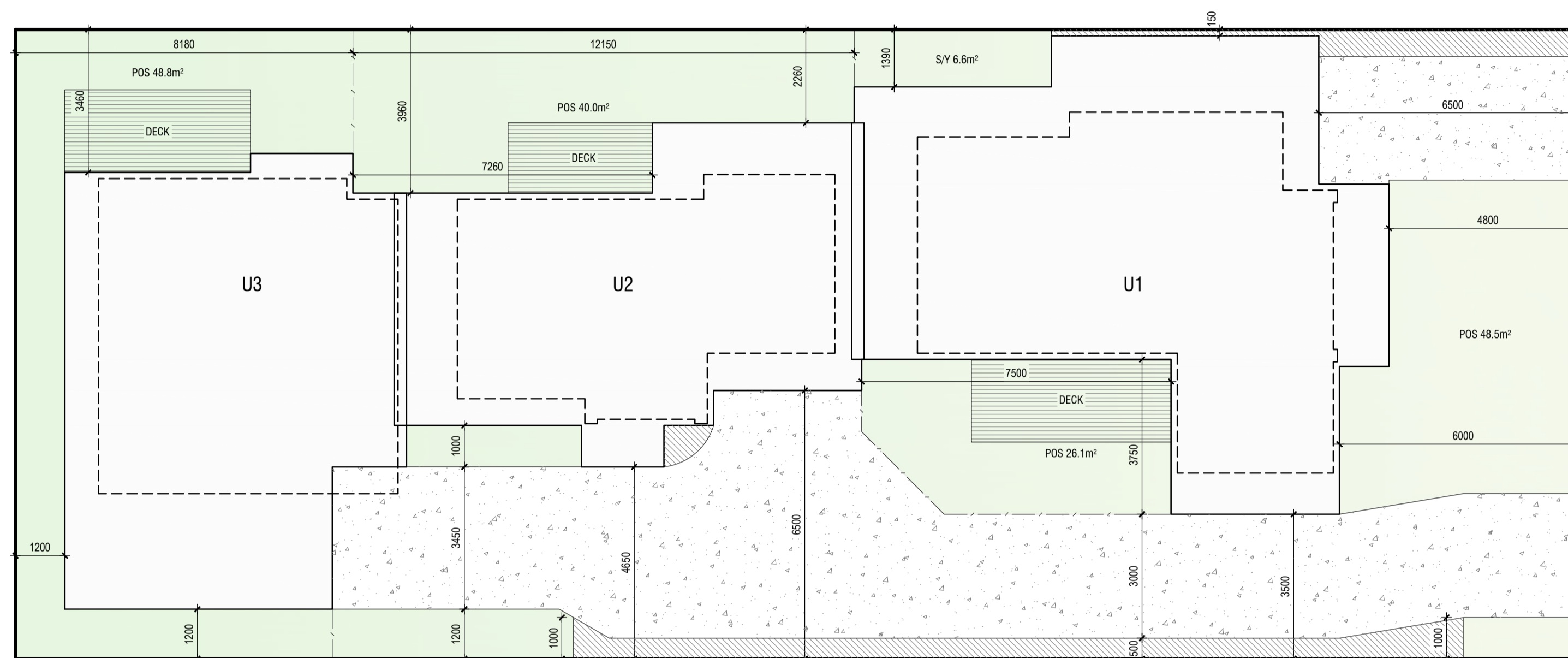
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FIRST FLOOR PLAN

UNIT DEVELOPMENT
39 DUNEDIN STREET,
MANDSTONE

TP02
REV_B



SITE
 SITE AREA: 580.5 m²
 SITE COVERAGE: 44.1% 255.9 m²
 SITE PERMEABILITY: 33.5% 194.2 m²
 GARDEN AREA REQ: 30.3% 175.7 m²
 GARDEN AREA NOT INCLUDED


 NORTH
 ALL LEVELS SHOWN ARE TO AHD.

Revisions

Rev. A	TOWN PLANNING SUBMISSION
Rev. B	RPI SUBMISSION

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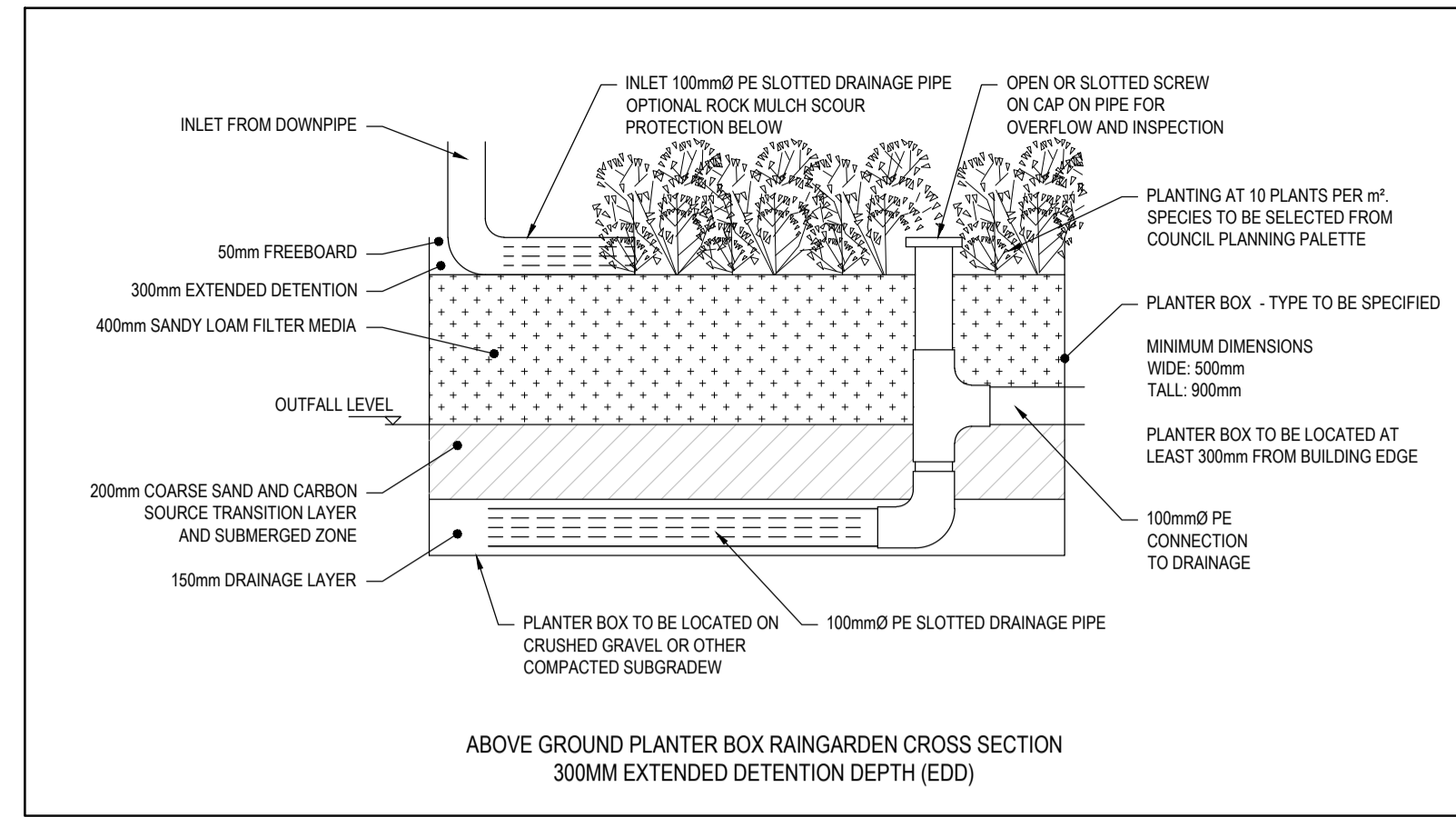
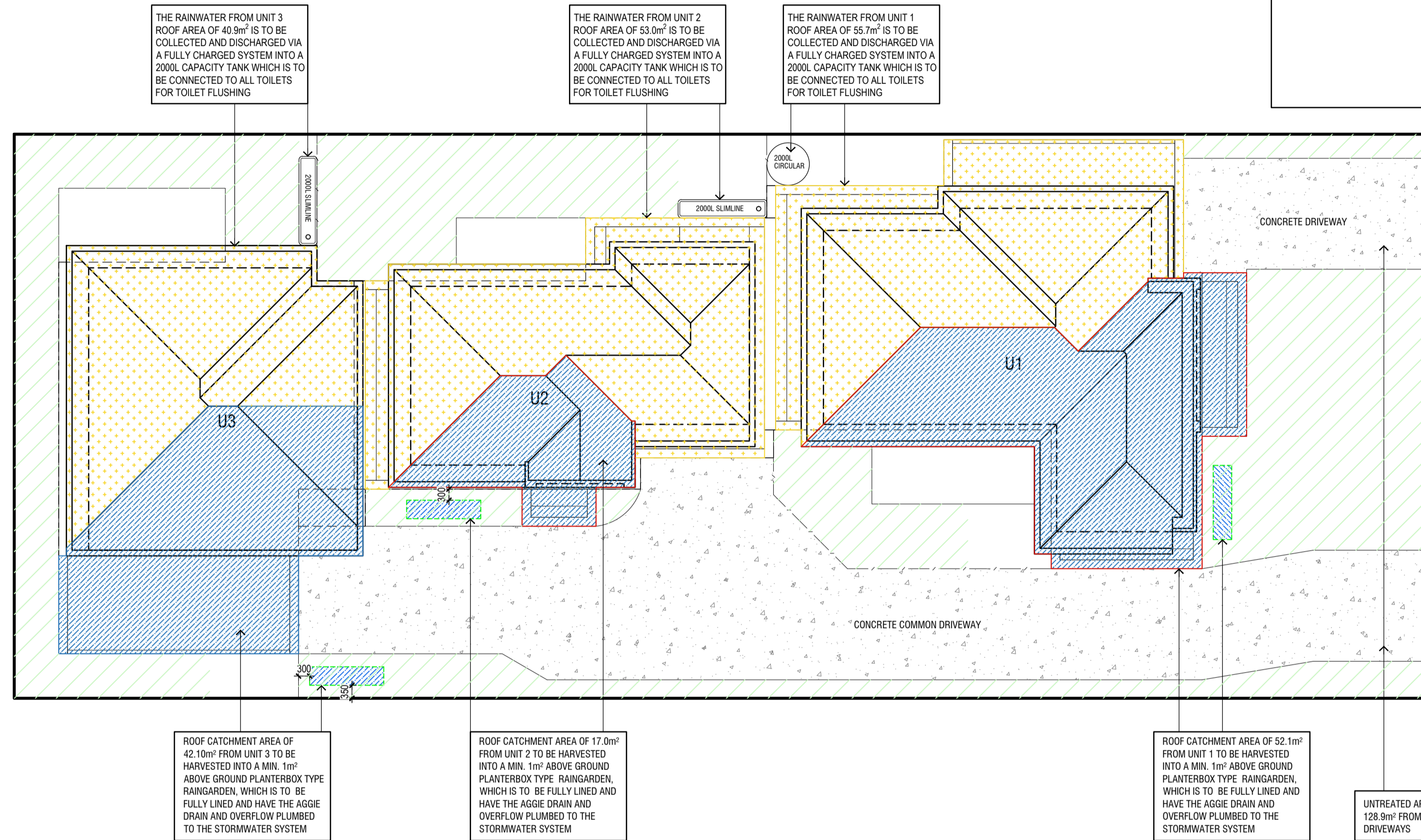
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GARDEN AREA PLAN

UNIT DEVELOPMENT
 39 DUNEDIN STREET,
 MANDISTONE

TP03
 REV_B



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN.

RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET. RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF RAINGARDENS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

PROPOSED UNIT RAINWATER COLLECTION

EACH RWIT IS TO BE CONNECTED TO ALL TOILETS IN THAT DWELLING FOR TOILET FLUSHING IN ACCORDANCE WITH ENDORSED STORM REPORT

UNIT 1: 55.7m² ROOF TO 2000L RAIN WATER TANK
UNIT 2: 53.0m² ROOF TO 2000L RAIN WATER TANK
UNIT 3: 40.9m² ROOF TO 2000L RAIN WATER TANK

SDA NOTES:
REFER TO THE ENDORSED BESS REPORT

- ALL HABITABLE ROOMS HAVE BEEN DESIGNED TO ACHIEVE NATURAL CROSS FLOW VENTILATION
- AT LEAST 50% OF LIVING AREA HAVE BEEN ORIENTED TO THE NORTH
- ALL DWELLINGS TO ACHIEVE NATHERS STAR RATINGS IN EXCESS OF 6 STAR AS NOMINATED IN THE REPORT
- ALL WASHING MACHINES TO DWELLINGS TO BE CONNECTED TO RAINWATER TANK
- ALL EXTERNAL LIGHTING TO BE CONTROLLED BY A MOTION DETECTOR
- WATER EFFICIENT LANDSCAPING TO BE INSTALLED
- DOUBLE GLAZED WINDOWS NOMINATED TO ALL LIVING AREAS AND BEDROOMS (D/G DENOTES WINDOWS TO BE DOUBLE GLAZED)
- 25.2% OF THE SITE USED FOR VEGETATION AND LANDSCAPING

PROPOSED DEVELOPMENT OF THREE UNITS IS TO HAVE ANOTHER SOURCE OF CONNECTION OTHER THAN A RETICULATED GAS SERVICE.

Melbourne Water **STORM Rating Report**

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 39 DUNEDINE STREET

MAIDSTONE
VIC 3012
Assessor: ERIC M
Development Type: Residential - Multiunit
Allotment Site (m2): 580.50
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
U1 ROOF-TANK	55.70	Rainwater Tank	2,000.00	3	170.00	82.00
U1 ROOF-UNTREATED	52.10	Raingarden 100mm	1.00	0	127.40	0.00
U2 ROOF-TANK	53.00	Rainwater Tank	2,000.00	2	154.00	87.60
U2 ROOF-UNTREATED	17.00	Raingarden 100mm	1.00	0	133.25	0.00
U3 ROOF-TANK	40.90	Rainwater Tank	2,000.00	3	170.00	82.00
U3 ROOF-UNTREATED	42.10	Raingarden 100mm	1.00	0	129.80	0.00
CONCRETE DRIVEWAYS-UNTREATED	128.90	None	0.00	0	0.00	0.00

LEGEND

- CONCRETE SURFACE (UNTREATED)
- UNTREATED ROOF AREA
- ROOF AREA TO RAINGARDEN
- PLANTERBOX RAINGARDEN AREA
- ROOF AREA TO RAINWATER TANK
- 2000L WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
- VEGETATED AREA

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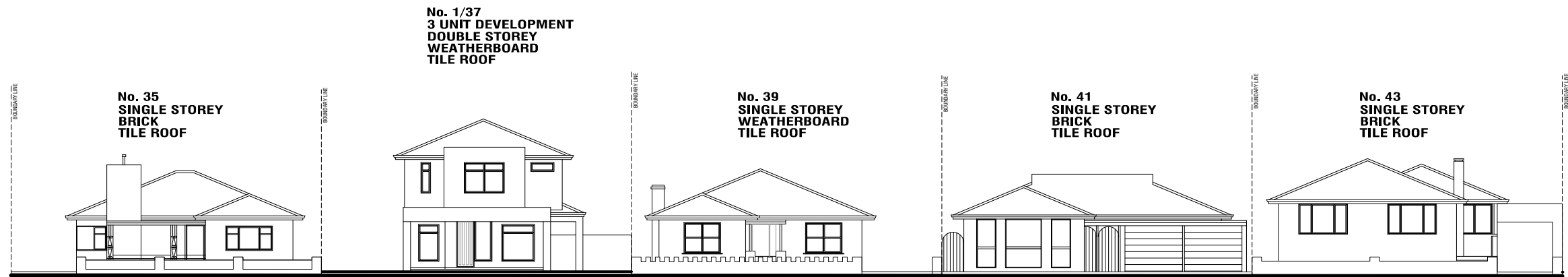
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WSUD PLAN

UNIT DEVELOPMENT
39 DUNEDINE STREET,
MAIDSTONE

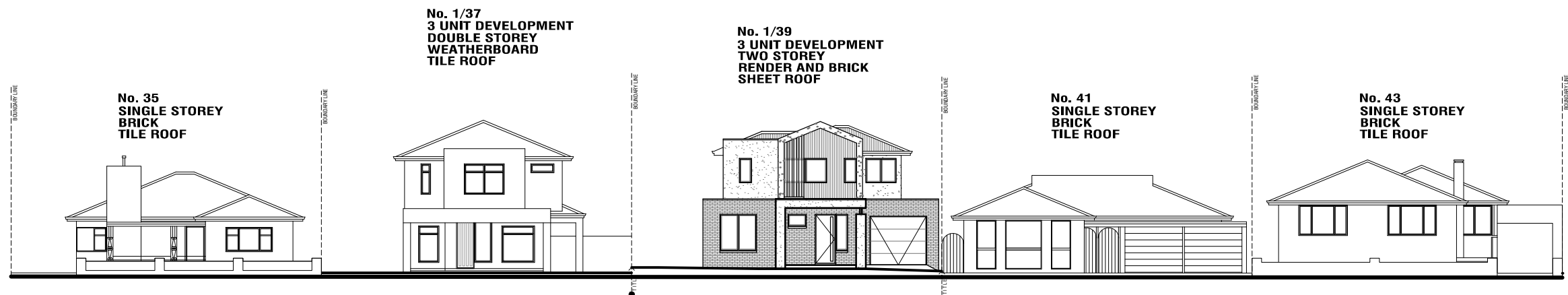
WSUD
REV_B

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



NORTH ELEVATION (DUNEDINE STREET)

EXISTING ELEVATIONS



NORTH ELEVATION (DUNEDINE STREET)

PROPOSED ELEVATIONS

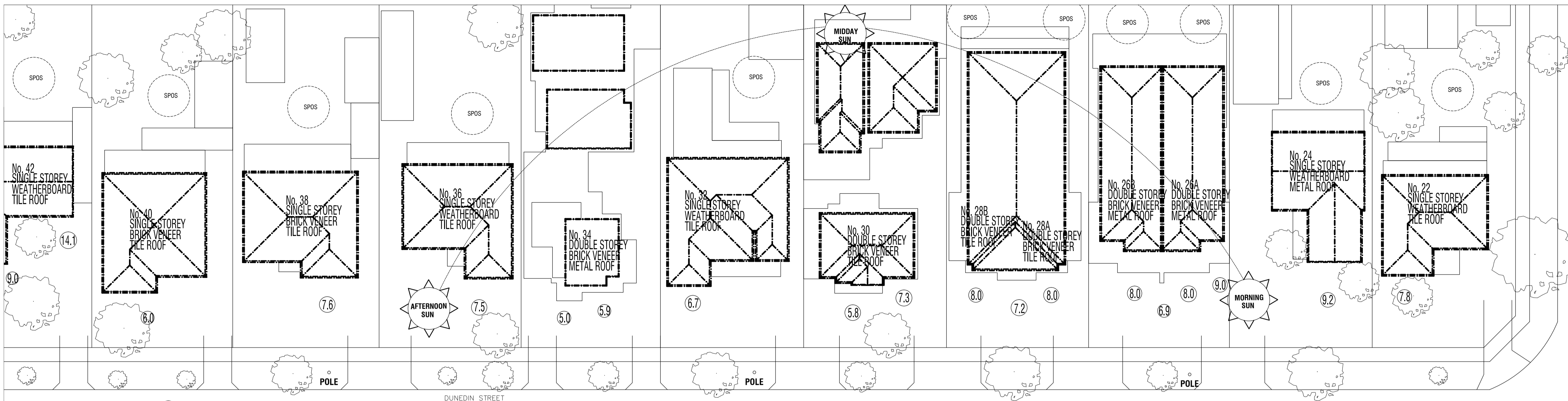
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UNIT DEVELOPMENT 39 DUNEDIN STREET, MAIDSTONE			
			SE REV-

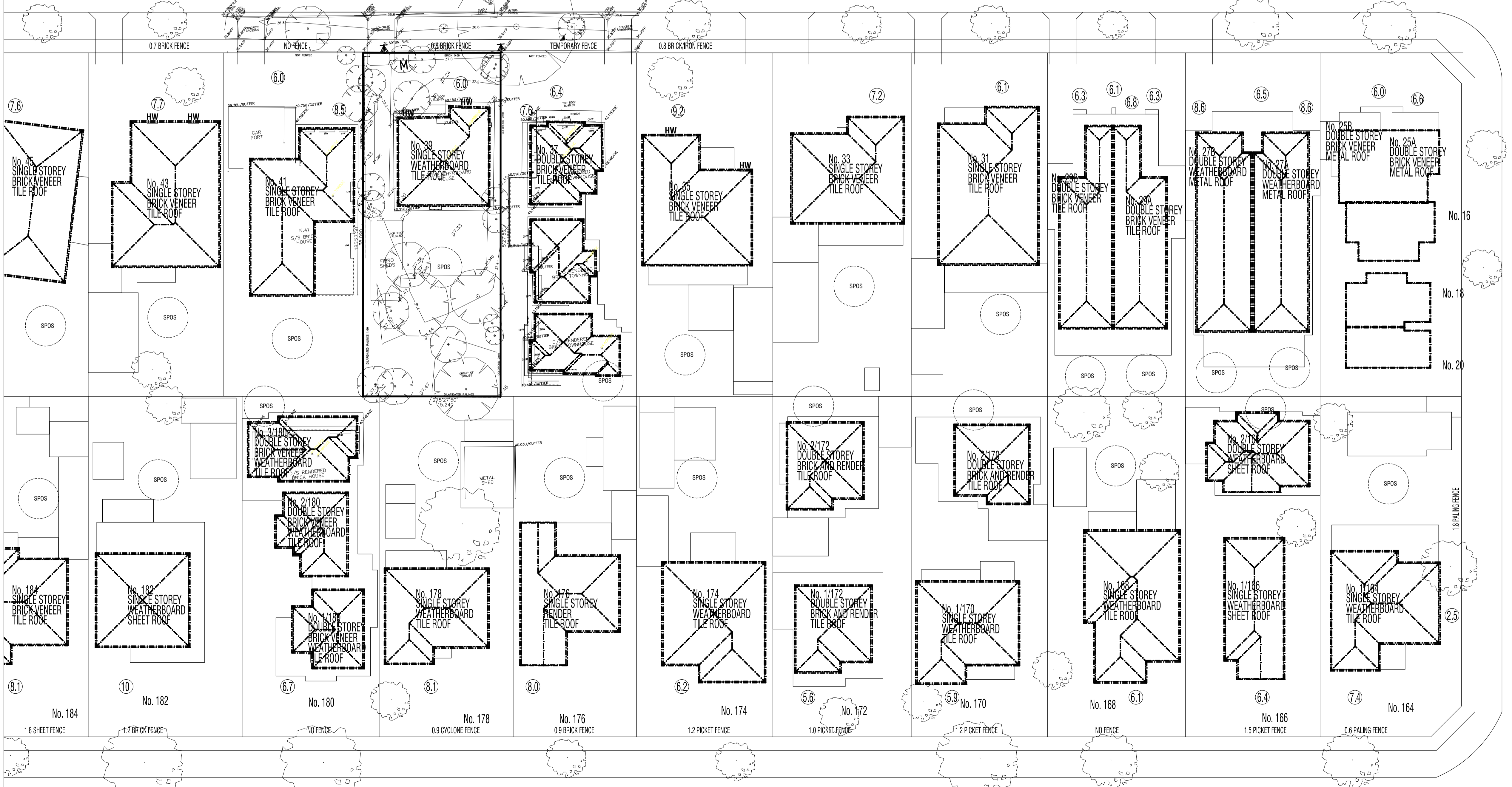


KEY

- P.O.S PRIVATE OPEN SPACE
- S.P.O.S SECLUDED PRIVATE OPEN SPACE
- HW HABITABLE WINDOWS
- CANOPY TREES
- 8.2 BUILDING SETBACKS TO BOUNDARY FENCE LINE
- V1 PHOTO VIEW ANGLE
- POLE POWER POLE
- PIT PHONE PIT

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

DUNEDIN STREET



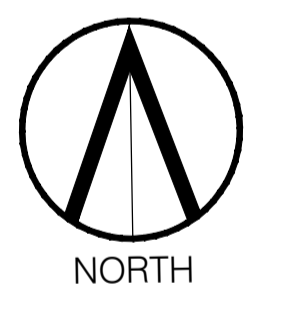
RENOWN STREET

MITCHELL STREET

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**NEIGHBOURHOOD AND SITE
DESCRIPTION PLAN**

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SPECIFICATIONS

SUBGRADE PREPARATION
SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER APPROPRIATE CONDITIONS. DISTURBANCE TO NATIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. ALL LAWN AND PLANTED AREAS SUB-GRADE TO IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM. DRAINAGE FALLS TO BE SHAPED PRIOR TO TOP SOILING. TEST SUB-GRADE TO BE DETERMINE PH, SALINITY AND GYPSUM REQUIREMENT PRIOR TO PREPARATION AND CONDITIONING. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED ACCORDING TO MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. TOPPING AREAS TO BE GRADED / DRAINED TO AVOID WATER DISCHARGE INTO ADJOINING PROPERTIES.

WEED CONTROL
ENVIRONMENTAL WEEDS TO BE REMOVED AND DISPOSED OFF OF SITE PRIOR TO SUB GRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

SOIL PREPARATION
SPREAD TOPSOIL IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY CAREFULLY WALKING UNTIL IT IS SETTLED AT FINISHED KERB LEVELS OR TO WITHIN 75MM BELOW EDGING LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH AS 2223-1978, AND AS FOLLOWS:
• FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES
• FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH
• PH TO BE 6.0-7.0
• TEXTURE TO BE LIGHT TO MEDIUM FRIABLE LOAM
• FREE FROM SILT MATERIAL

IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM, LIGHTLY COMPACT TO MINIMUM DEPTH OF 100MM.
MULCH
MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM BY VOLUME. SPREAD MULCH AT A CONSOLIDATED DEPTH OF 75MM.

PLANTING PROCEDURE
FILL PLANTING HOLE WITH WATER AND ALLOW TO DRAIN COMPLETELY IF SOIL IS DRY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF Matted OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING. ENSURING TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO BRICKS, ROCKS OR FOREIGN MATERIAL. IF SUFFICIENT MATERIAL IS NOT AVAILABLE FROM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR SOIL TYPE MUST BE SOURCED AND USED TO SUPPORT THE TREE IN WINDY CONDITIONS BUT FLEXIBLE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE THE MATERIAL MUST NOT DAMAGE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER (3% MONTH FORMULATION) SUCH AS 'OSMOCOTE' IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATERLOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

PLANT ESTABLISHMENT PERIOD
THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 13 WEEK ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER. PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE, MULCHING, STAKING AND TYING, MAINTAINED 75MM MULCH DEPTH AROUND TREE BASES THROUGHOUT MAINTENANCE PERIOD, WATER AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS. MAINTAIN WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL WEEDING. FERTILISING - 3% MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES. REPLACEMENT OF DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD.

IRRIGATION
INSTALL IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS.
TIMBER EDGING
100 X 50 CCA TREATED PINE EDGE (TO AS 1604:2000) FIXED TO 450 X 50 X 50 HW STAKES WITH GALVANISED SCREW FIXINGS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS

DRAINAGE
LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS.

GENERAL
WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES. CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP. DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION.

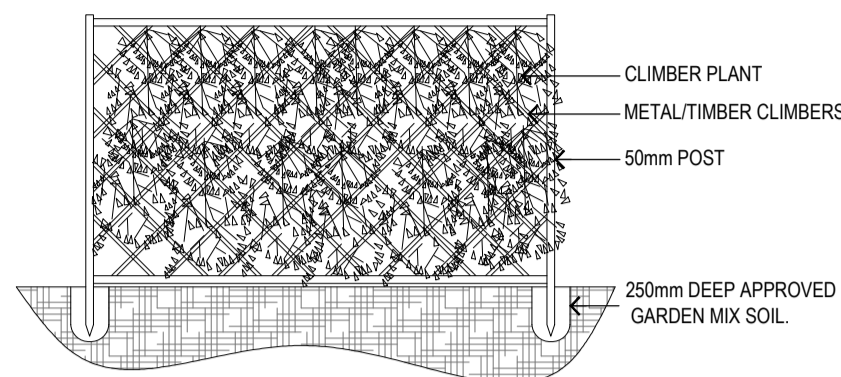
PLANTS - QUALITY OF TREES AND SHRUBS
PROVIDE PLANTS AT SPECIFIED PLANT HEIGHTS AND POT SIZES. AT MINIMUM, PROVIDE LARGER STOCK IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES. TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM PESTS, INSECTS, DISEASES AND WEEDS. SUBSTITUTE PLANS ARE NOT ACCEPTABLE UNLESS DEEMED ACCEPTABLE BY THE RESPONSIBLE AUTHORITY IN WRITING. SEMI-MATURE TREES TO BE SUPPLIED TO MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE. HAVE A MINIMUM TRUNK CALIPER OF 50MM AT GROUND LEVEL. BE UN-DAMAGED AND FREE OF DISEASES AND INSECT PESTS. NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF - THE CONTAINER. SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY. SHOW HEALTHY, VIGOROUS GROWTH.

PROTECTION OF EXISTING TREES
ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ON BOTH SUBJECT SITE AND NEIGHBOURING PROPERTIES TO BE RETAINED MUST BE CLEARLY MARKED AND PROTECTED (IF REQUIRED) PRIOR TO COMMENCEMENT OF DEVELOPMENT ON SITE INCLUDING DEMOLITION. VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION, TREE PROTECTION BARRIERS MUST BE ERRECTED AROUND TREES ON BOTH SUBJECT SITE AND ADJOINING PROPERTIES TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE PROTECTION MEASURES AS PER AS 4970:2009. ANY REQUIRED PRUNING MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING TO BE CARRIED OUT AS PER AS 4373:2007. ALL TREE PROTECTION PRACTICES MUST MEET THE REQUIREMENTS OF A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

ADDITIONAL NOTE:
NO BUILDING WORKS OR FACILITIES ARE TO BE PROVIDED WITHIN THE DEDICATED LANDSCAPE AREAS.

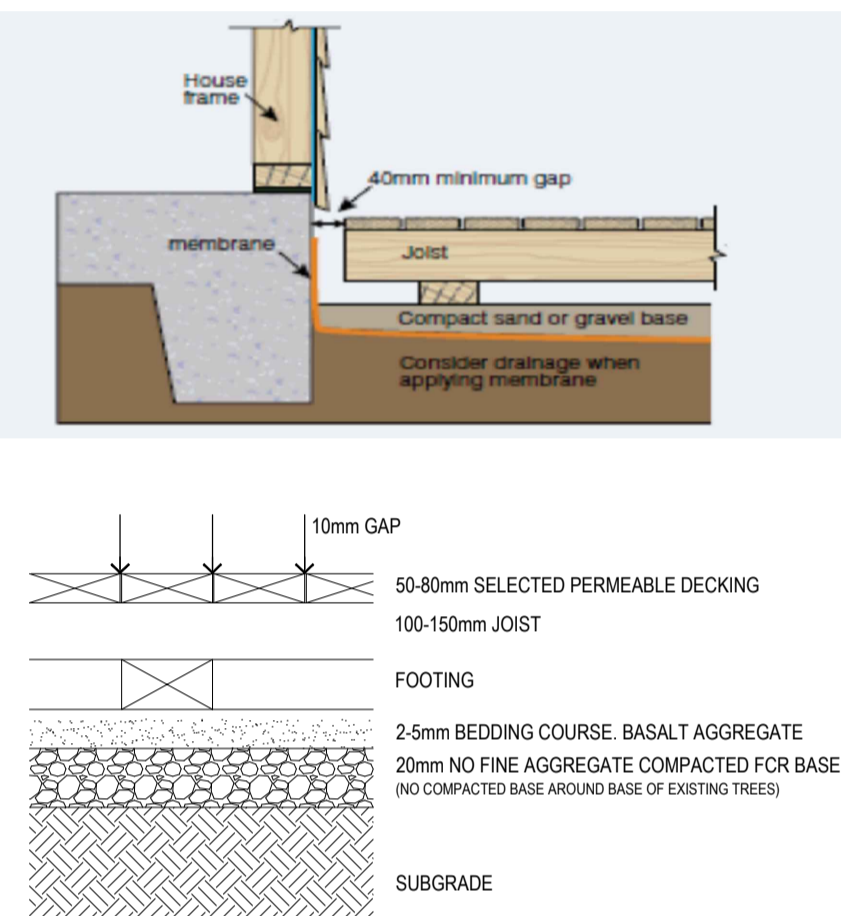
CLIMBER DETAIL

DETAIL NOT DRAWN TO SCALE



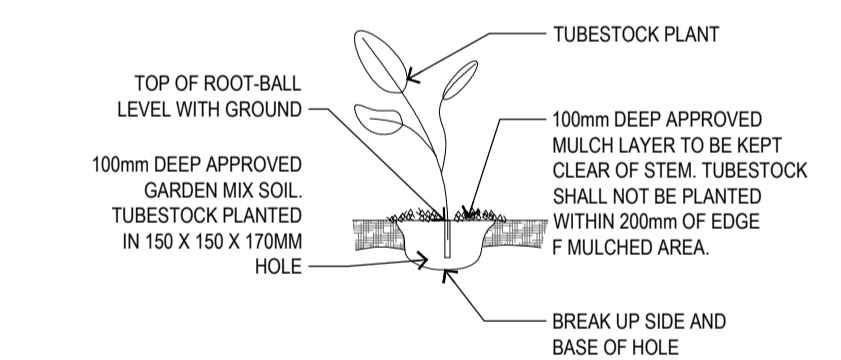
PERMEABLE TIMBER DECKING DETAILS

DETAIL NOT DRAWN TO SCALE



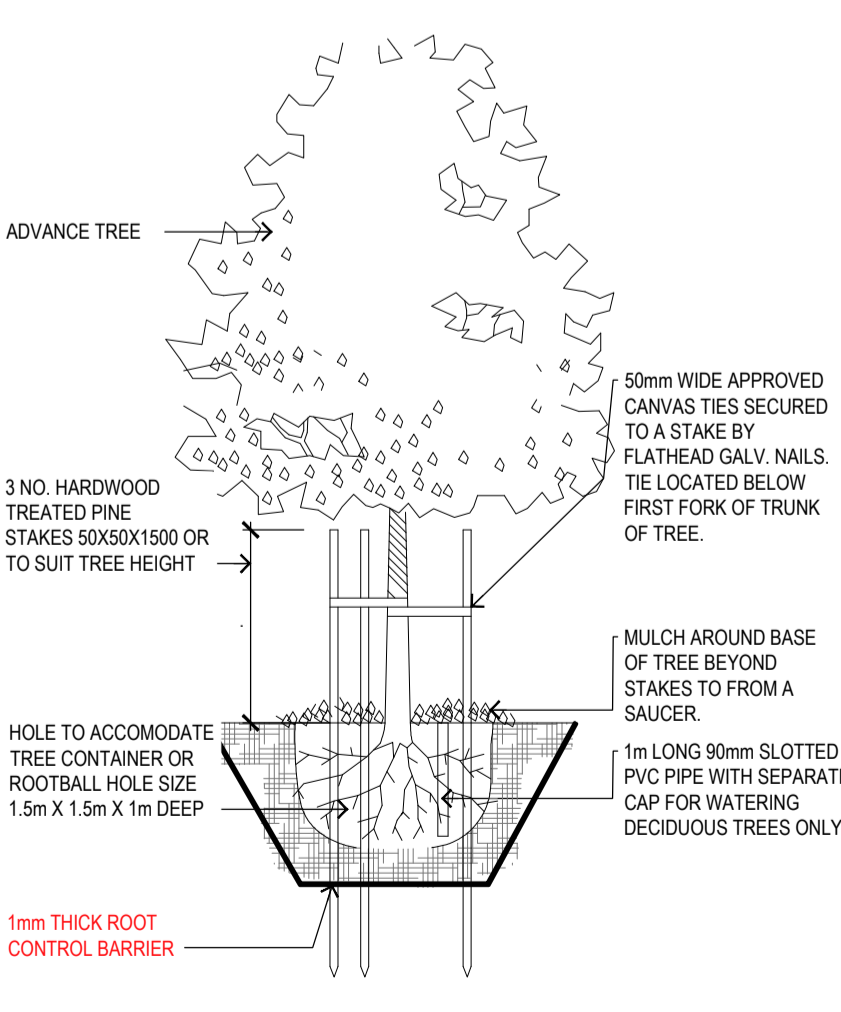
SHRUB PLANTING

DETAIL NOT DRAWN TO SCALE



ADVANCE TREE PLANTING

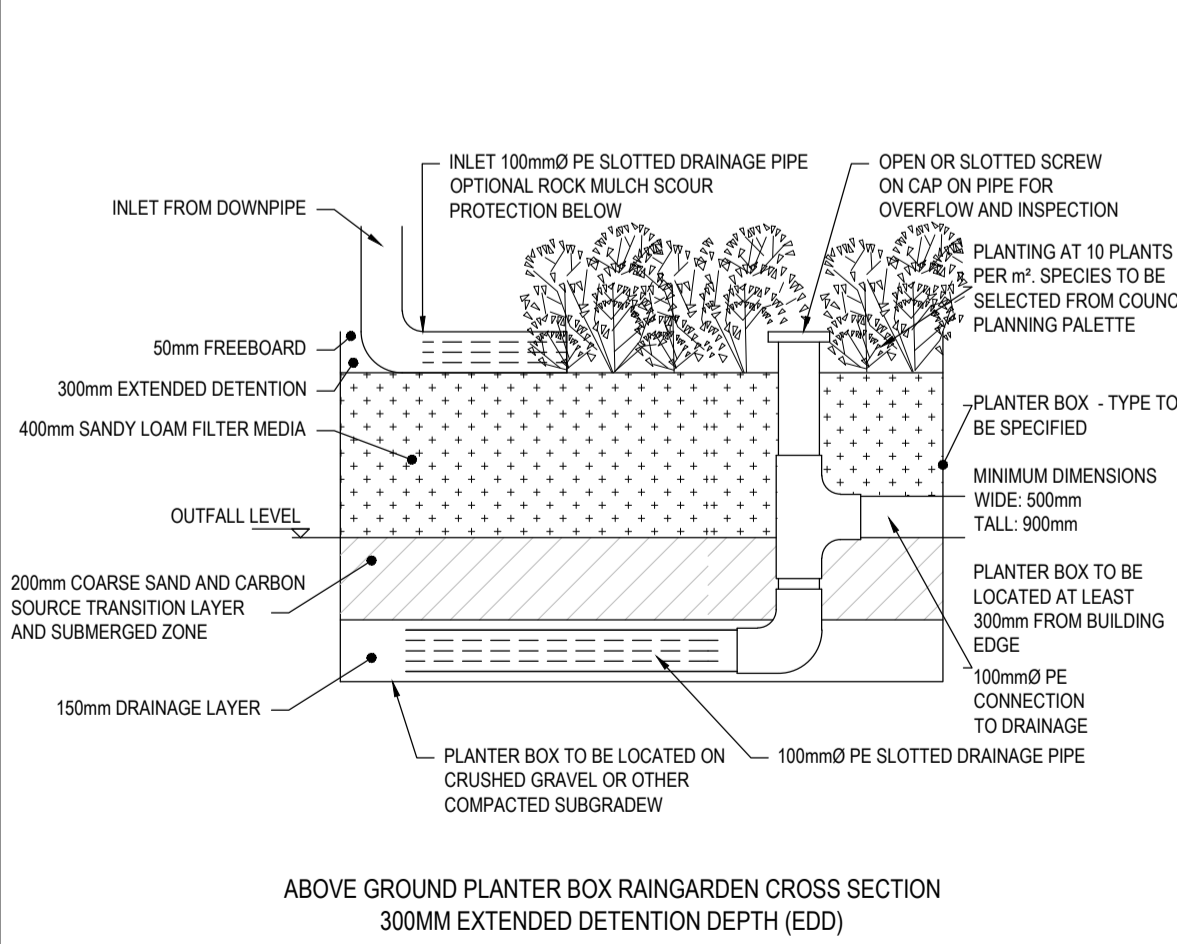
DETAIL NOT DRAWN TO SCALE



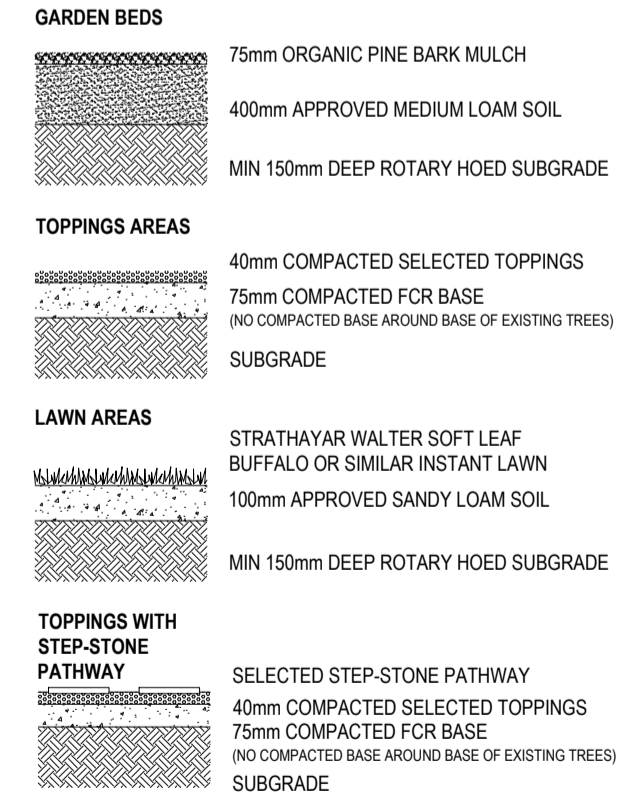
RAINGARDEN DETAIL

MIN. 1.0m² ABOVE GROUND PLANTER-BOX RAINGARDEN

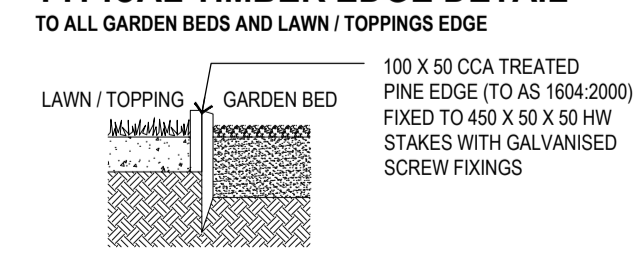
DETAIL NOT DRAWN TO SCALE



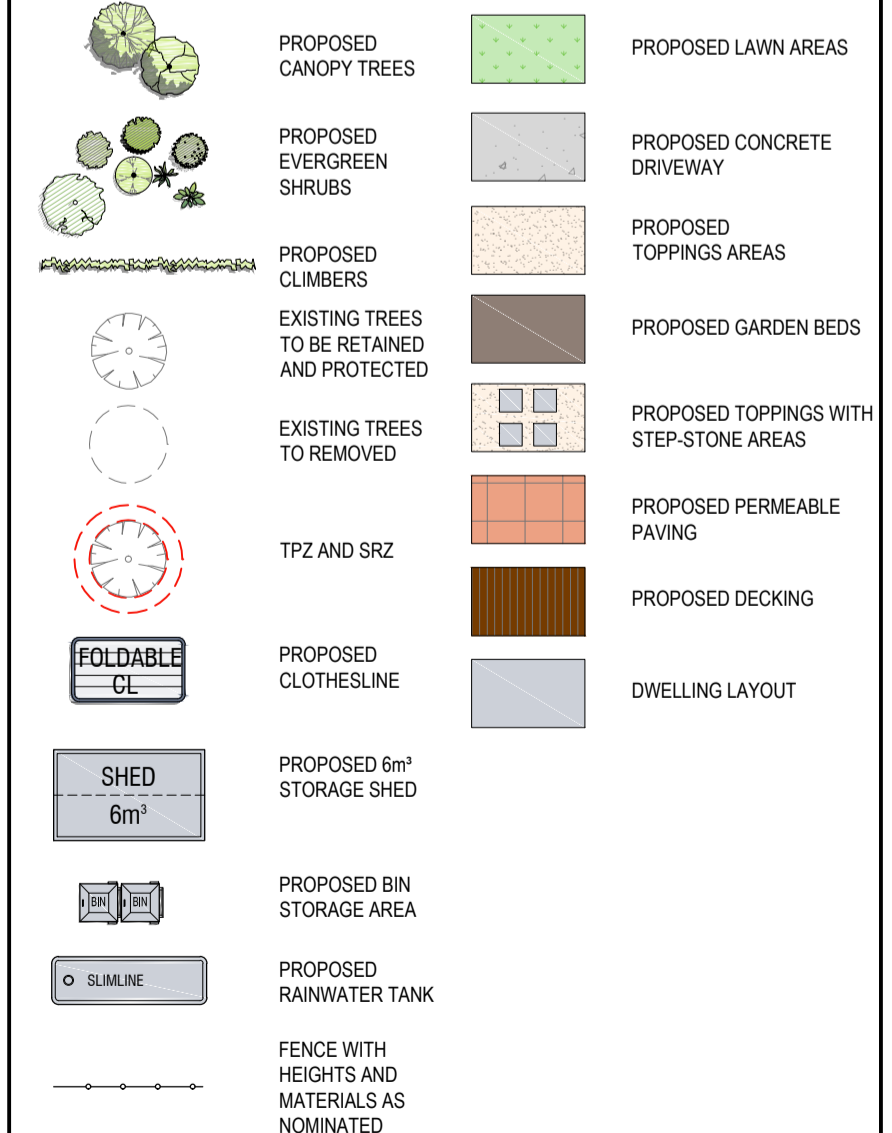
SURFACE FINISH DETAIL



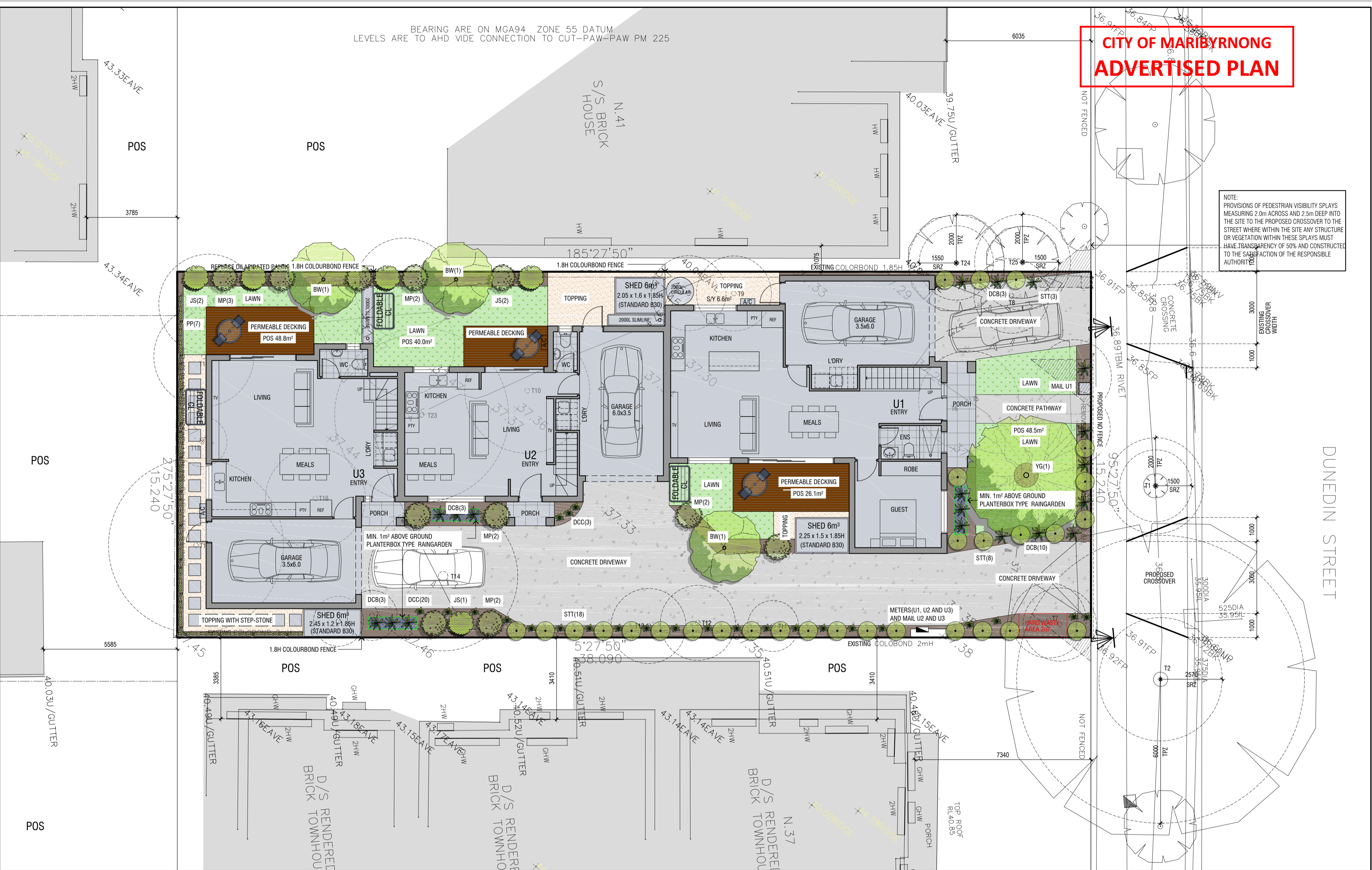
TYPICAL TIMBER EDGE DETAIL



LEGEND



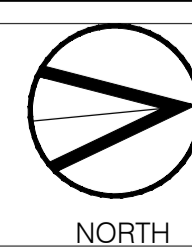
**CITY OF MARIBYRNONG
ADVERTISED PLAN**



NOTE: PROVISIONS OF PEDESTRIAN VISIBILITY SPLAYS MEASURING 2.0m ACROSS AND 2.5m DEEP INTO THE SITE TO THE PROPOSED CROSSOVER TO THE STREET WHERE WITHIN THE SITE ANY STRUCTURE OR VEGETATION WITHIN THESE SPLAYS MUST HAVE TRANSPARENCY OF 50% AND CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
YG	EUCALYPTUS LEUCOCYLLON CONNATA	YELLOW GUM	1	40tr / MIN 2m HIGH	12m X 5m
BW	AGONIS FLEXUOSA 'BURGUNDY'	BURGUNDY WILLOW MYRTLE	3	40tr / MIN 1.8m HIGH	5m X 3m
SHRUBS					
JS	JUNIPERS CHINESE 'SPARTAN'	SPARTAN JUNIPER	5	20cm POT	3m X 1m
MP	MURRAYA PANICULATA	ORANGE JESSAMINE	8	20cm POT	1m X 1m
STT	SYZYGIM 'TINY TREV'	TINY TREV LILLY PILLY	29	14cm POT	.75m X .75m
TUSSOKS/ GRASSES/ EVERGREEN PERENNIALS					
DCB	DIANELLA CAERULA 'BREEZE'	BREEZE FLAX LILLY	13	14cm POT	0.7m X 0.65m
DCC	DIANELLA CAERULA 'CASSA BLUE'	CASSA BLUE FLAX LILLY	23	14cm POT	.4m X .4m
CLIMBERS					
PP	PANDOREA PANDORANA	WONGA WONGA VINE	7	15cm POT	TWINGING CLIMBER



Revisions

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DATE: DEC 2024 SCALE: 1:100 @ A1 DRAWN BY: DM PROJECT NO: 8062
LANDSCAPE PLAN

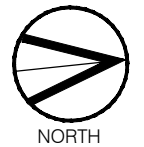
UNIT DEVELOPMENT
39 DUNEDIN ST, MAIDSTONE

LP REV.

CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



SHADOW DIAGRAM 9AM
22nd OF SEPTEMBER

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DATE	SCALE	DRAWN BY	PROJECT No.
SEP 2024	1:250@A3	C.M	8062

PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD01
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 5.1m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 5.1m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 43.2m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 5.1m² 8.7%

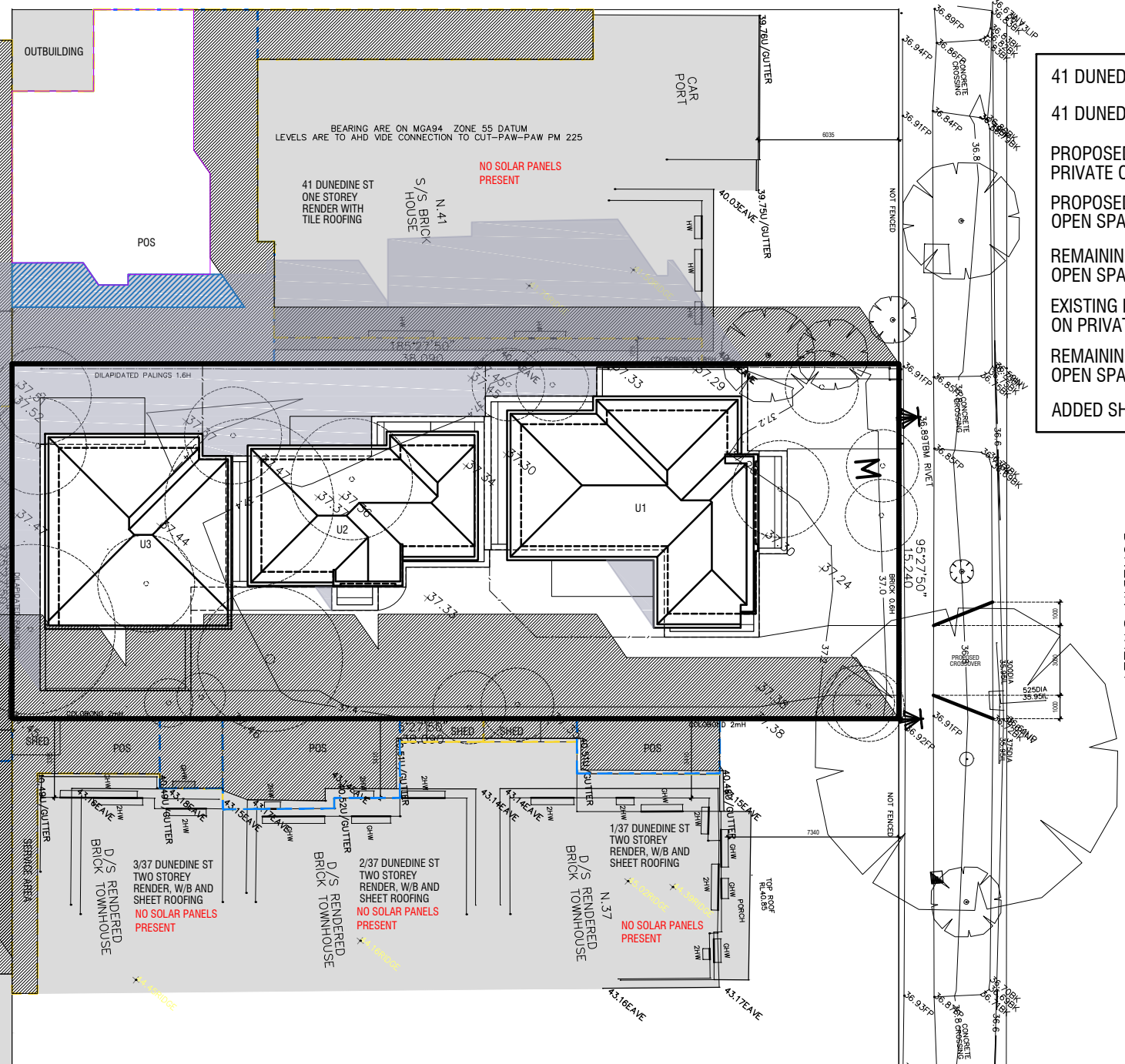
41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 14.3m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 14.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 78.8m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 99.8m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 91.8m²
ADDED SHADOW TO SPOS = 14.3m² 9.4%

178 MITCHELL ST ONE STOREY WEATHERBOARD WITH TILE ROOFING
NO SOLAR PANELS PRESENT

METAL SHED
NO SOLAR PANELS PRESENT

176 MITCHELL ST ONE STOREY RENDER WITH TILE ROOFING
NO SOLAR PANELS PRESENT

PROPOSED SHADOW DOES NOT PASS EXISTING FENCE SHADOW AT THIS TIME



178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 6.5m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 6.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 57.6m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 83.6m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 64.1m²
ADDED SHADOW TO SPOS = 10.0m² 3.9%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 33.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

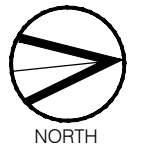
2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 31.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 18.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



NORTH
SHADOW DIAGRAM 10AM
22nd OF SEPTEMBER

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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD02
REV-B

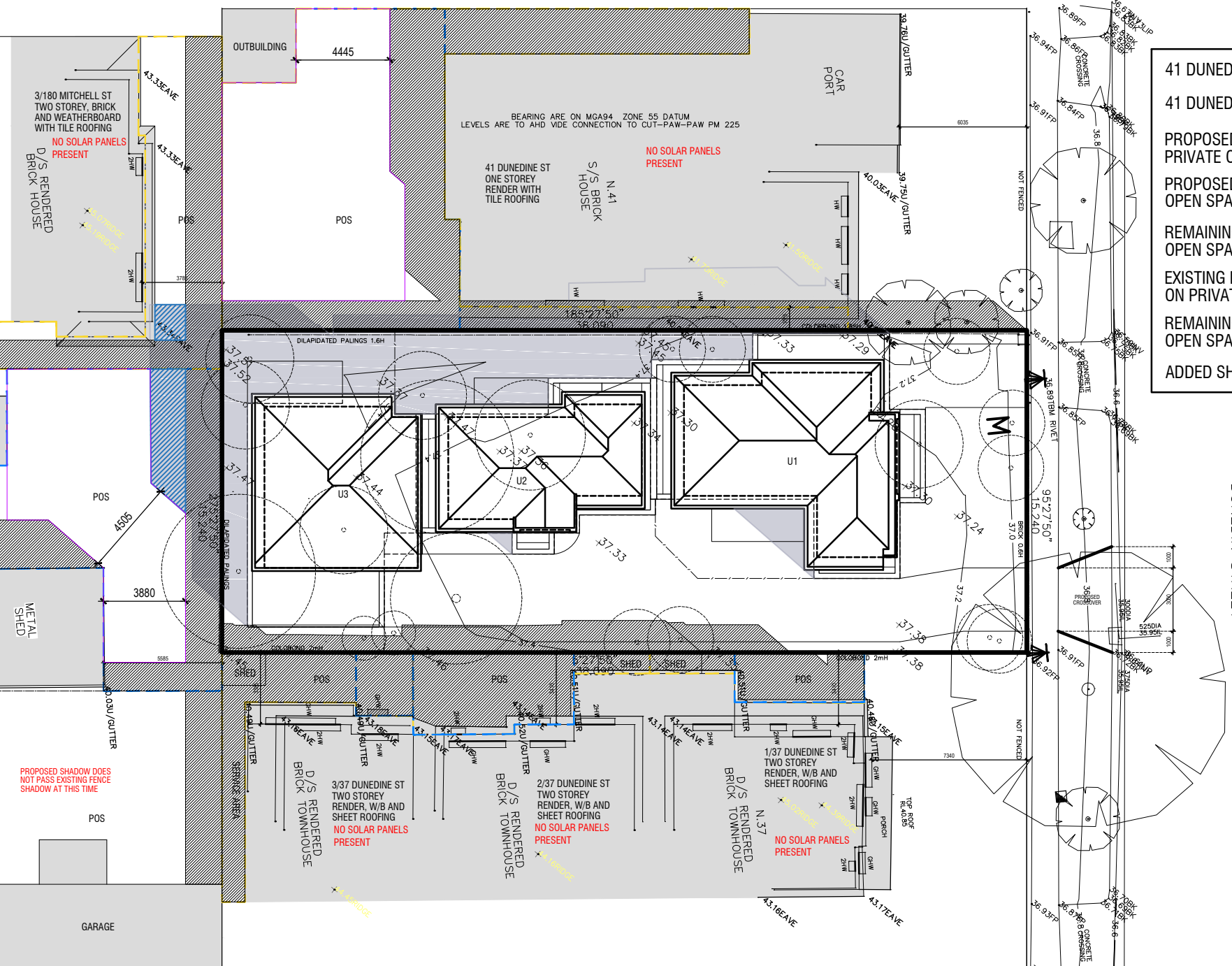
3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 2.4m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 2.4m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 39.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 2.4m² 4.9%

41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 101.6m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 90.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 101.6m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST ONE STOREY WEATHERBOARD WITH TILE ROOFING
NO SOLAR PANELS PRESENT

176 MITCHELL ST ONE STOREY RENDER WITH TILE ROOFING
NO SOLAR PANELS PRESENT

PROPOSED SHADOW DOES NOT PASS EXISTING FENCE SHADOW AT THIS TIME



178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 10.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 10.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 79.3m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 57.2m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 109.3m²
ADDED SHADOW TO SPOS = 10.0m² 6.0%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 33.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 31.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 17.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



NORTH
SHADOW DIAGRAM 11AM
22nd OF SEPTEMBER

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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD03
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 31.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.00m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

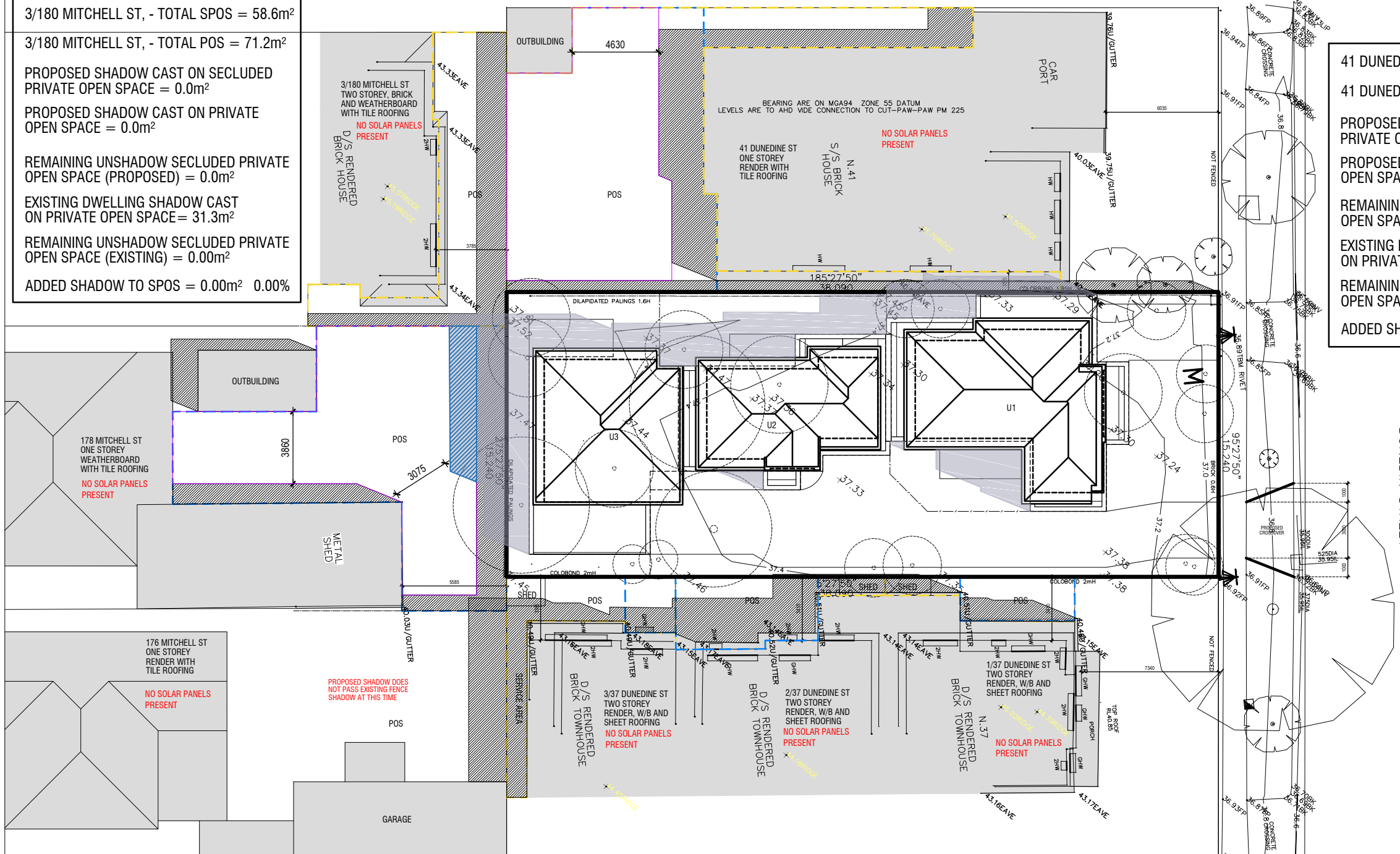
41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 110.3m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 75.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 110.3m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 11.5m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 11.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 115.4m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 39.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 127.0m²
ADDED SHADOW TO SPOS = 11.5m² 6.9%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 19.9m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 19.9m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

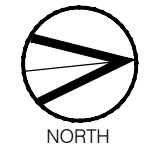
1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 8.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%



CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



SHADOW DIAGRAM 12PM
22nd OF SEPTEMBER

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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD04
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 29.7m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.00m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

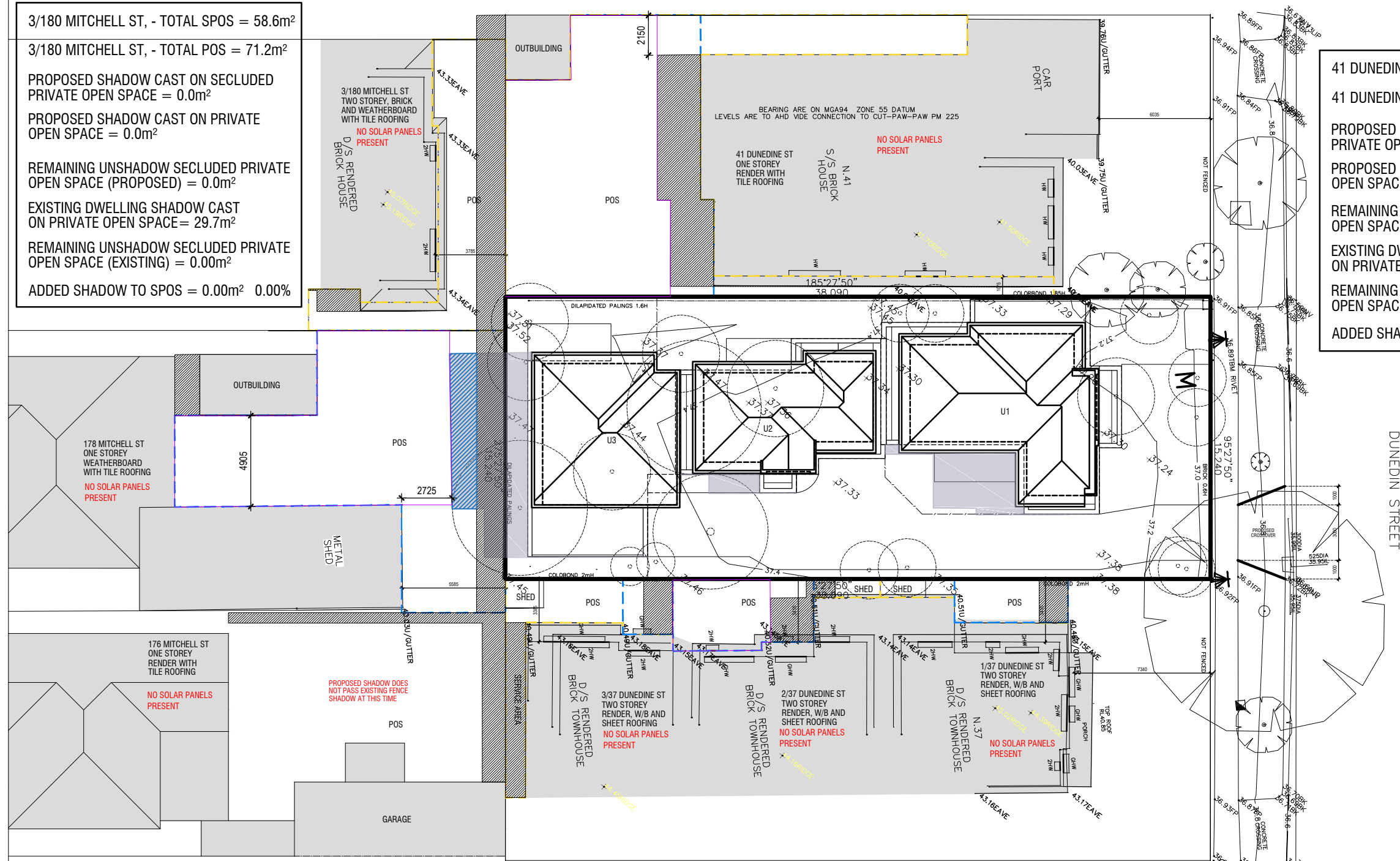
41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 115.9m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 30.6m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 115.9m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 11.6m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 11.6m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 105.6m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 24.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 142.5m²
ADDED SHADOW TO SPOS = 11.6m² 6.9%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 15.1m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 7.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 19.9m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

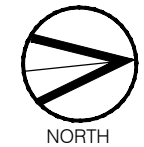
1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 15.2m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%



CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



SHADOW DIAGRAM 1PM
22nd OF SEPTEMBER

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Revisions	
Rev B	RFI SUBMISSION

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SEP 2024	1:250@A3	C.M	8062

PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD05
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 35.6m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.00m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

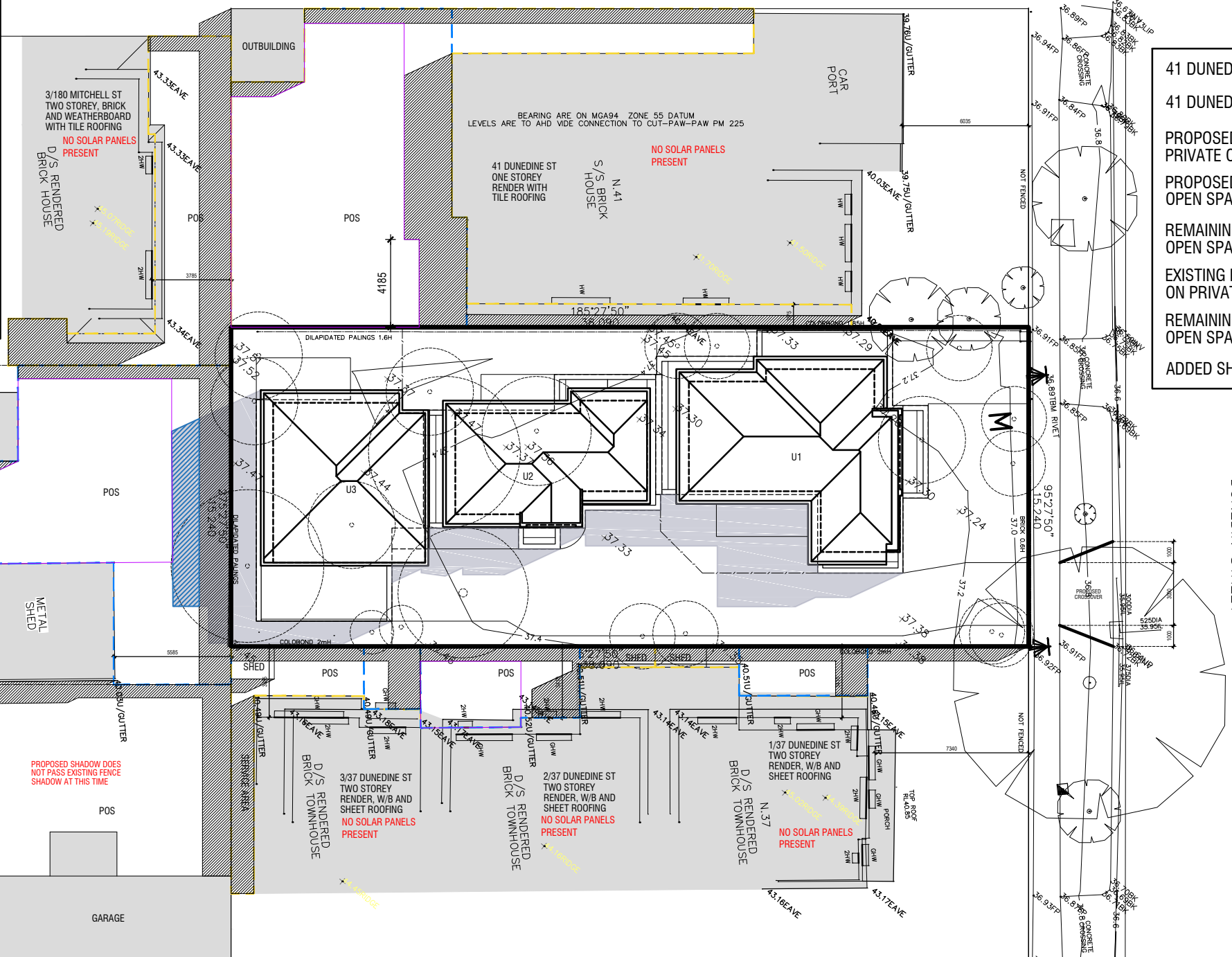
41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 111.1m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 56.9m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 111.1m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 11.1m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 11.1m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 98.1m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 37.2m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 129.3m²
ADDED SHADOW TO SPOS = 11.1m² 6.6%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 20.7m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 12.6m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 15.1m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

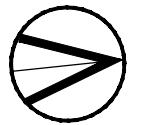
1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 9.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%



CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



NORTH
SHADOW DIAGRAM 2PM
22nd OF SEPTEMBER

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Rev B	RFI SUBMISSION

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DESIGN

DATE	SCALE	DRAWN BY	PROJECT No.
SEP 2024	1:250@A3	C.M	8062

PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD06
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 36.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.00m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

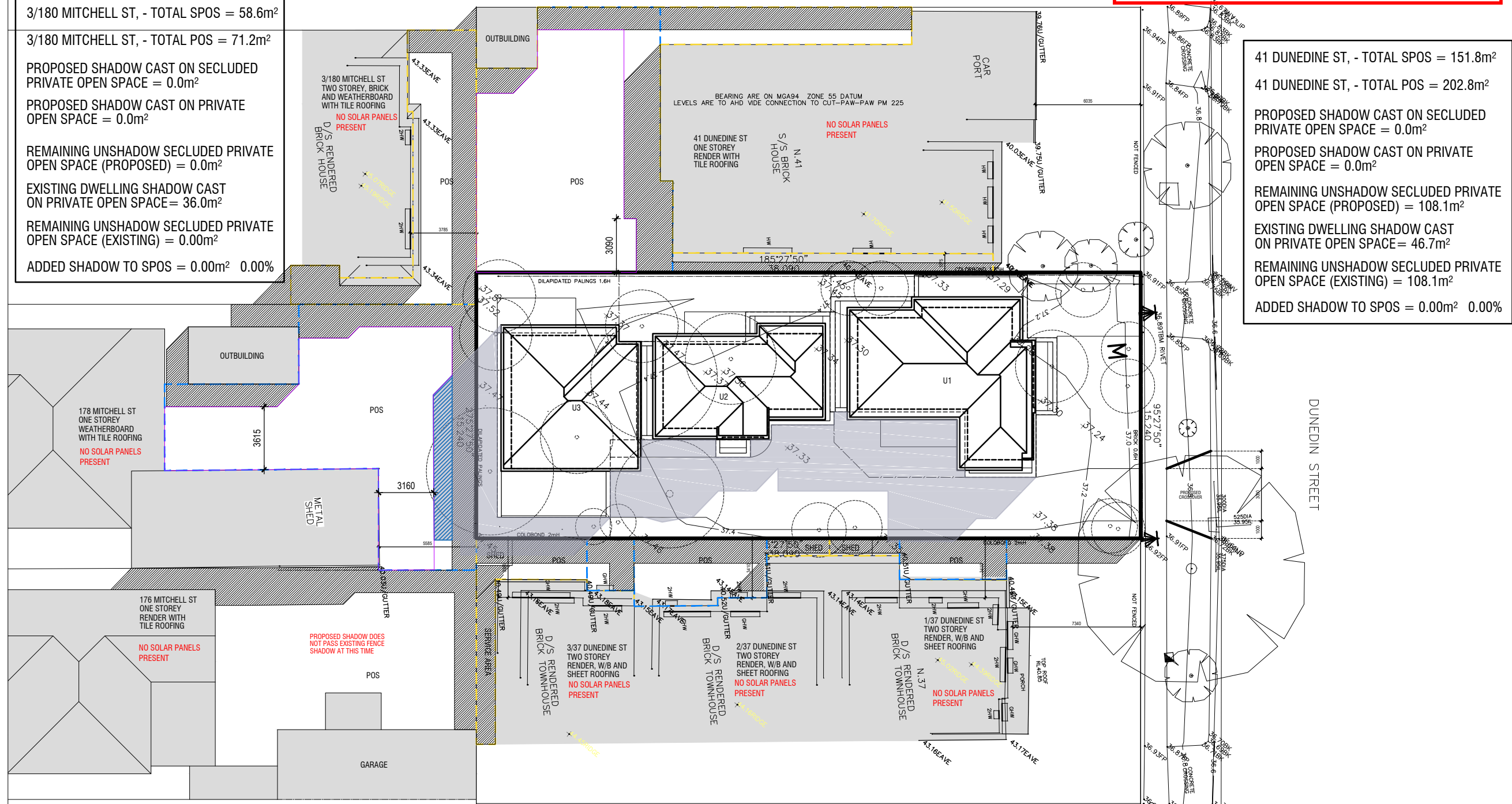
41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 108.1m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 46.7m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 108.1m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 9.3m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 9.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 111.5m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 43.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 123.0m²
ADDED SHADOW TO SPOS = 9.3m² 5.5%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 26.8m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 17.2m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

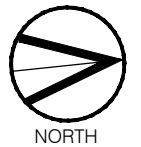
1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 14.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%



CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS
- SPOS AREA
- POS AREA
- ADDED SHADOW CAST IN POS/SPOS (PROPOSED)
- REMAINING SPOS (PROPOSED)



NORTH
SHADOW DIAGRAM 3PM
22nd OF SEPTEMBER

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E: admin@planninganddesign.com.au

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Revisions

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SEP 2024	1:250@A3	C.M	8062

PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
39 DUNEDIN STREET, MAIDSTONE

SD07
REV-B

3/180 MITCHELL ST, - TOTAL SPOS = 58.6m²
3/180 MITCHELL ST, - TOTAL POS = 71.2m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 18.8m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.00m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

41 DUNEDINE ST, - TOTAL SPOS = 151.8m²
41 DUNEDINE ST, - TOTAL POS = 202.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 101.5m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 46.7m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 101.5m²
ADDED SHADOW TO SPOS = 0.00m² 0.00%

178 MITCHELL ST ONE STOREY WEATHERBOARD WITH TILE ROOFING
NO SOLAR PANELS PRESENT

176 MITCHELL ST ONE STOREY RENDER WITH TILE ROOFING
NO SOLAR PANELS PRESENT

PROPOSED SHADOW DOES NOT PASS EXISTING FENCE SHADOW AT THIS TIME

178 MITCHELL ST, - TOTAL SPOS = 166.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 8.4m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 8.4m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 80.6m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 54.7m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 111.8m²
ADDED SHADOW TO SPOS = 8.4m² 5.0%

3/37 DUNEDINE ST, - TOTAL SPOS = 8.0m² (LESS THAN 25.0m²)
1/37 DUNEDINE ST, - TOTAL POS = 33.3m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 32.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

2/37 DUNEDINE ST, - TOTAL SPOS = 28.2m²
2/37 DUNEDINE ST, - TOTAL POS = 31.8m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.00m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 19.5m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

1/37 DUNEDINE ST, - TOTAL SPOS = 14.3m²
3/37 DUNEDINE ST, - TOTAL POS = 18.5m²
PROPOSED SHADOW CAST ON SECLUDED PRIVATE OPEN SPACE = 0.0m²
PROPOSED SHADOW CAST ON PRIVATE OPEN SPACE = 0.0m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (PROPOSED) = 0.0m²
EXISTING DWELLING SHADOW CAST ON PRIVATE OPEN SPACE = 14.3m²
REMAINING UNSHADOW SECLUDED PRIVATE OPEN SPACE (EXISTING) = 0.0m²
ADDED SHADOW TO SPOS = 0.0m² 0.00%

