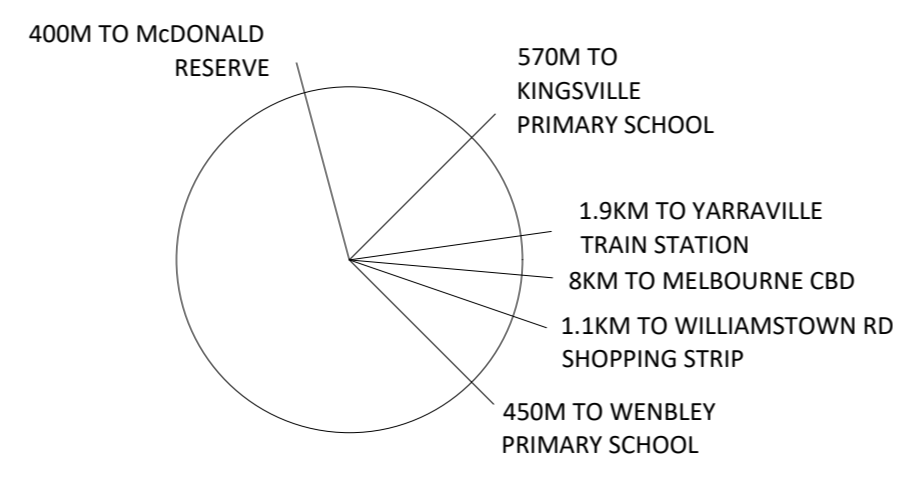


NEIGHBOURHOOD SITE DESCRIPTION
SCALE 1:500

DESIGN RESPONSE PLAN
SCALE 1:500

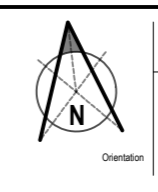
legend



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Code	Date	Description	By

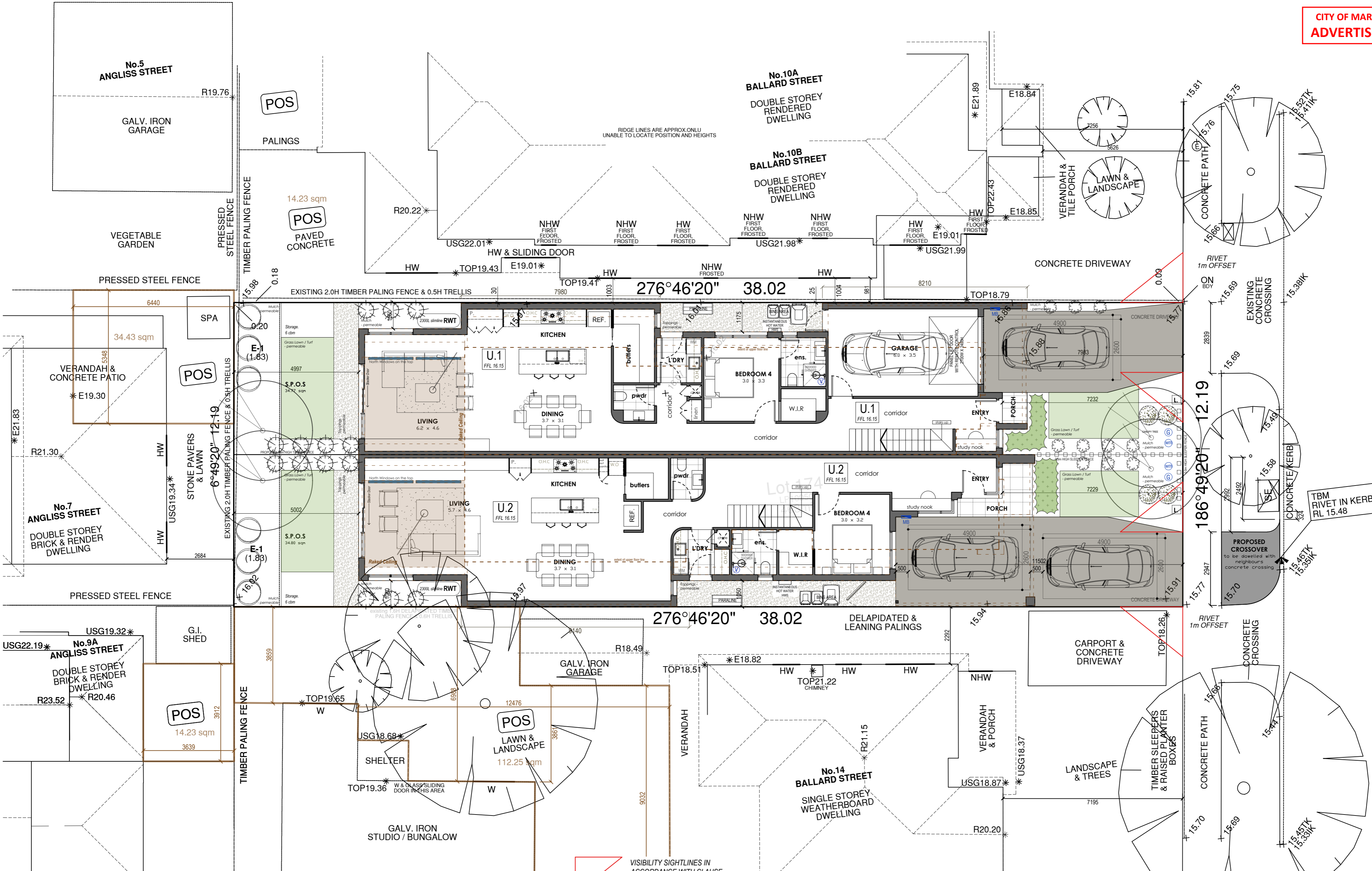


Sheet No **TP 01** REV no. **----**
NEIGHBOURHOOD SITE DESCRIPTION and DESIGN RESPONSE

Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

Scale **A2 - 1:500**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**





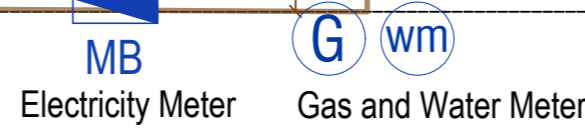
BALLARD STREET

DEVELOPMENT SUMMARY

PROPOSED UNIT 1	PROPOSED UNIT 2
TOTAL FLOOR AREA 229.50 sqm	TOTAL FLOOR AREA 214.43 sqm
PRIVATE OPEN SPACE 34.77 sqm	PRIVATE OPEN SPACE 34.80 sqm
OFF STREET CAR PARKING 2	OFF STREET CAR PARKING 2
SITE COVERAGE 31.10 %	SITE COVERAGE 28.35 %

TOTAL ALLOTMENT SIZE	463 sqm
GROUND AREA	275.31 sqm
OFF STREET CAR PARKING	4
SITE COVERAGE	59.46 %
PERMEABLE AREA	187.69 sqm
PERMEABLE AREA	40.53 %

VISIBILITY SIGHTLINES IN ACCORDANCE WITH CLAUSE 52.06-9 OF MARIBYRNONG PLANNING SCHEME



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Code	Date	Description	By



Sheet No **TP 02** REV no. **----**

Scale **A2 - 1:100**

Orientation Drawing

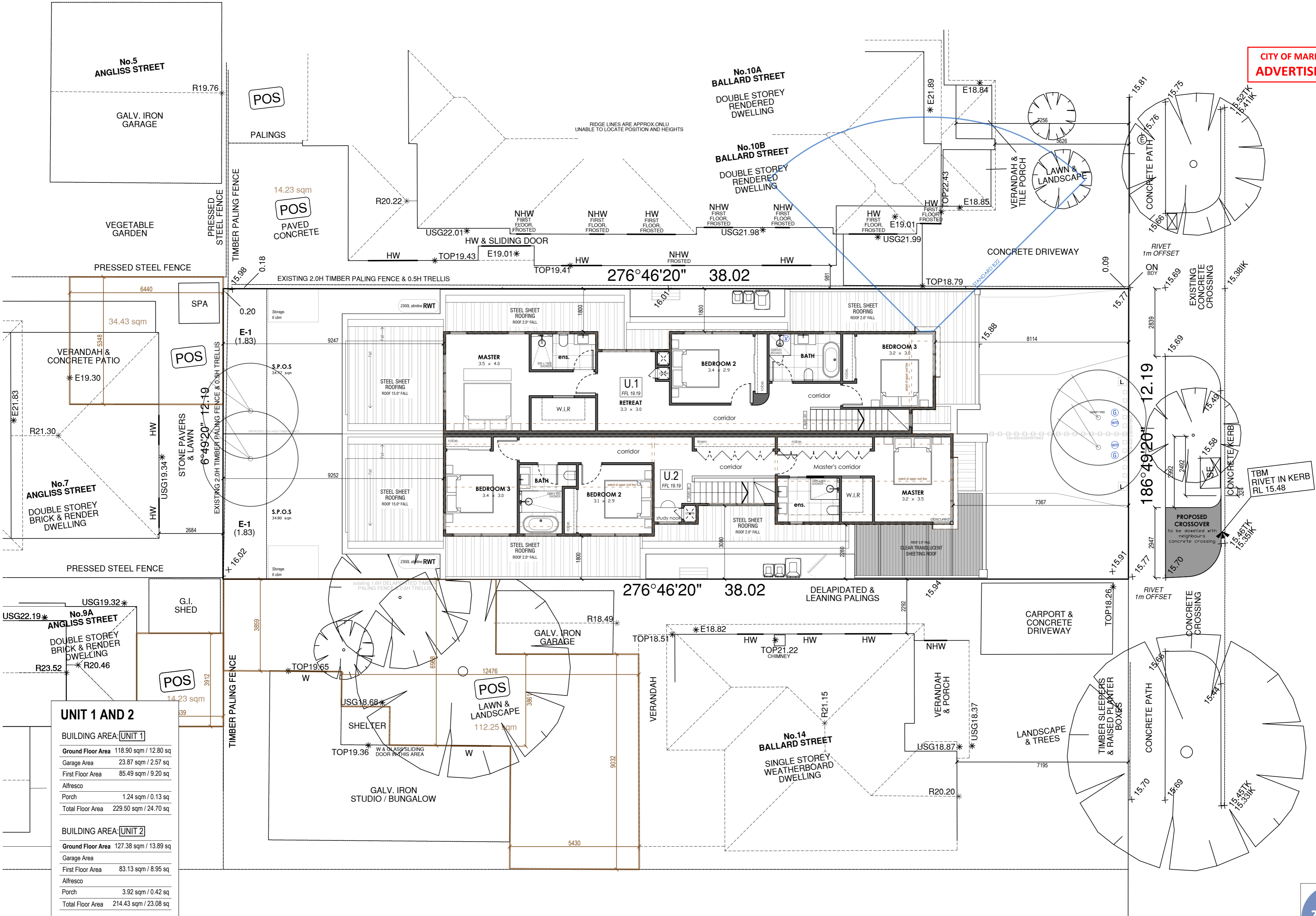
GROUND FLOOR PLAN

Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

Date 23 July 2024
Job no. 014-24

2FORM CONSULTING

PO Box 438 Yarraville VIC 3013
info@2form.com.au
Ph: 9687 2585



BALLARD STREET

UNIT 1 AND 2

BUILDING AREA: UNIT 1	
Ground Floor Area	118.90 sqm / 12.80 sq
Garage Area	23.87 sqm / 2.57 sq
First Floor Area	85.49 sqm / 9.20 sq
Alfresco	
Porch	1.24 sqm / 0.13 sq
Total Floor Area	229.50 sqm / 24.70 sq

BUILDING AREA: UNIT 2	
Ground Floor Area	127.38 sqm / 13.89 sq
Garage Area	
First Floor Area	83.13 sqm / 8.95 sq
Alfresco	
Porch	3.92 sqm / 0.42 sq
Total Floor Area	214.43 sqm / 23.08 sq

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Code	Date	Description	By



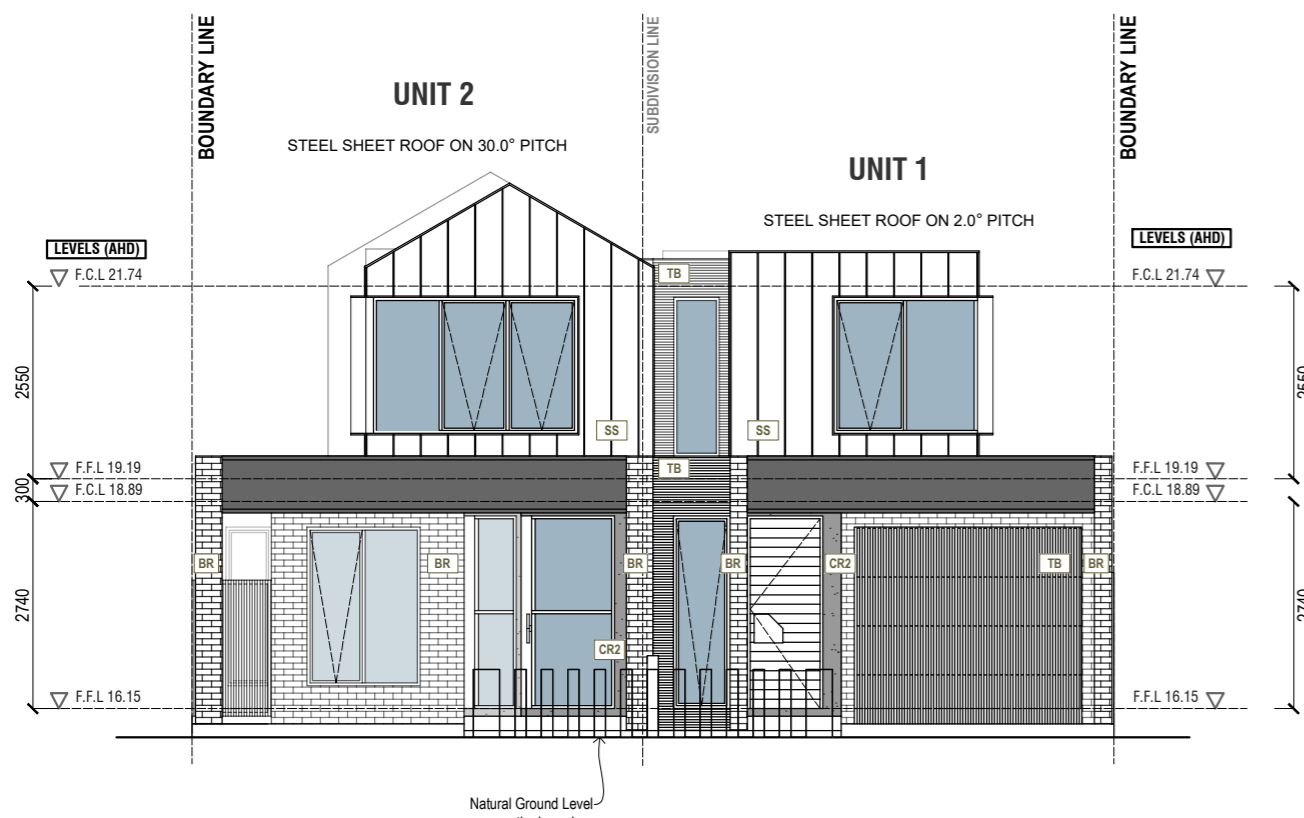
Sheet No. **TP 03** REV no. **----**

FIRST FLOOR PLAN

Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

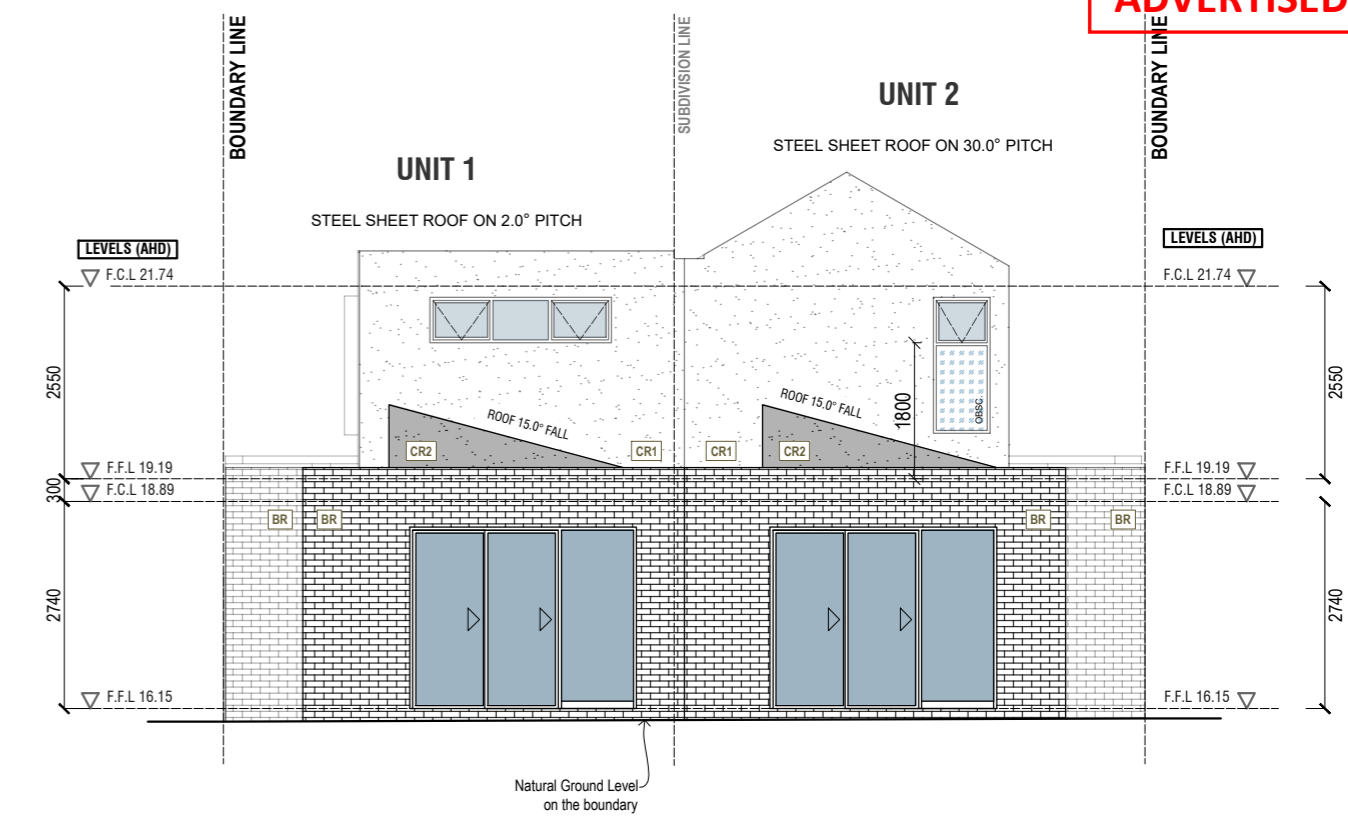
Scale **A2 - 1:100**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**



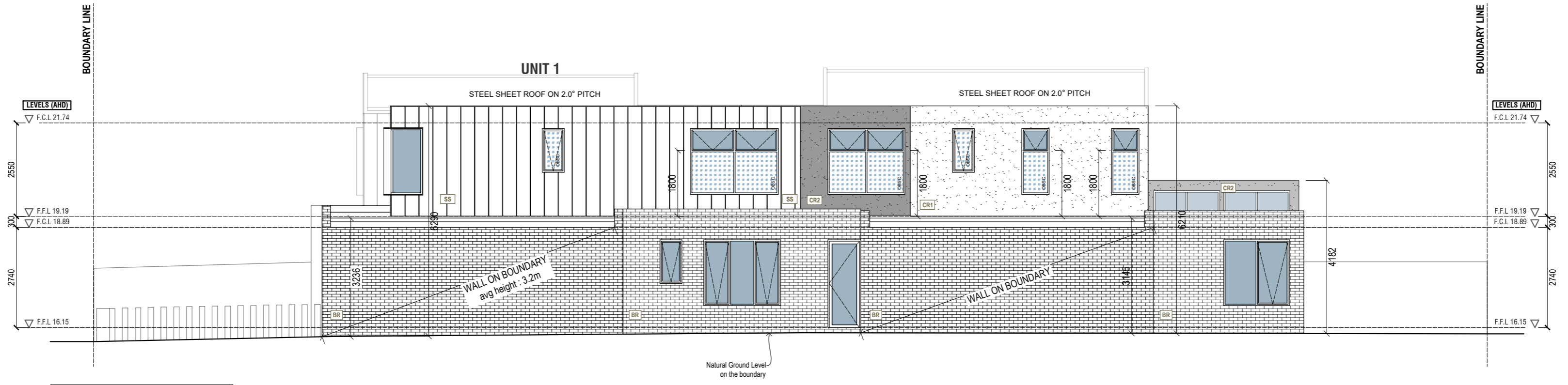


A. EAST ELEVATION

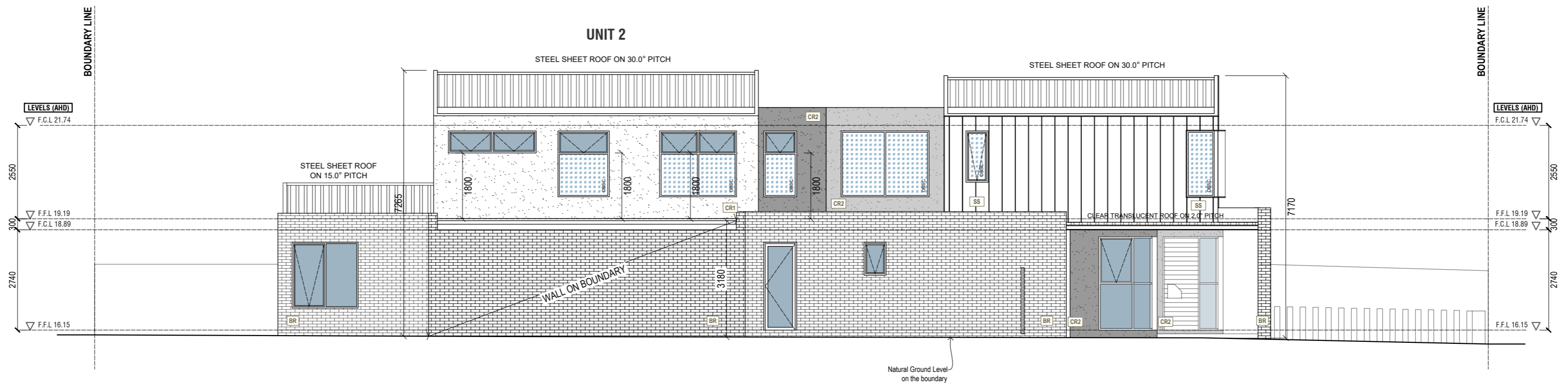
CODE	MATERIAL	NOTE
CR1	CEMENT RENDER	SOUTHERLY
CR2	CEMENT RENDER	WALLABY
SS	STANDING SEAM	SHALE GREY
TB	TIMBER BATTEN / CASTELLATED CLADDING	WALLABY or similar
BR	SELECTED BRICKWORK	CHAR or similar
	DOOR - WINDOW	WALLABY
	FASCIA - GUTTER	SHALE GREY
	STEEL SHEET ROOFING	SHALE GREY
	COLOURED CONCRETE DRIVEWAY	SMOKE GREY or similar



C. WEST ELEVATION



B. NORTH ELEVATION



D. SOUTH ELEVATION

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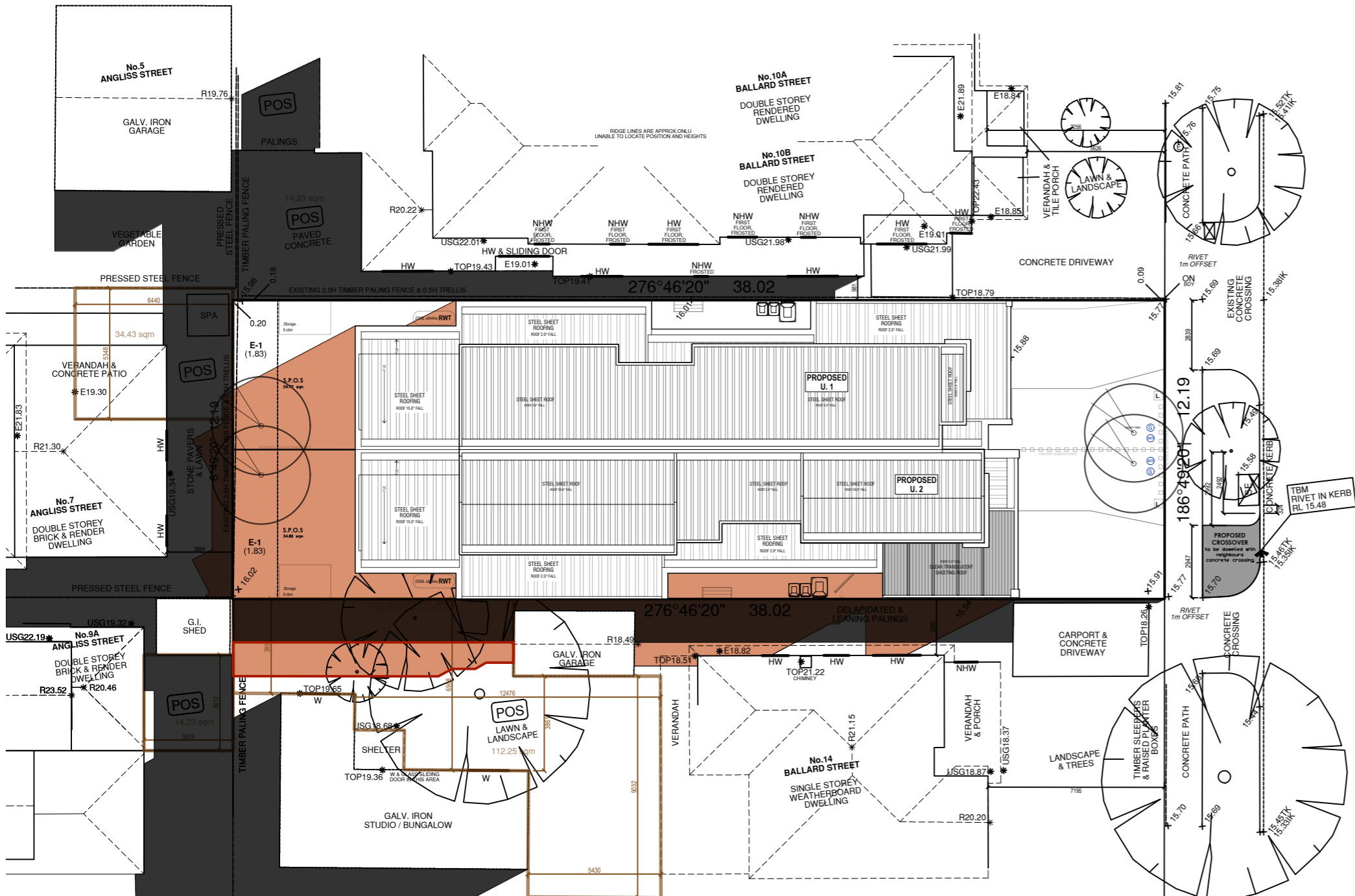
Code	Date	Description	By

Sheet No **TP 04** REV no. **----**
Orientation Drawing
ELEVATION

Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

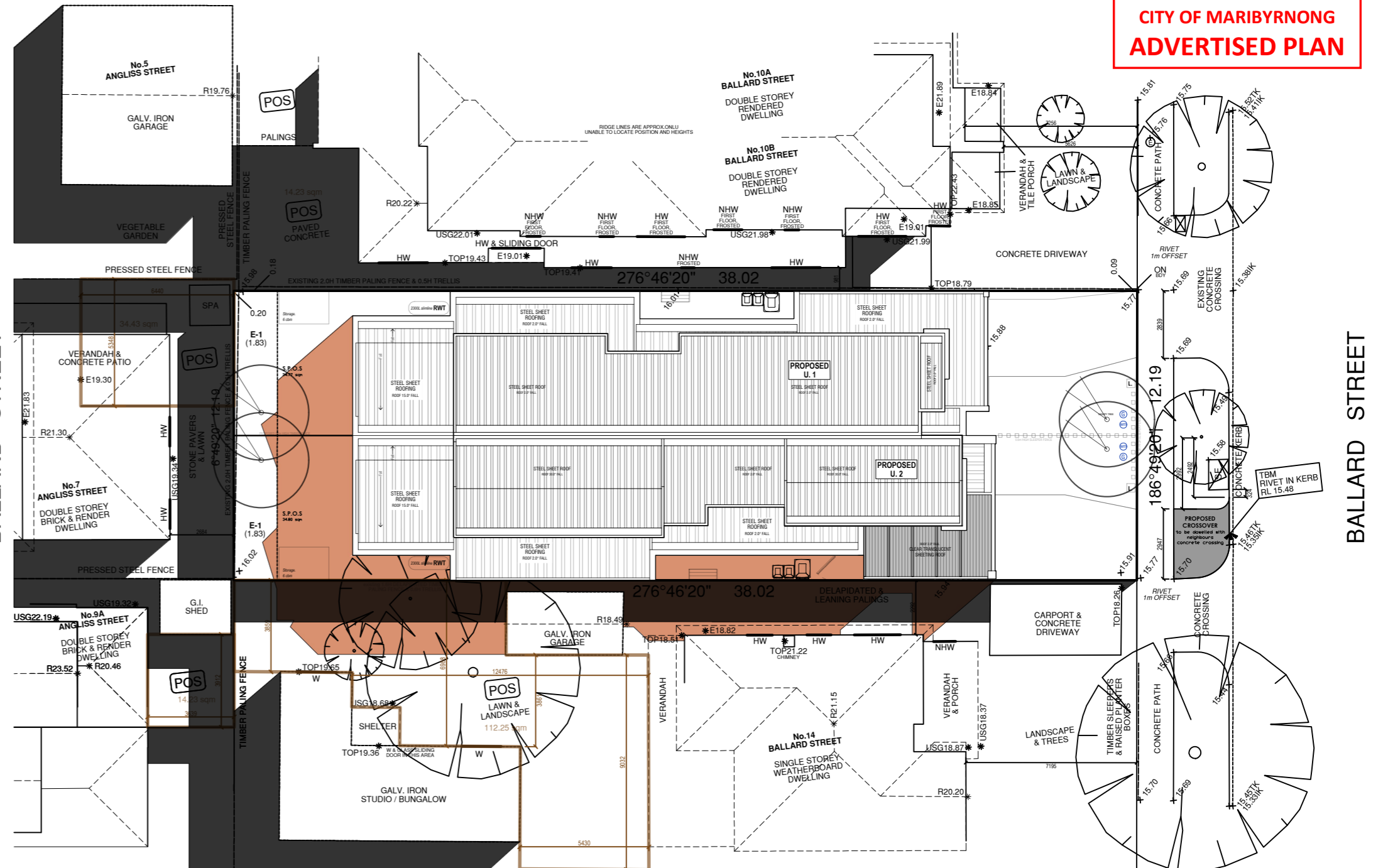
Scale **A2 - 1:100**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**





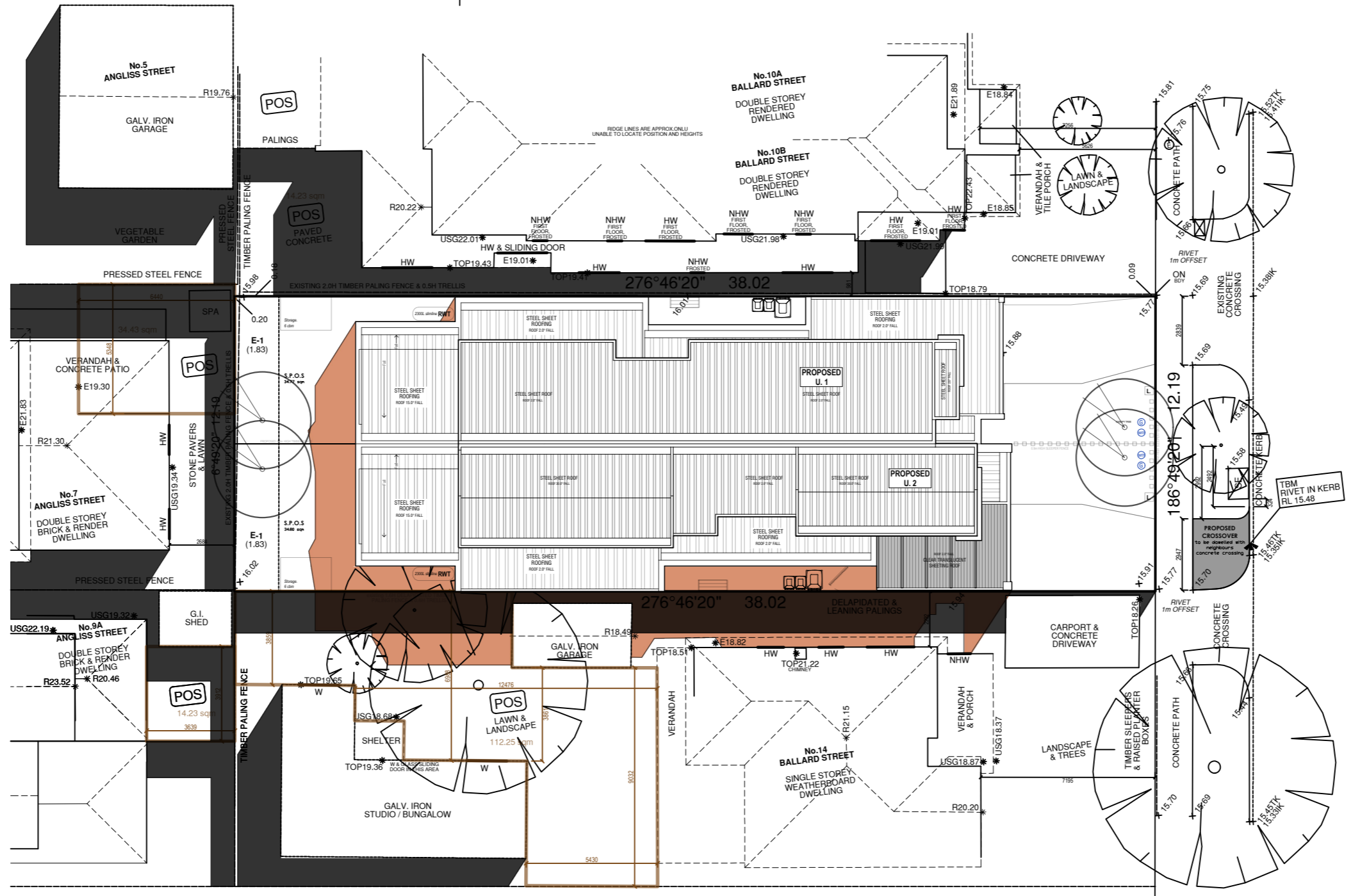
SHADOW DIAGRAM @ 9.00am (equinox)

MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



SHADOW DIAGRAM @ 10.00am (equinox)

MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



SHADOW DIAGRAM @ 11.00am (equinox)

MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)

- PROPOSED SHADOW CAST
- EXISTING SHADOW CAST
- ADDITIONAL SHADOW TO SPOS
- EXTENT OF S.P.O.S

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Code	Date	Description	By



Orientation
Drawing

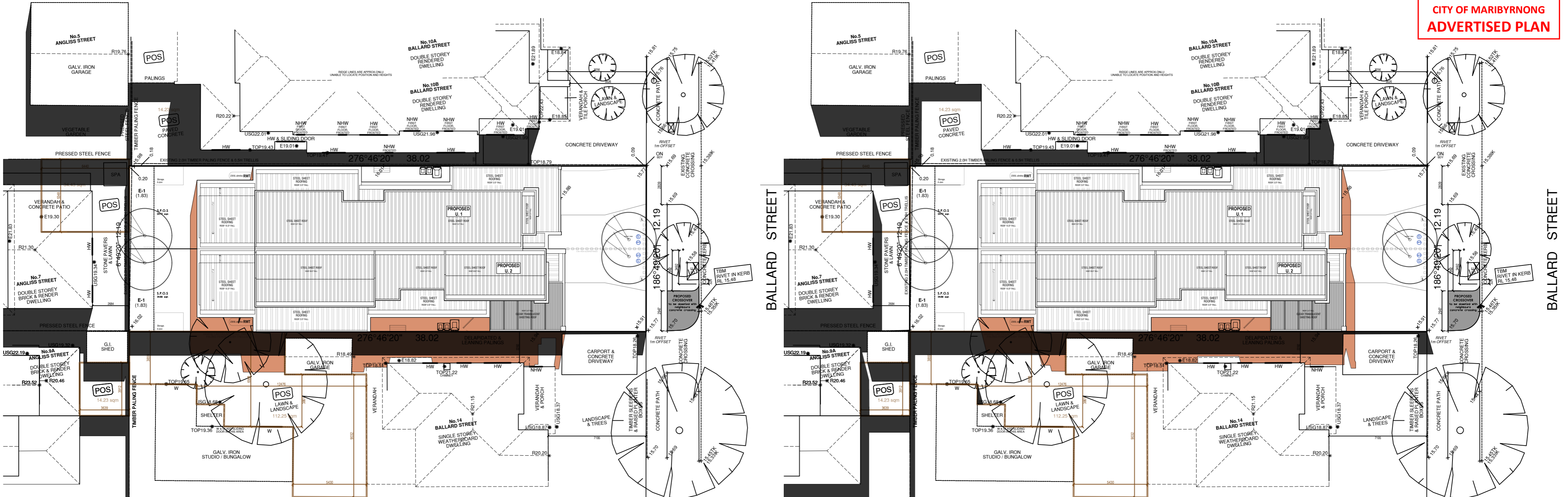
Sheet No **TP 05**

SHADOW DIAGRAM

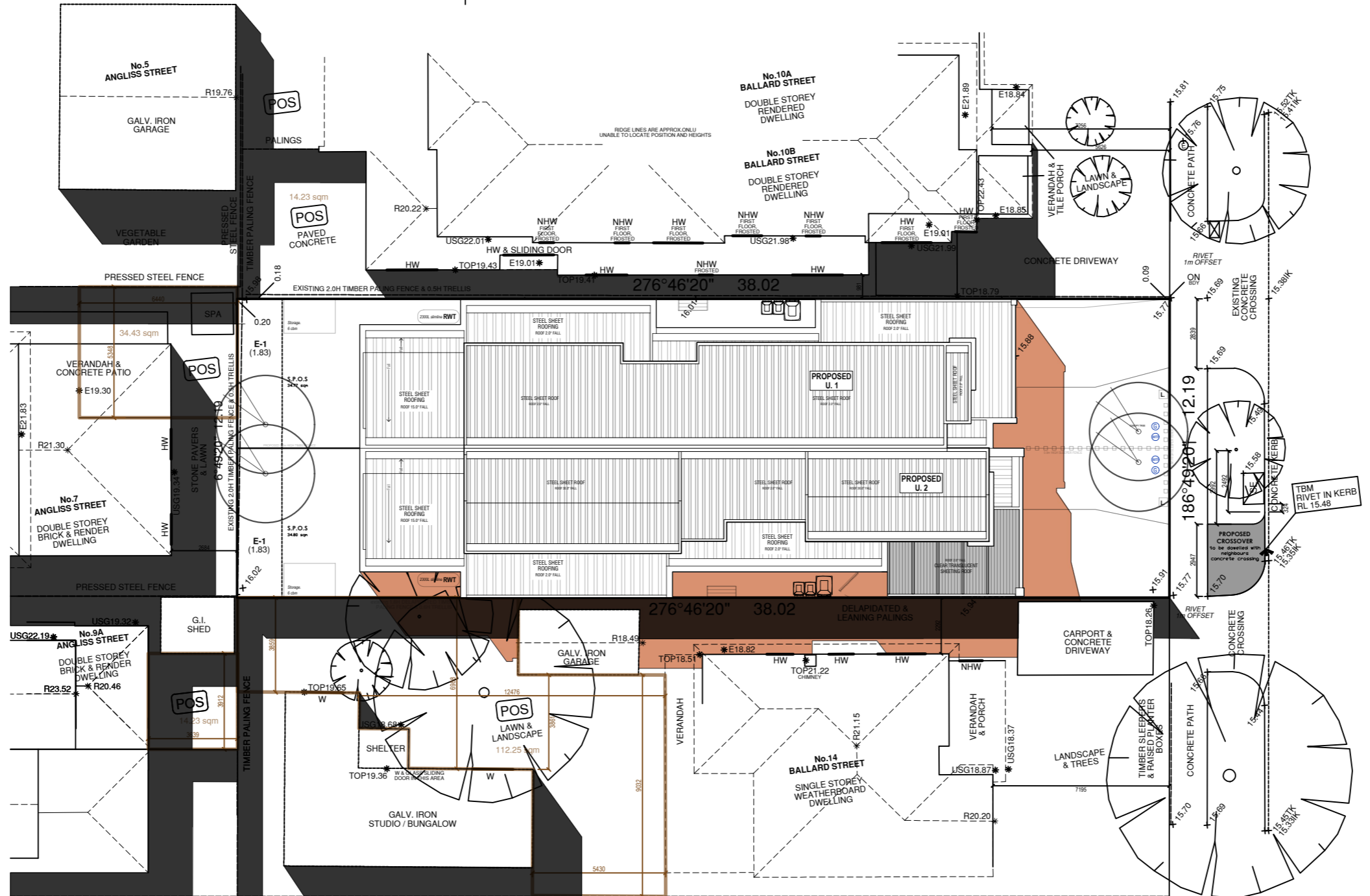
REV no. ----
Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

Scale **A2 - 1:200**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**





SHADOW DIAGRAM @ 12.00pm (equinox)
MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



SHADOW DIAGRAM @ 01.00pm (equinox)
MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)

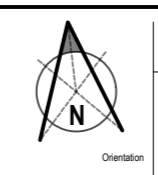


SHADOW DIAGRAM @ 02.00pm (equinox)
MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)

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Code	Date	Description	By

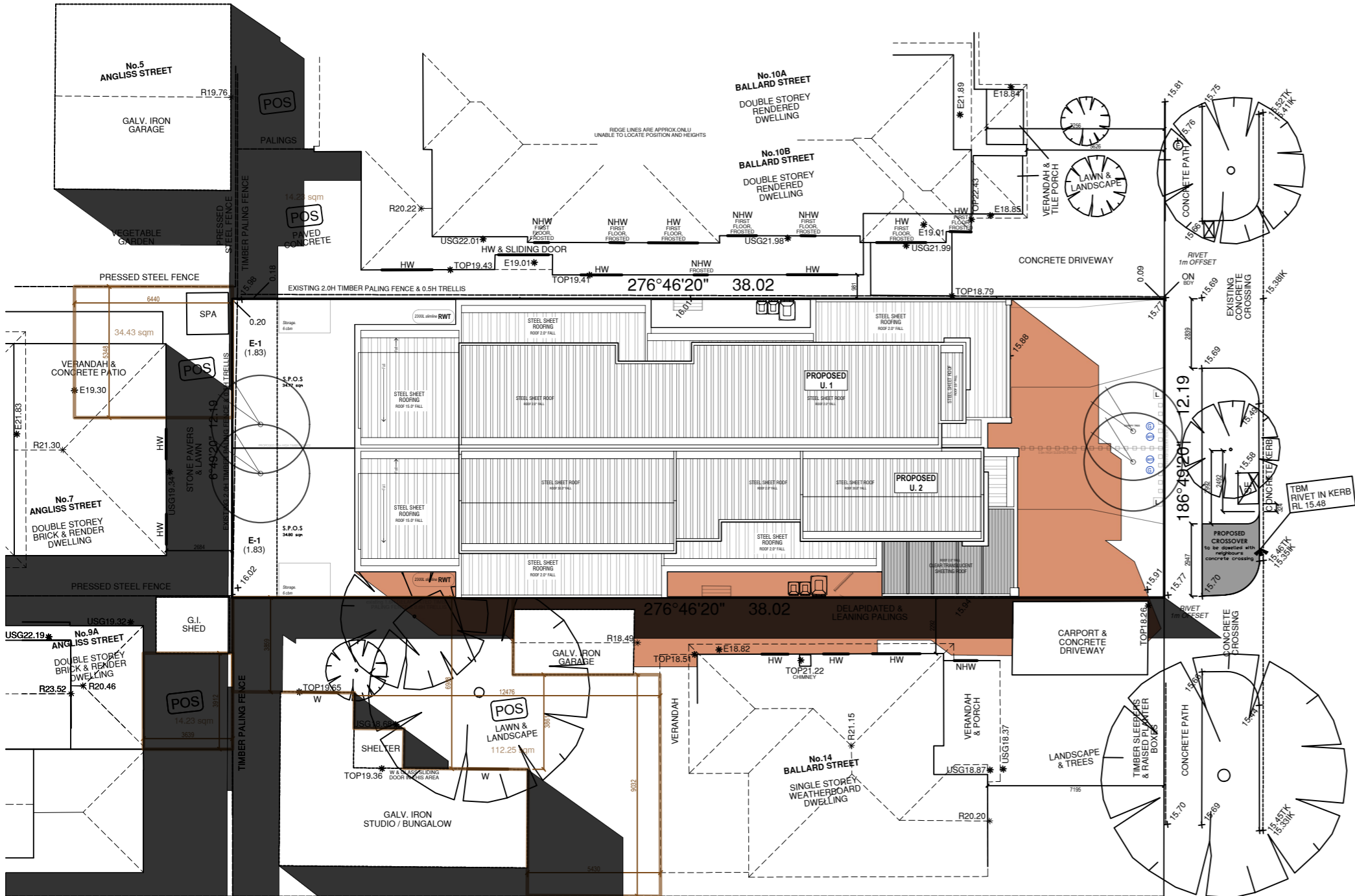


Sheet No. **TP 05** REV no. **----** Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

Scale **A2 - 1:200**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**

SHADOW DIAGRAM

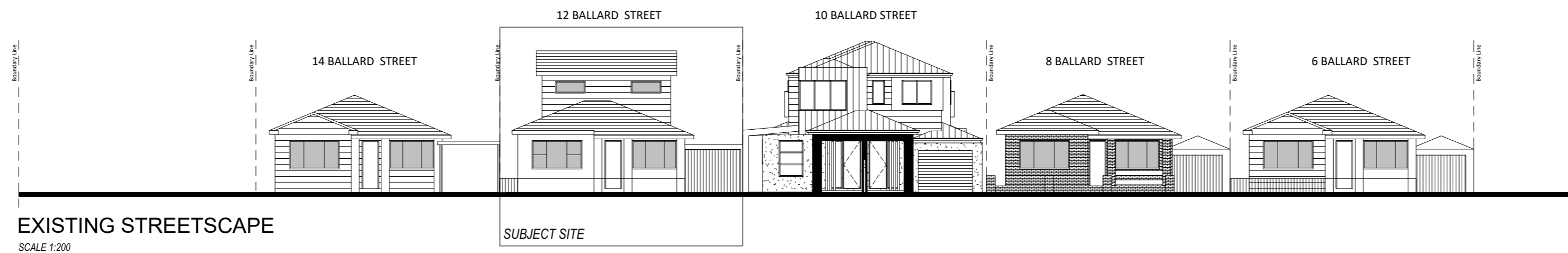




BALLARD STREET



SHADOW DIAGRAM @ 03.00pm (equinox)
MARCH 21 - SEPTEMBER 23 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



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Code	Date	Description	By

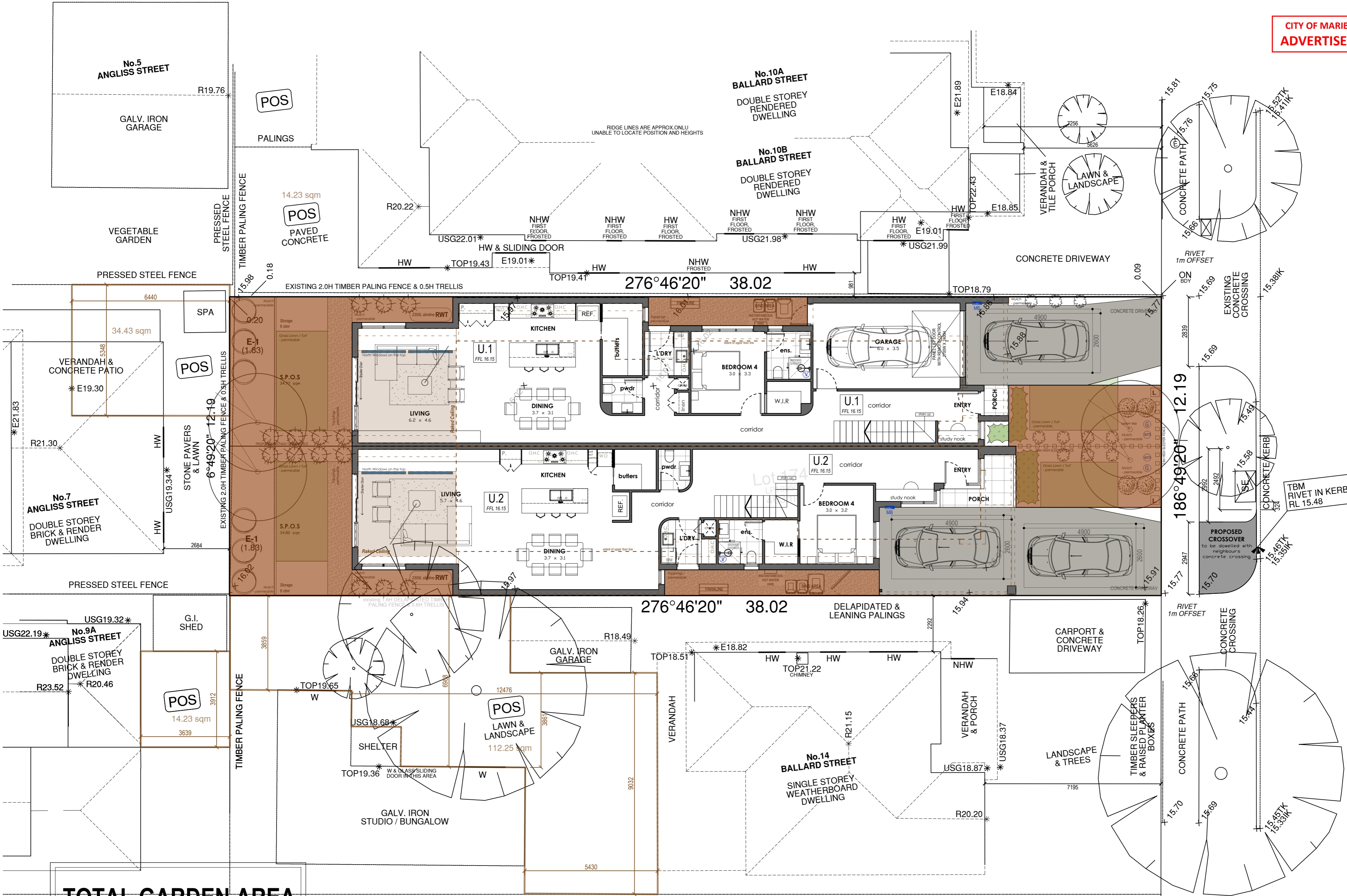


Orientation Drawing
Sheet No **TP 07**
REV no. **----**
SHADOW DIAGRAM

Title - Job Address
Proposed Two Double Storey Units
12 Ballard Street
Yarraville VIC 3013

Scale **A2 - 1:200**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**





TOTAL GARDEN AREA
116.7 sqm / 25.20%

**CITY OF MARIBYRNONG
RECEIVED
17/09/2024
URBAN PLANNING**

BALLARD STREET

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Code	Date	Description	By

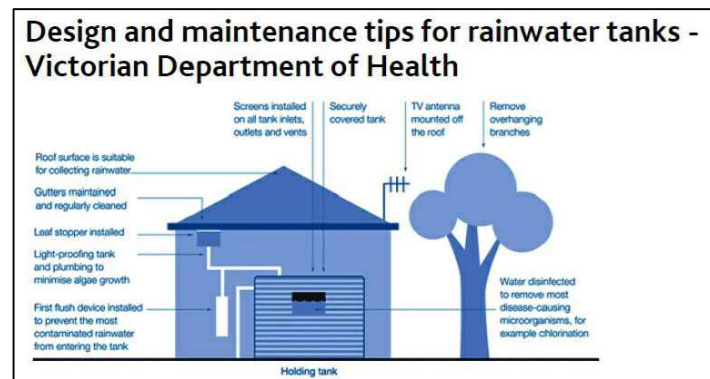
Sheet No **TP 08** REV no. **----** Title - Job Address
GARDEN AREA PLAN 12 Ballard Street Yarraville VIC 3013

Scale **A2 - 1:100**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**

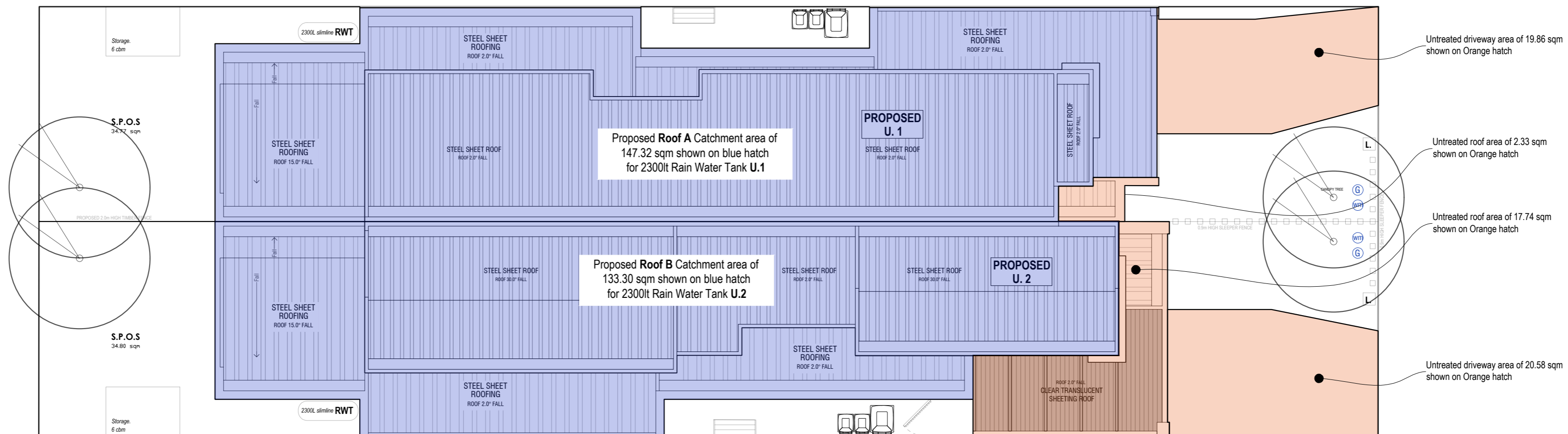


RAINWATER TANK MAINTENANCE:

- It is advised to follow Victorian Department of Health's rainwater tank design and maintenance tips as show below:



More details can be found here:
https://mtepa.rn.gov.au/_data/assets/pdf_file/0006/284676/guideline_keeping_stormwater_clean_builders_guide.pdf



STORMWATER MANAGEMENT DURING CONSTRUCTION:

This project is required to be constructed in line with "Keeping Our Stormwater Clean- A Builder's Guide (Melbourne Water, 2002)" by implementing the WSUD maintenance practices described in appendices A and B. Construction practices will aim to: mitigate erosion, protect stockpiles, keep mud off the road and on site, keep litter contained on site and clean and wash up on site.

Practices must adhere to:

- SITE RULE 1:**
- Check Council requirements and plan before you start work on site.
 - Crossover away from lowest point
 - Sediment control fence on lowest side
 - Stockpiles away from lowest point
 - Marked trees and vegetation to keep on site
- SITE RULE 2:**
- Stop erosion on site and contain sediments
 - Sediment control fence in place
 - Catch drains on high side of site
 - Vegetation areas kept at boundary
 - Downpipes set up as early as possible

SITE RULE 3:

- Protect stockpiles
- Base and cover for stockpiles
- Gravel sausage at stormwater pit

SITE RULE 4:

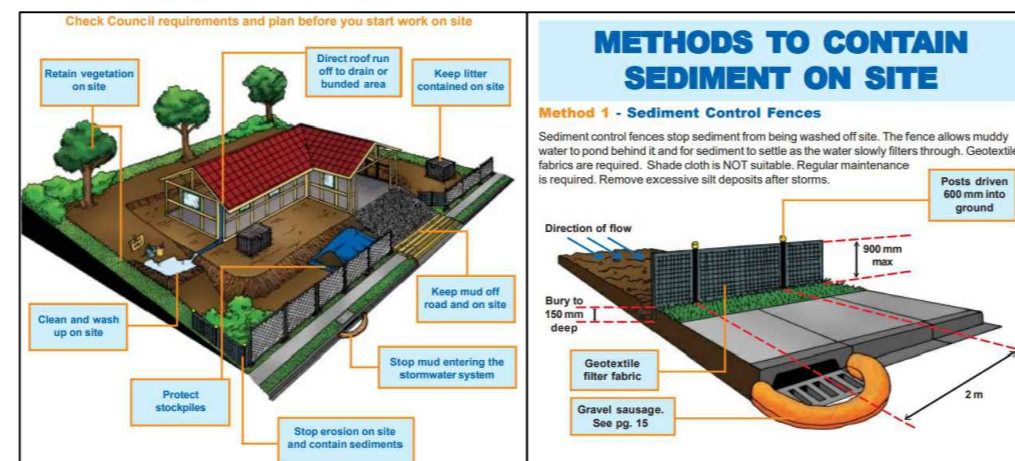
- Keep mud off road and on site
- Crushed rock access point
- Vehicles keep to crushed rock areas
- Mud removed from tyres before leaving site
- Clean road if muddy

SITE RULE 5:

- Keep litter contained on site. Site fencing in place
- Litter bins in place with lid closed

SITE RULE 6:

- Clean and wash up on site
- Cutting and clean up area on site
- Clean equipment off before washing
- Sediment filter downslope
- Contain all washing on site



Melbourne Water STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 12 Ballard Street
Yarraville VIC 3013

Assessor: ET
Development Type: Residential - Multiunit
Allotment Size (m2): 463.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Roof A	147.32	Rainwater Tank	2,300.00	4	116.60	85.00
Roof B	133.30	Rainwater Tank	2,300.00	4	127.20	83.00
Untreated Roof	20.07	None	0.00	0	0.00	0.00
Untreated Driveway	40.44	None	0.00	0	0.00	0.00

Date Generated: 22-Jul-2024 Program Version: 1.0.0

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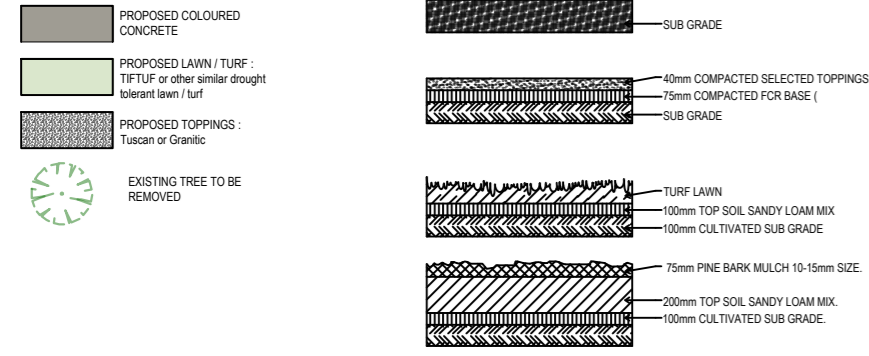
Code	Date	Description	By

Sheet No. **TP 09** REV no. **----** Title - Job Address
WSUD PLAN **Proposed Two Double Storey Units**
12 Ballard Street
Yarraville VIC 3013

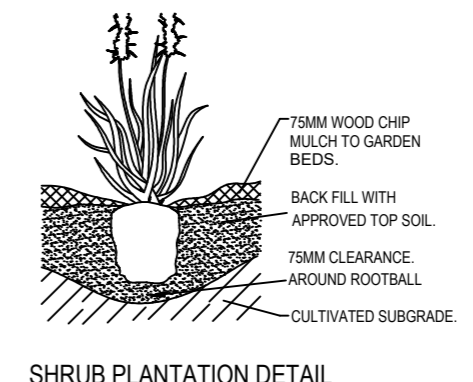
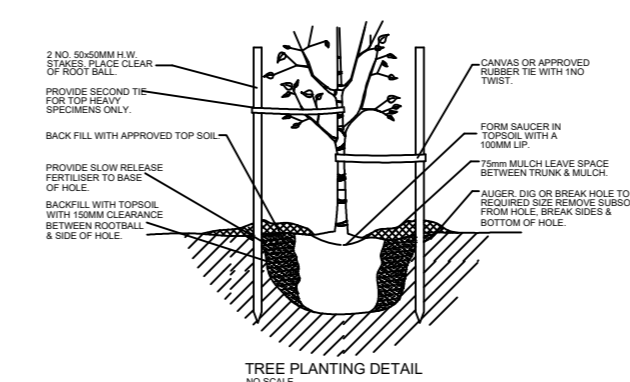
Scale **A2 - 1:100**
Drawn **ET**
Date **23 July 2024**
Job no. **014-24**



LEGEND :



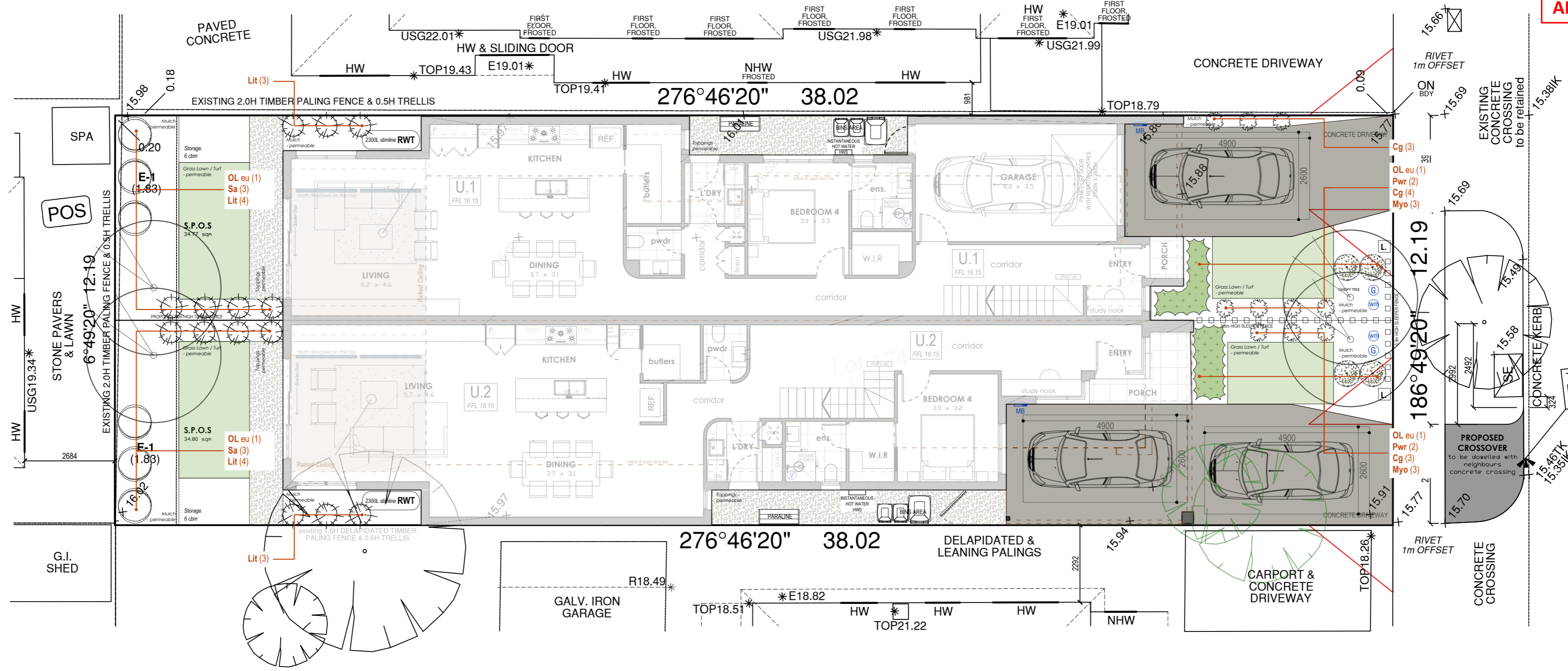
PLANT SCHEDULE		HEIGHT AT MATURITY	DROUGHT TOLERANT SPECIES	SUPPLY SIZE	QTY	
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH		
OL eu	Olea Europaea	Olive	7-9m	3-5m	HEIGHT OF 1.5 METER	4
Lit	Lomandra "Lime Tuff"	Draw Mat Rush	0.3-0.6m	0.60m	Y	140
Sa	Syzygium Australe	Brush Cherry	3m	1-2m	Y	200mm POTS
Pwr	Phytolacca Winter Rogue	Cordyline Dwarf	0.8	0.8	Y	140
Cg	Correa Glabra	Rock Correa	1.2	1.2	Y	140
Myo	Myoporum Parvifolium	Yareena	0.1m	1m		140
	Cynodon transvaalensis x Cynodon dactylon	Tituf	8-36mm		Y	6



CONTRACTOR TO CHECK LOCATION & DEPTH OF EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS.
 GARDEN BEDS AND LAWNS TO BE CULTIVATED TO A MINIMUM DEPTH OF 250MM.
 SOIL TYPE : 50% MOUNTAIN SOIL
 50% SANDY LOAM
 1 KG GYPSUM / SQM.
 MULCHING : WOOD CHIP 100MM HIGH
 PLANTING : TREES IN GRASSED AREAS TO HAVE 500 x 500 MULCH AROUND BASE AND TO BE STAKED. TREES TO BE PLANTED AT LEAST 2.0M FROM STORMWATER AND SEWER PIPE AND AT A DISTANCE OF AT LEAST 1 TIMES THE MATURE HEIGHT AWAY FROM THE BUILDING.

NOTE:
 CANOPY TREES TO BE PLANTED AT 1.5m MINIMUM HEIGHT to all landscaping areas.

CITY OF MARIBYRNONG ADVERTISED PLAN

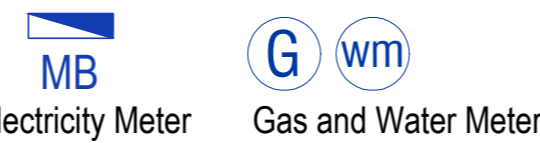


BALLARD STREET

TREE PROTECTION NOTE :
 Before the development starts (including any demolition works), tree protection measures in accordance with AS4970-2009 (Protection of trees on Development Sites) must be erected around the existing street tree. The tree protection measures must remain in place until construction is completed.

No vehicular or pedestrian access, trenching or soil excavation is to occur within the tree protection zone without the written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Zone.

VISIBILITY SIGHTLINES IN ACCORDANCE WITH CLAUSE 52.06-9 OF MARIBYRNONG PLANNING SCHEME



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Code	Date	Description	By

Sheet No **TP 10** REV no. **----** Title - Job Address
LANDSCAPE PLAN Proposed Two Double Storey Units
 12 Ballard Street
 Yarraville VIC 3013

Scale **A2 - 1:100**
 Drawn **ET**
 Date **23 July 2024**
 Job no. **014-24**



PLAN OF SURVEY

CONTENTS:
**TITLE RE-ESTABLISHMENT,
LEVEL & FEATURE SURVEY**

LOCATION:
12 Ballard Street Yarraville

EASEMENT DETAILS
E-1... Drainage & Sewerage Easement (1.83m wide)

PARCEL PARTICULARS: REF No: VERSION:
LP 10950 Lot 174 6335 01

SURVEYOR: DATE OF SURVEY:
Anthony Ford LS 12.04.2024

LEVEL DATUM: SHEET DETAILS:
AHD A1 - Sheet 1 of 1

CONTOURS: SCALE:
Nil 1:100 @ A1

LEGEND:

	TBM		Water Meter
	Reduced Level		Water Tap
	Elevation		Water Stop Valve
	Significant Tree		Fire Hydrant/Plug
	Street Sign		Fence Post
	Stay		Fence Pillar - Brick
	Power Pole		Private Open Space
	Power Point		Habitable Window
	Power Pit		Non Habitable Window
	Utility Pit/Meter Unclassified		H5.00 Window Head RL
	Tele. Comm Pit		S5.00 Window Sill RL
	Gas Pit/Valve		R5.00 Ridge Level RL
	Gas Meter		E5.00 Eave Level RL
	Grated Pit		USG5.00 Underside Gutter RL
	Drainage Pit		TOP5.00 Top of Wall
	Side Entry Pit		10.00T Top of Retaining Wall RL
	Sewer Pit		9.90B Base (Toe) Wall RL
	Sewer Vent / Access Point		20.00TK Top of Kerb
			19.90IK Invert of Kerb

NOTES:

THE LAND IN THE SURVEY IS ENCLOSED WITHIN THICK CONTINUOUS LINES.

ENLARGEMENTS ARE NOT SHOWN TO SCALE PRIOR TO DESIGN, PLANNING, DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE SHOWN, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATIONS OF ALL UNDERGROUND SERVICES. THIS IS AN INTEGRAL PART OF THIS PLAN.

EVERY ATTEMPT HAS BEEN MADE TO LOCATE SERVICES AT GROUND LEVEL, HOWEVER THERE ARE SOME INSTANCES WHERE SERVICES ARE NOT VISIBLE AT THE TIME OF SURVEY AND THEREFORE MAY NOT BE SHOWN ON THIS PLAN.

EVERY ATTEMPT HAS BEEN MADE TO DETERMINE HABITABILITY STATUS OF ADJACENT OVERLOOKING WINDOWS, HOWEVER THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE DETERMINATION WITHOUT INTERNAL ACCESS TO ADJACENT DWELLINGS. FROSTED, OPAQUE AND LOUVRE TYPE WINDOWS HAVE BEEN LABELED AS NON HABITABLE. IF A DETERMINATION CANNOT BE MADE THEN THE WINDOW WILL BE LABELED AS W.

RE-ESTABLISHMENT NOTES:

WHERE THE OCCUPATION (FENCING/ OR BUILDINGS) IS INSIDE THE TITLE BOUNDARY, WE RECOMMEND LIMITING ANY DEVELOPMENT (DESIGN AND CONSTRUCTION) TO THE LOCATION OF THE EXISTING FENCE LINE. THIS IS UNDER THE ASSUMPTION THAT THE ADJOINING LAND OWNERS MAY HAVE ACCRUED POSSESSORY RIGHTS OVER THAT PORTION OF LAND THEY OCCUPY. YOU MAY NEGOTIATE WITH YOUR NEIGHBOUR TO REMOVE A FENCE AND BUILD TO THE BOUNDARY IF NEEDED, HOWEVER PLEASE ENSURE YOU HAVE WRITTEN CONSENT FROM YOUR NEIGHBOUR PRIOR TO ANY WORKS COMMENCING.

ALTERNATIVELY, WHERE THE OCCUPATION IS OUTSIDE THE TITLE BOUNDARY, ANY DEVELOPMENT (DESIGN AND CONSTRUCTION) SHOULD BE LIMITED TO THE TITLE POSITION AS SHOWN. NO DESIGN OR CONSTRUCTION SHOULD CROSS A BOUNDARY UNLESS A PRIOR ADVERSE POSSESSION APPLICATION IS APPROVED BY THE TITLES OFFICE.

SUBTRACT 6°46'20" FOR TITLE BEARINGS.



PHOTO 1



PHOTO 2

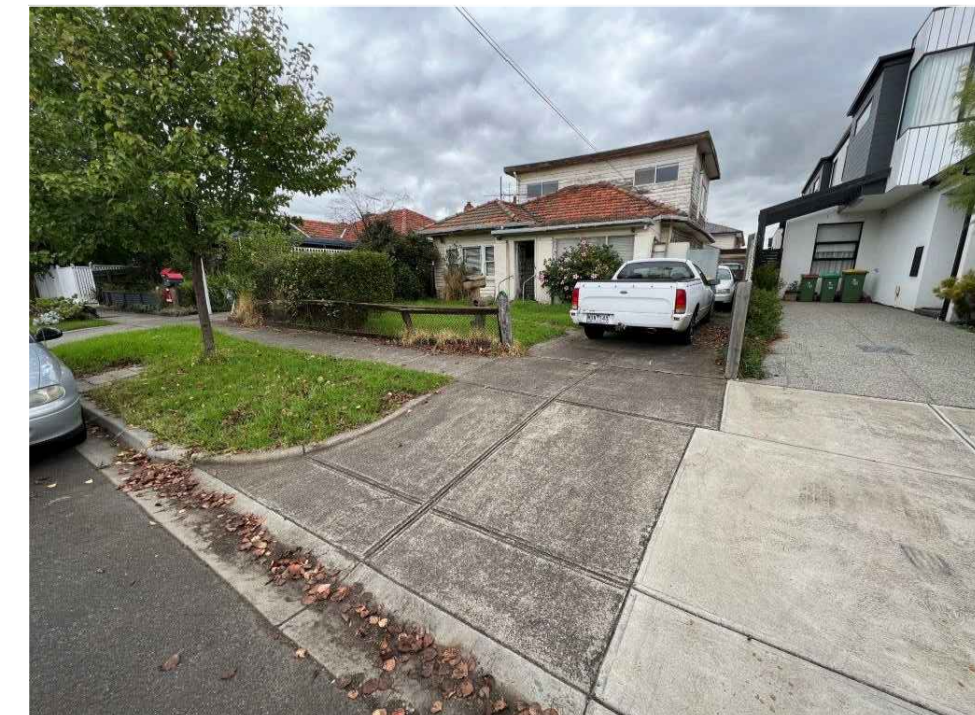


PHOTO 3

