

JOB No. 24-877

CITY OF MARIBYRNONG
ADVERTISED PLAN

No. 17 RIVER STREET, MARIBYRNONG.

PROPOSED TOWNHOUSE DEVELOPMENT.

FOR: L.N. HOMES Pty Ltd

MARIBYRNONG CITY COUNCIL
TOWN PLANNING APPLICATION
FURTHER INFORMATION REVISIONS



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WARNING
BEWARE OF UNDERGROUND SERVICES WHEN WORKS ARE DONE ONSITE. THIS SURVEY PLAN DOES NOT SHOW THE POSITION OF UNDERGROUND SERVICES AND NO ATTEMPT HAS BEEN MADE TO VERIFY OR POSITION THE LOCATION OF UNDERGROUND SERVICES IN THE AREA OF SURVEY. IT IS ADVISED THAT BEFORE ANY WORKS ARE PERFORMED ONSITE AN APPLICATION SHOULD BE MADE TO 'DIAL BEFORE YOU DIG' TO REVIEW AND VERIFY UNDERGROUND SERVICES IN THE AREA OF SURVEY. THERE IS NO GUARANTEE THAT ALL SERVICES HAVE BEEN LOCATED BY THIS SURVEY AND SHOWN ON THIS PLAN.

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SITE ANALYSIS

The Site
The site is located at 17 River Street, Maribyrnong and is zoned Neighbourhood Residential 1 & is within a Design & Development Overlay Schedule 10 - colonial annuities estate precinct - & a Maribyrnong Character Area - Garden Suburban 2. The Site occupies an area of 582m². It is a regular lot with a total width of 15.24m & 38.28 deep respectively. The site is 12km of the Melbourne C.B.D. and is within close proximity to local shops and public transport facilities along Gordon Street, Rosamond Road & Ballarat Road. Also located surrounding the site lie parks such as the Pipemakers Park & Robert Barret Reserve & Maribyrnong Aquatic Centre & local reserves. A number of childcare centres, kindergartens, schools & clubs also within close vicinity. The site is aligned North to South.

Contours and Existing Vegetation
The site currently contains a Single Storey Weatherboard Dwelling & is generally flat and there is minimal existing ornamental vegetation & exotic species trees in reasonable health, with large expanses of lawn area. It is believed that there are no trees of any significance, which will be affected by the proposal.

Existing Buildings
River Street & surrounding streets are not a cohesive streetscape, they contain a number of building types and styles of various with controls as well as single storey and two storey buildings nearby. The existing dwelling is single storey weatherboard dwelling, however the proposal is a form of development that fits in well with diverse surrounding streetscapes, housing styles & built forms. It maintains the rhythm of articulation from the street setbacks & building styles with the surrounding area. The proposed Development's setback & built form maintains the patterns of the surrounding streetscape as well as providing generous front open space area providing opportunity for meaningful landscaping which shall include Canopy Trees, to maintain the garden style setting of the immediate area.

Car Parking and Access
On street car parking is unrestricted along River Street in front of the subject site & in the immediate surrounding local streets. Any proposal for the site will maintain safe access & egress from the site, in keeping with the surrounding character of the precinct.

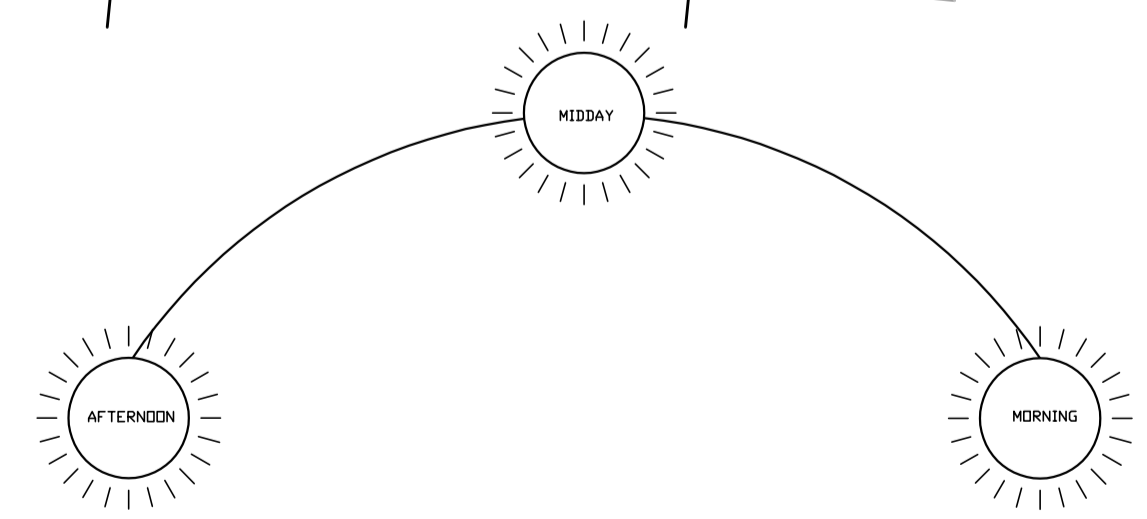
Fences and Boundaries
There is a 2.0-2.3m Timber boundary fences to the South, West & East boundaries of the site.

Abutting Private Open Space
The subject sites is abutted by residential dwellings (West, East & South of the site) these are orientated to face their respective street frontage. Refer to the plan for exact location & details of the individual areas. At present these open spaces are not subject to overlooking from the subject site.

Views and Solar Access
The site predominantly has excellent opportunity for solar access and ventilation, with excellent opportunity for views predominantly to the front of the site, maintaining the rhythm of the surrounding street character of open & spacious front open spaces.

Front Fences
The existing dwelling has a low scale picket fence, the proposal will identify & maintain the low scale fencing types that are predominant in the surrounding area.

NEIGHBOURHOOD & SITE DESCRIPTION PLAN



Note - Although every endeavour has been made to provide correct dimensions & details of adjoining properties it is a policy of Designs Plus Architectural Drafting and It's consultants that it shall not to trespass onto properties unless express written consent is provided. Where consent is not given estimates are provided.

	NO.	REVISION	DATE	NO.	REVISION	DATE	<p>DESIGNS PLUS ARCHITECTURAL DRAFTING P/L.</p> <p>3 Henry Court, Caroline Springs, VIC 3023 Telephone: (03) 9449 5700 E-Mail: info@designsplus.com.au www.designsplus.com.au</p>	<p>PROPOSED 2 TOWNHOUSE DEVELOPMENT</p> <p>AT : 17 RIVER STREET, MARIBYRNONG.</p> <p>FOR: LN HOMES</p>	Designed : J.C.	Drawn : J.C.	Checked : J.C.
	Drawing Scale:		1:200		Date of Issue:				JULY, 2024		
	Job No.		24-877		Sheet No.				TP01		
	Revision:		-		-				-		
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SITE ANALYSIS

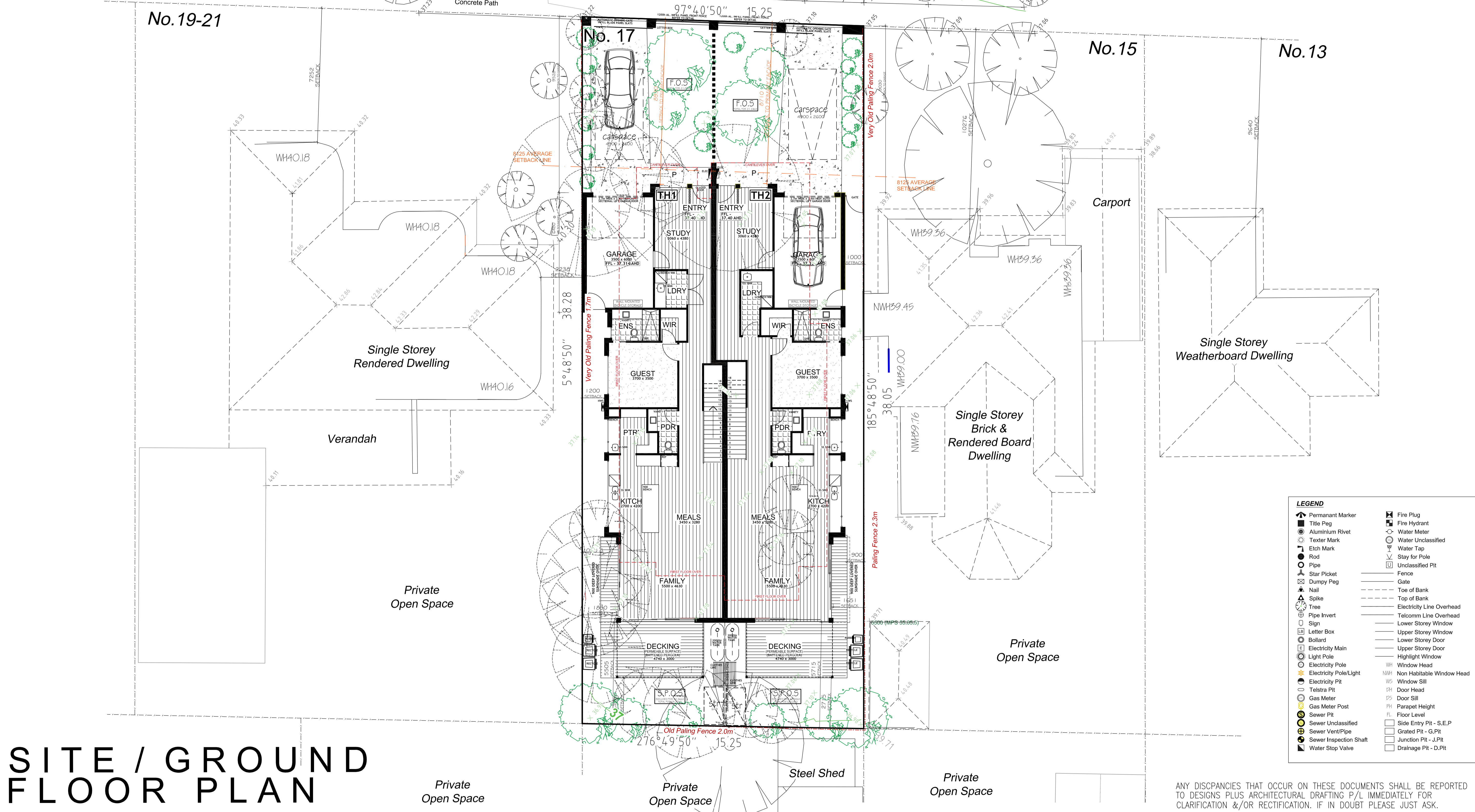
	GROUND FLOOR	FIRST FLOOR	PORCH	GARAGE / CARSPACE	DECKING	SPOS	TOTAL BLDG AREA	CARPACES
UNIT 1-PROPOSED	128.18m ²	110.14m ²	2.90m ²	24.27m ²	20.67m ²	42.36m ²	286.16m ²	2
UNIT 2-PROPOSED	132.06m ²	116.54m ²	3.78m ²	23.94m ²	19.91m ²	42.30m ²	296.23m ²	2
TOTAL	260.24m ²	226.68m ²	6.68m ²	50.36m ²	40.58m ²	84.66m ²	582.39m ²	4
SITE AREA	582.00m ²		SITE COVERAGE 357.86m ² / 61.48%		PERMABLE AREA 206.71m ² / 35.51%			

RIVER STREET

CITY OF MARIBYRNONG
ADVERTISED PLAN

SERVICES LEGEND

	GAS METER
	WATER METER
	HOT WATER SERVICE
	ELEC. SWITCH BOARDS
	RUBBISH BIN
	RECYCLE BIN



SITE / GROUND FLOOR PLAN

LEGEND

	Permanent Marker		Fire Plug
	Title Peg		Fire Hydrant
	Aluminium Rivet		Water Meter
	Texter Mark		Water Unclassified
	Etch Mark		Water Tap
	Rod		Stay for Pole
	Pipe		Unclassified Pit
	Star Picket		Fence
	Dumpy Peg		Gate
	Nail		Toe of Bank
	Spike		Top of Bank
	Tree		Electricity Line Overhead
	Pipe Invert		Telcomm Line Overhead
	Sign		Lower Storey Window
	Letter Box		Upper Storey Window
	Bollard		Lower Storey Door
	Electricity Main		Upper Storey Door
	Light Pole		Highlight Window
	Electricity Pole		Window Head
	Electricity Pole/Light		Non Habitable Window Head
	Electricity Pit		Window Sill
	Telstra Pit		Door Head
	Gas Meter		Door Sill
	Gas Meter Post		Parapet Height
	Sewer Pit		Floor Level
	Sewer Unclassified		Side Entry Pit - S.E.P
	Sewer Vent/Pipe		Grated Pit - G.Pit
	Sewer Inspection Shaft		Junction Pit - J.Pit
	Water Stop Valve		Drainage Pit - D.Pit

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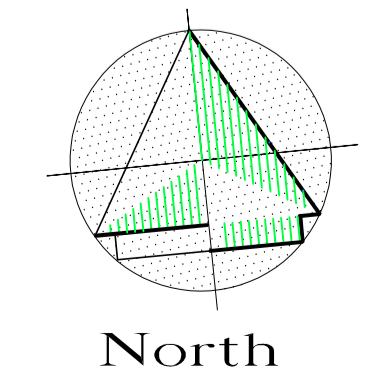
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PROPOSED 2 TOWNHOUSE DEVELOPMENT
AT : 17 RIVER STREET, MARIBYRNONG.
FOR: LN HOMES

Designed : J.C.	Drawn : J.C.	Checked : J.C.
Drawing Scale:	1:100	
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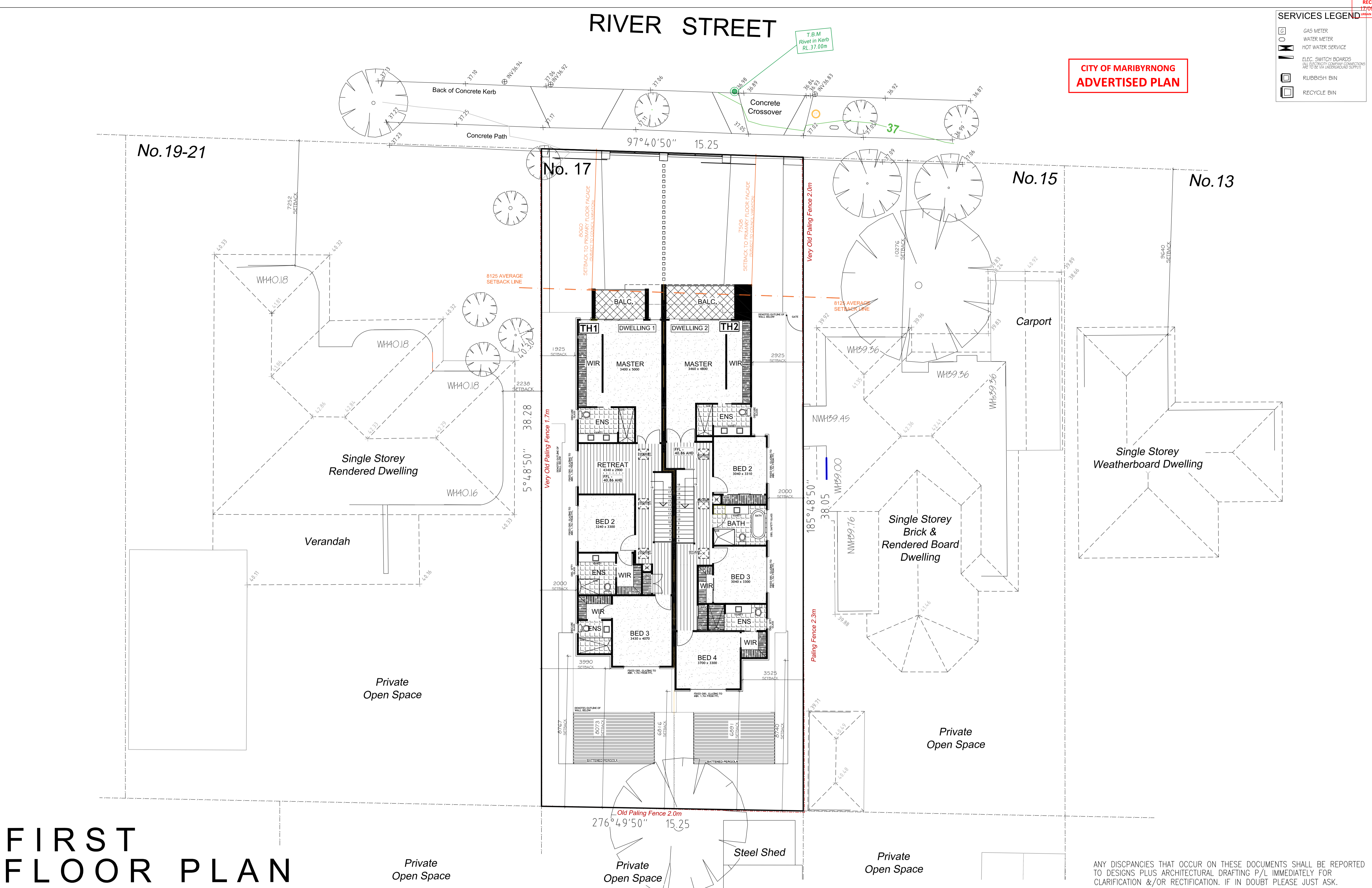


RIVER STREET

**CITY OF MARIBYRNONG
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SERVICES LEGEND

- GAS METER
- WATER METER
- HOT WATER SERVICE
- ELEC. SWITCH BOARDS
(ALL ELECTRICITY COMPANY CONNECTIONS ARE TO BE PROVIDED BY THE SUPPLIER)
- RUBBISH BIN
- RECYCLE BIN



FIRST FLOOR PLAN

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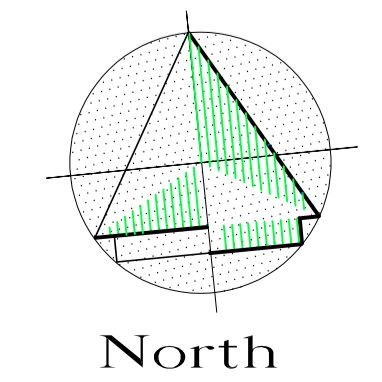
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MARIBYRNONG.**

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SERVICES LEGEND

	GAS METER
	WATER METER
	HOT WATER SERVICE
	ELEC. SWITCH BOARDS <small>ALL ELECTRICAL COMPANY CONNECTIONS ARE TO BE VIA UNDERGROUND SUPPLY</small>
	RUBBISH BIN
	RECYCLE BIN

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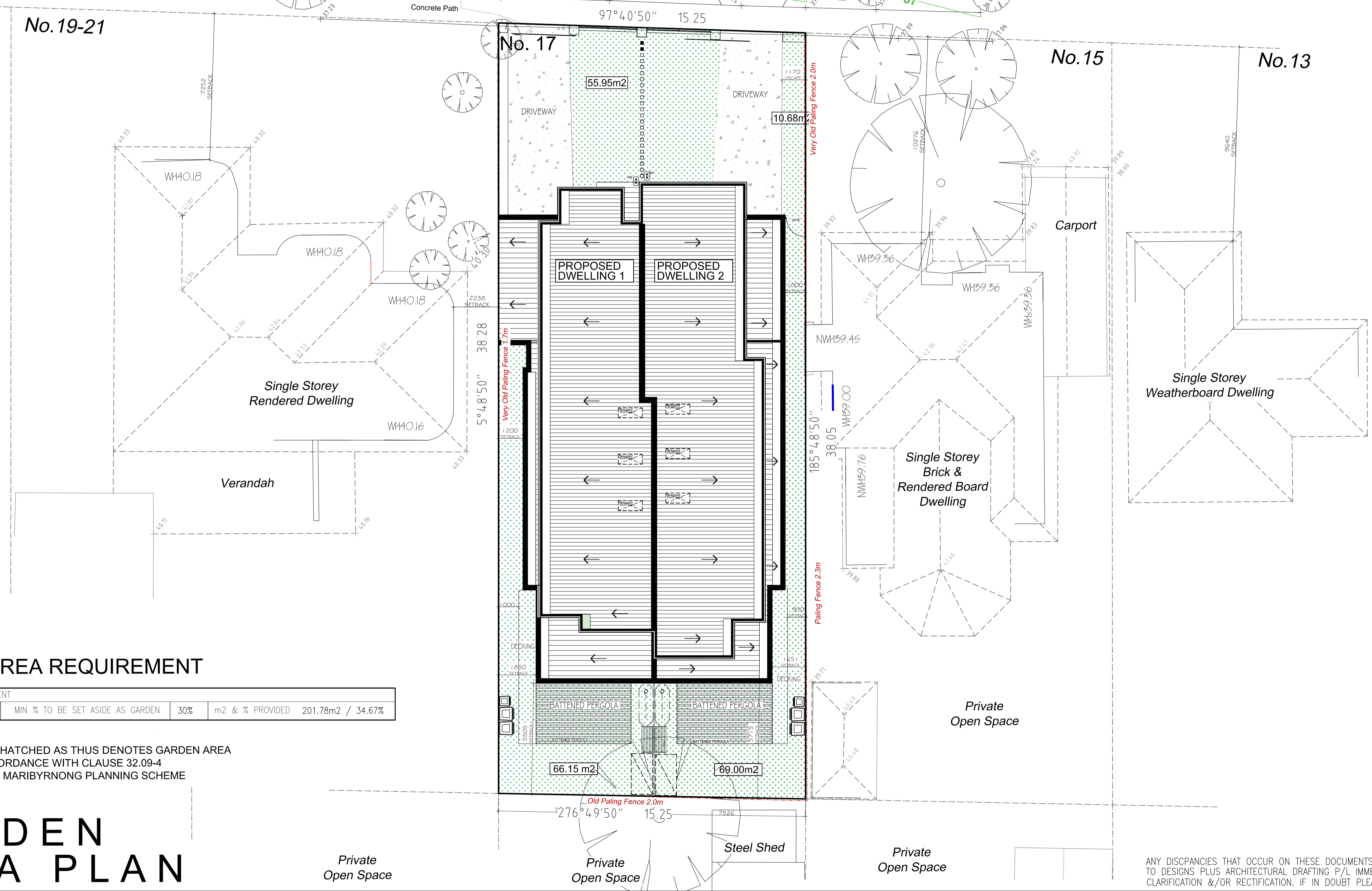
RIVER STREET

No. 19-21

No. 17

No. 15

No. 13



GARDEN AREA REQUIREMENT

GARDEN AREA REQUIREMENT					
SITE AREA	582.00m ²	MIN % TO BE SET ASIDE AS GARDEN	30%	m ² & % PROVIDED	201.78m ² / 34.67%

AREAS HATCHED AS THUS DENOTES GARDEN AREA IN ACCORDANCE WITH CLAUSE 32.09-4 OF THE MARIBYRNONG PLANNING SCHEME

GARDEN AREA PLAN

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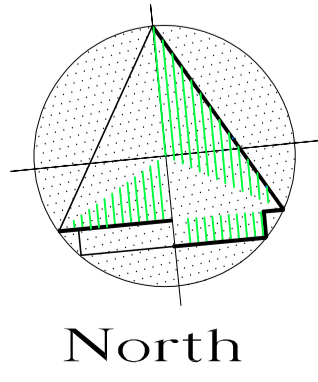
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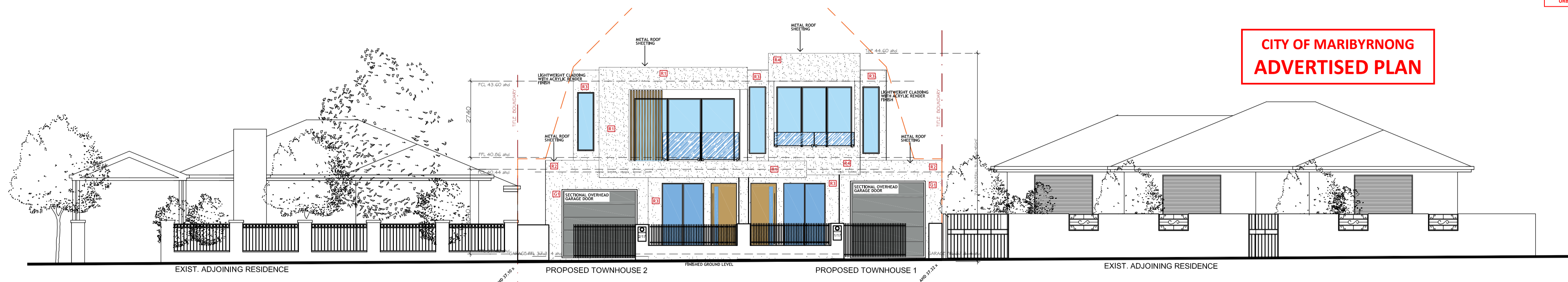
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ELEVATIONS

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RIVER STREET STREETSCAPE
NORTH ELEVATION

MATERIALS/ COLOUR / FINISHES SCHEDULE

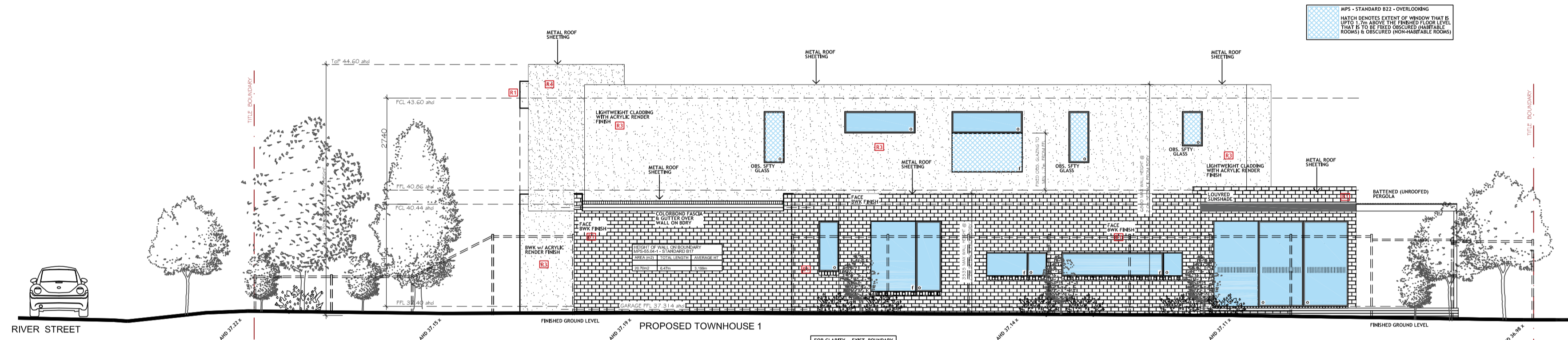
ITEM	COLOUR	DESCRIPTION
B1 - FACE BRICK	METALLIC BLACKSTONE	AUSTRAL BRICK OR SIMILAR
R1 - RENDER	SNOWY MOUNTAIN	DULUX OR SIMILAR
R2 - RENDER	TIMELESS GREY	DULUX OR SIMILAR
R3 - RENDER	TRANQUIL RETREAT	DULUX OR SIMILAR
R4 - RENDER	WESTERN MYALL	DULUX OR SIMILAR
D1 - DOWN PIPES	BASALT	COLOURBOND
W1 - WINDOWS	BASALT	ALUMINIUM FRAME
G1 - GARAGE DOOR	BASALT	COLOURBOND
D2 - DRIVEWAY	BULLA	MIDWAY - EXPOSED AGGREGATE
BF - BOUNDARY FENCE	TRANQUIL RETREAT	DULUX OR SIMILAR
RENDERED BASE BK/W/ BLACK ALUMINIUM INFILL PANELS		



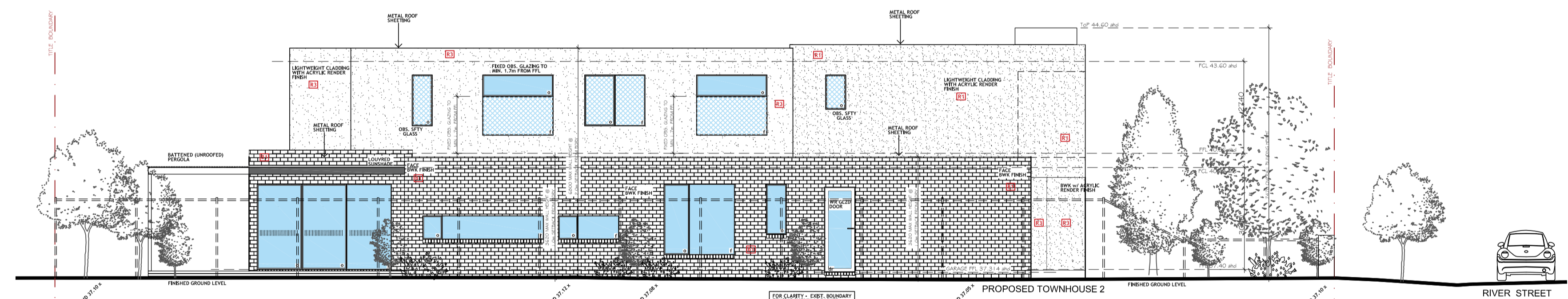
RIVER STREET STREETSCAPE
ARTIST PERSPECTIVE

Summary of Initiatives

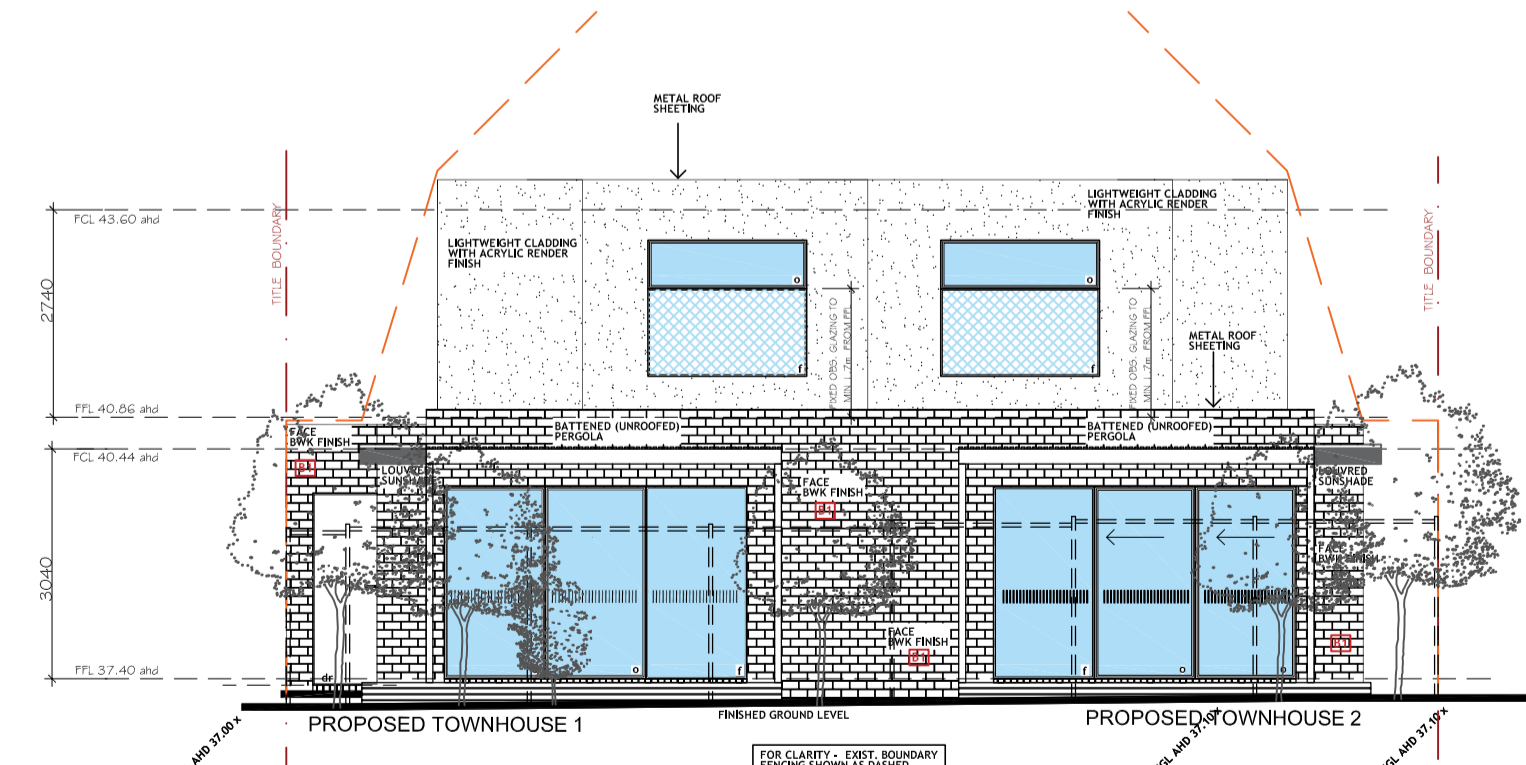
Category	Requirement
Management	80% of all construction and demolition waste to be diverted from landfill
Water Efficiency	Separate utility meter for each unit Minimum WELS rating of fittings and fixtures: 4 Star Toilets/ 5 Star Taps / 4 Star (6.0-7.5 Lit/min) Showerhead and 5 Star Dishwasher No irrigation is required after an initial period of establishment of landscaped areas - If irrigation is required, it must be connected RWV 2000L tanks for each unit collecting water from part of the roof each unit - Water to be used for toilet flushing and laundry
Energy Efficiency	Maximum 4 W/m ² lighting density within the dwelling Retractable clotheslines in POS Sensors (motion, daylight, timers) for external lighting Electric heat pump Minimum 7.0 Star NatHERS rating
Storm water	HVAC system chosen within one star of the best available 3000L tanks for each unit collecting water from part of the roof each unit - Water to be used for toilet flushing and laundry
IEQ	Double Glazing for all habitable room Separate dedicated exhaust fan for all kitchen (range-hood) dir exhausted outside All paint, adhesives, sealants and flooring to be low VOC - refer to Appendix 2 for limits All engineered wood will be low formaldehyde with E0 or better certification
Transport	One bike space per unit - Not installed over the bonnet
Waste	3-bin system (Rubbish, Recycling, FOGO) + Provision of space for future glass waste
Urban Ecology	At least 20% of the site is covered with vegetation
Materials	Timber framing if used to be certified PEFC, FSC or FSC - No rain timber to be used Steel to be sourced from steel maker with ISO 14001 facility a member of the World Steel Association's (WSA) Climate Action Program Carpet and underlay with third-party sustainable certification (Carpet Institute ECS etc.)



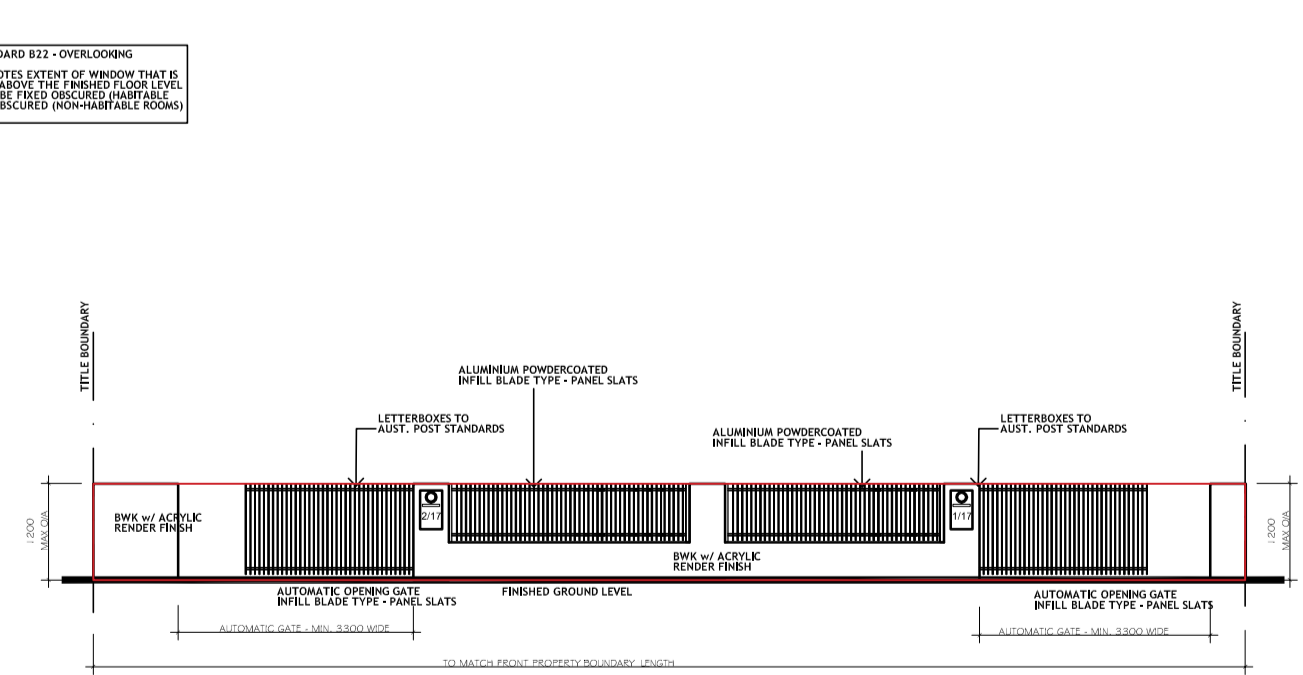
WEST ELEVATION



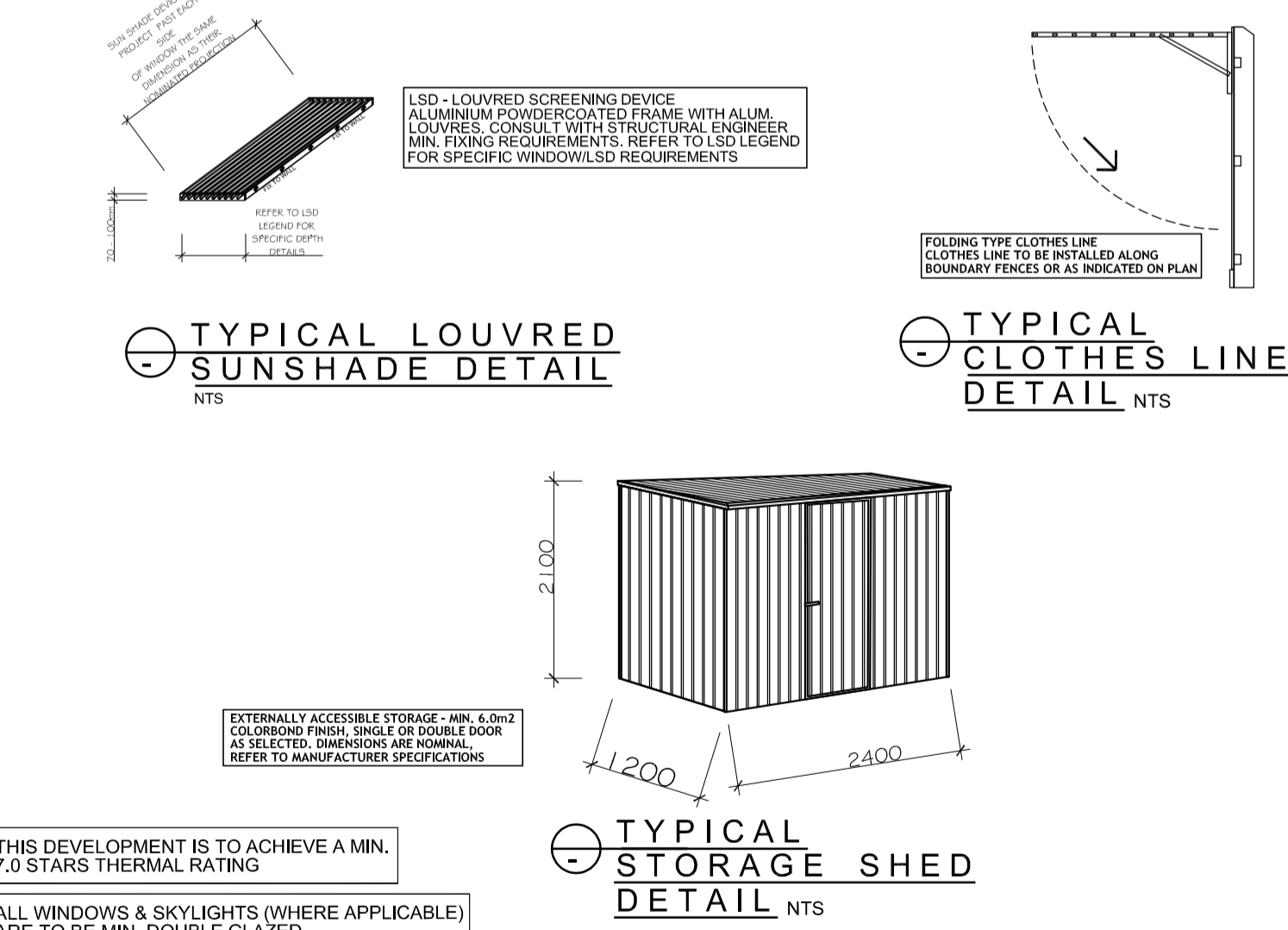
EAST ELEVATION



SOUTH ELEVATION



FRONT FENCE DETAIL
RIVER STREET FRONTAGE



- NOTE: LOW EMISSION PAINTS & SEALANTS WILL BE USED ON 95% OF INTERNAL & EXTERNAL PAINTED SURFACES (WHERE POSSIBLE & FEASIBLE)
- NOTE: A REMOTE OPENING GARAGE DOOR MUST BE PROVIDED TO EACH DWELLING
- NOTE: THE LOCATION OF ALL SERVICE METERS ARE TO GENERALLY BE LOCATED IN THE FRONT OF EACH DWELLING
- ELECTRICITY CONNECTION NOTE: ALL ELEC. COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED AS UNDERGROUND SERVICES
- CIVIL NOTE: ALL STORMWATER INFRASTRUCTURE IS TO BE LOCATED WITHIN DRIVEWAYS & NOT IN AREAS SET ASIDE FOR LANDSCAPING.
- SOLAR HOT WATER NOTE: THE DEVELOPMENT WILL INCORPORATE THE USE OF SOLAR PANEL HW SYSTEMS IN ACCORDANCE WITH NATHERS REQUIREMENTS
- PLANT & EQUIPMENT NOTE: THE POSITIONING OF ALL PLANT & EQUIPMENT (INCL. A/C, HEATING UNITS & HOT WATER SYSTEMS ETC) WHICH ARE PROPOSED TO BE LOCATED EXTERNALLY, MUST BE POSITIONED TO PREVENT UNREASONABLE NOISE & VISUAL IMPACT.

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North

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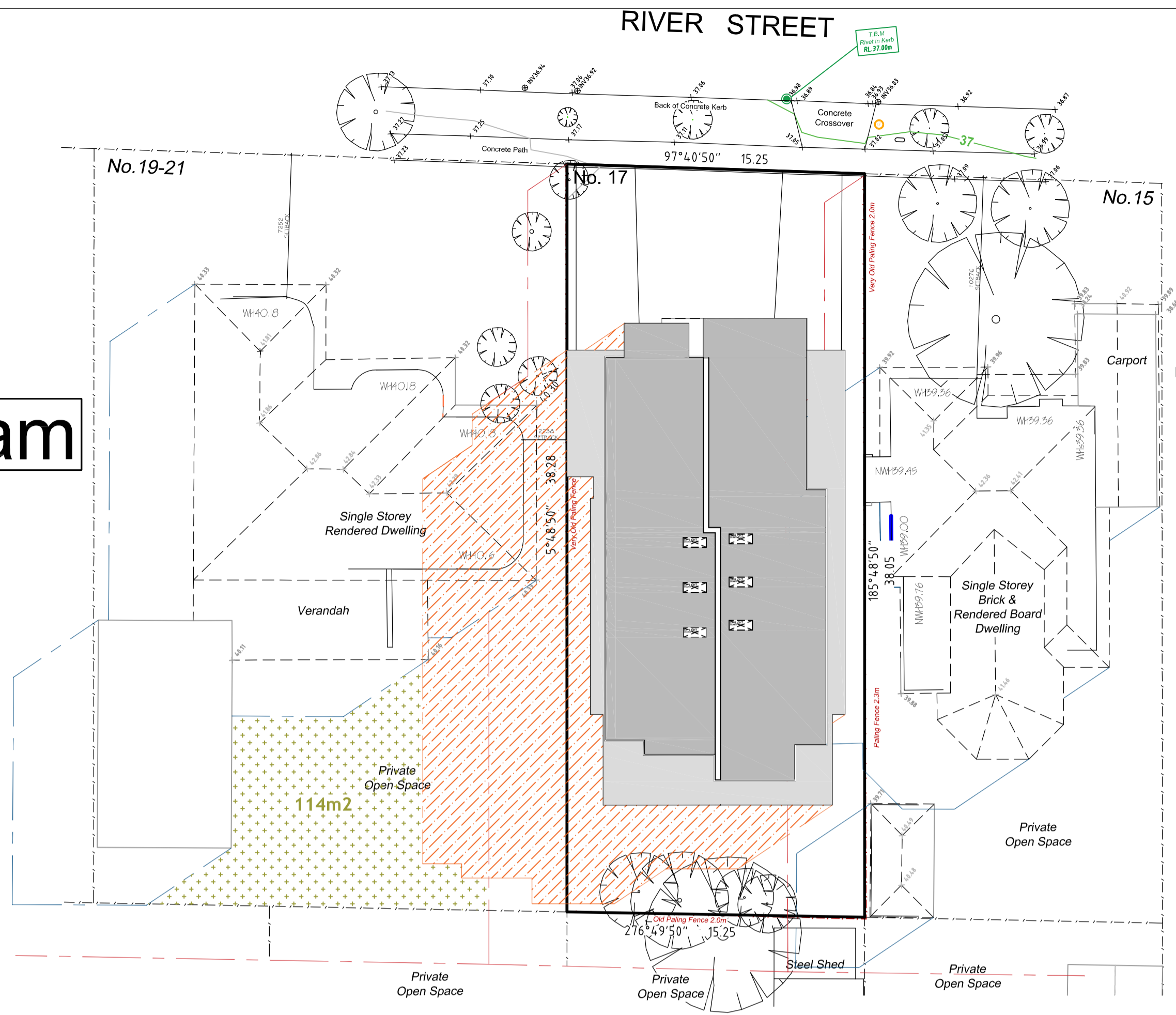
PROPOSED 2 TOWNHOUSE DEVELOPMENT

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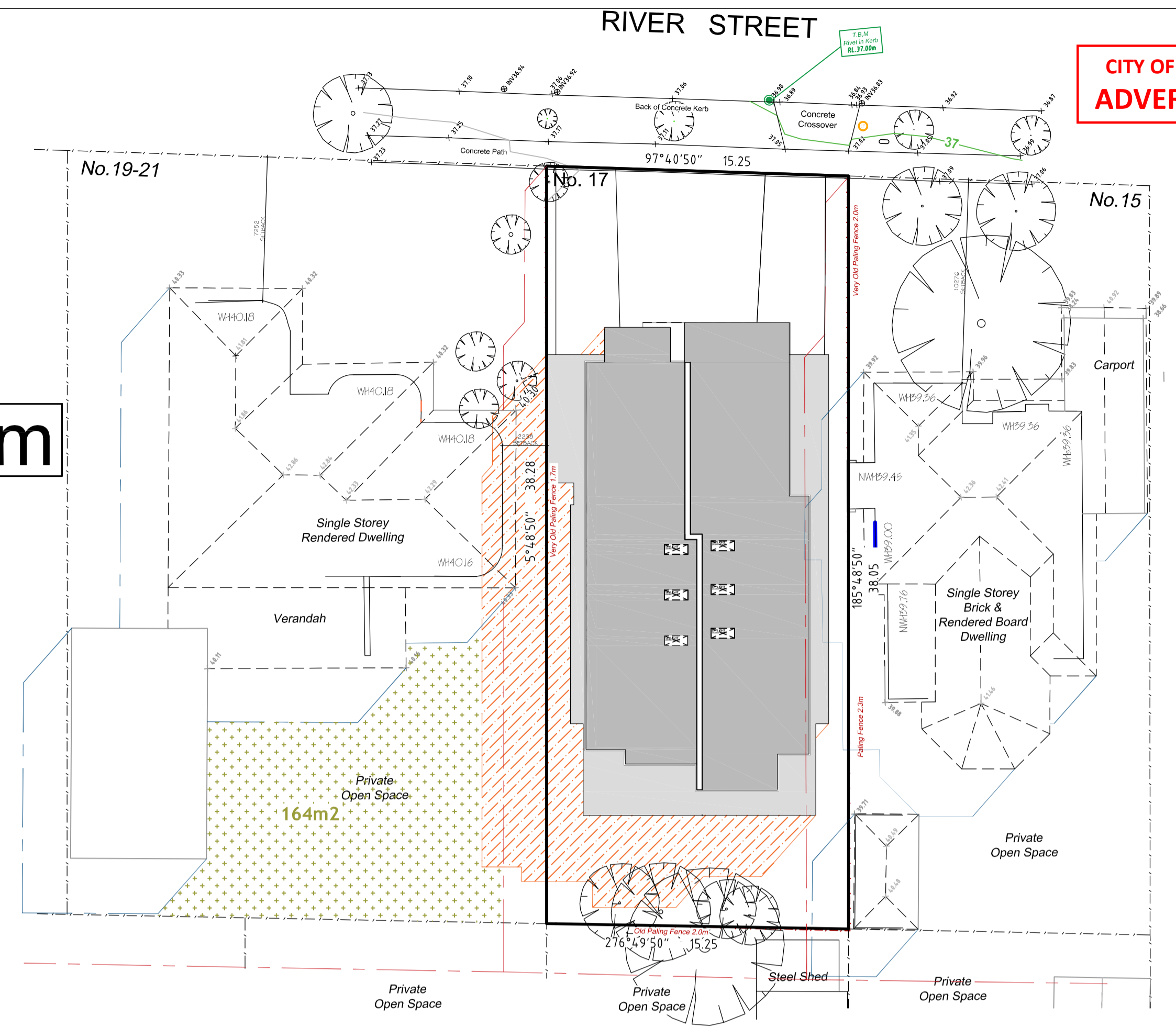
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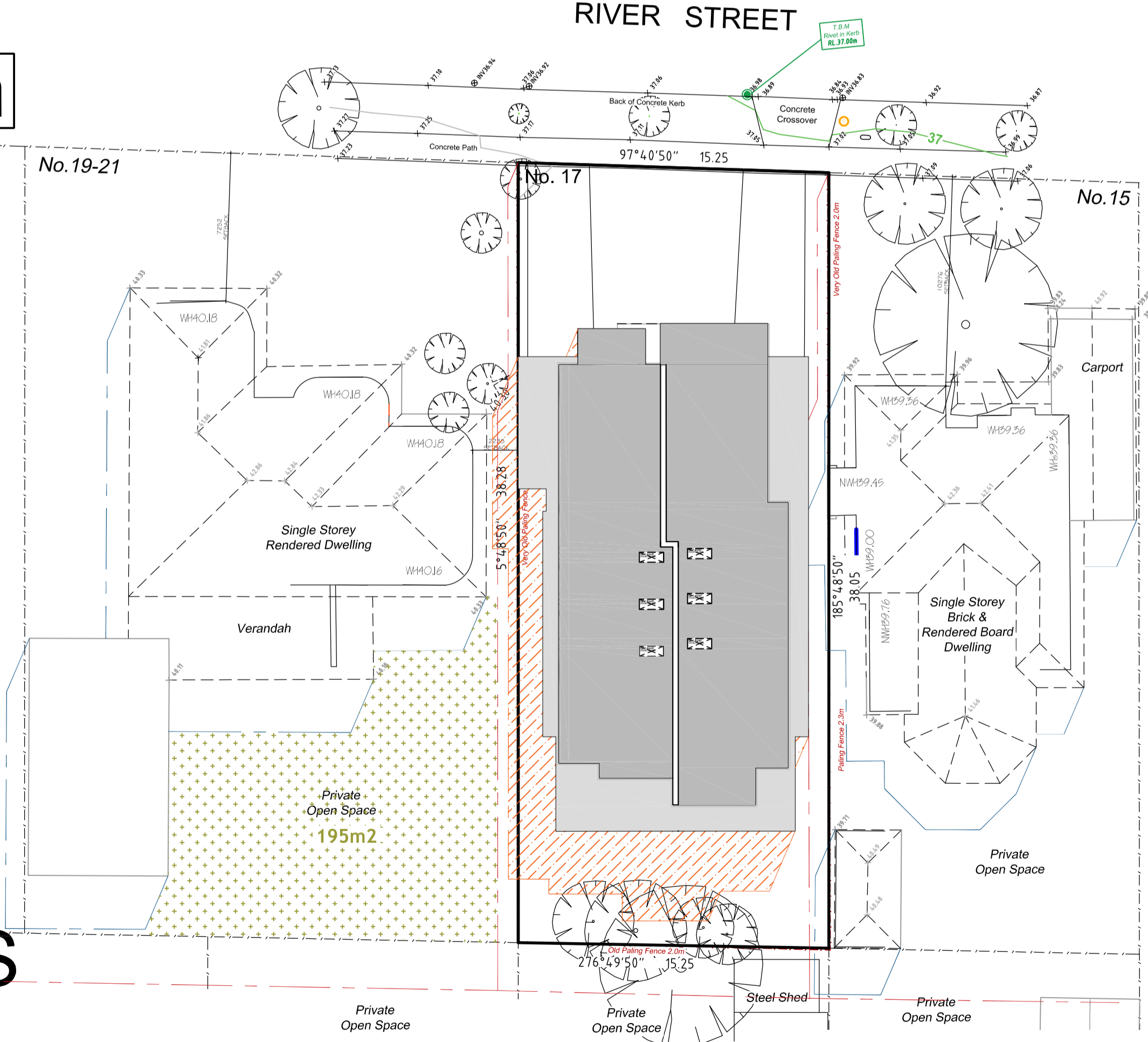
9am



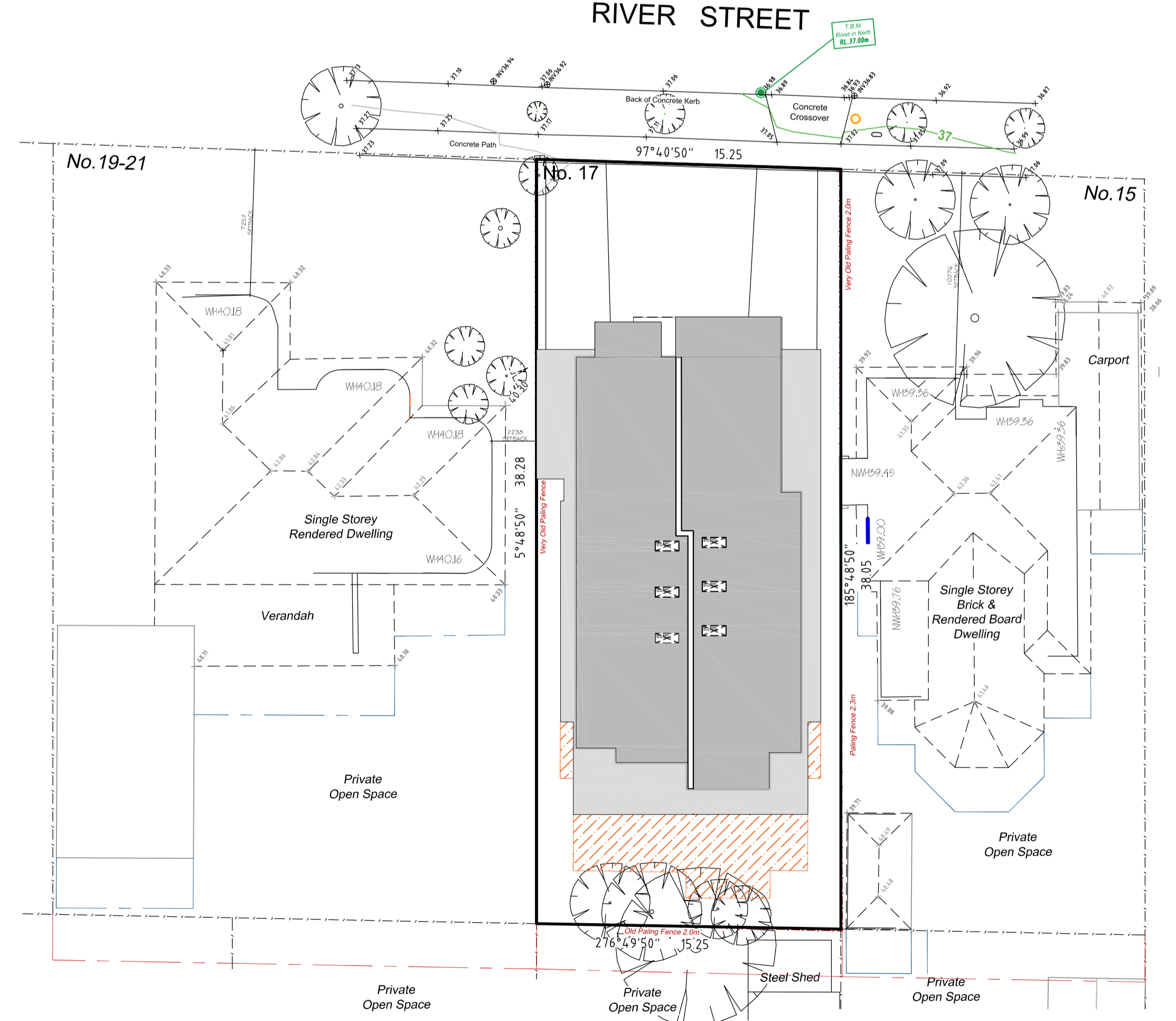
10am



11am



12pm



HATCH DENOTES ADJ. RESIDENCE'S EXISTING SPDS AREA WHICH MEASURES OVER 3.0m WIDE THAT IS AFFECTED BY ANY ADDITIONAL SHADOWS FROM THE PROPOSED DEVELOPMENT
PROPOSED DEVELOPMENT DOES NOT SIGNIFICANTLY INCREASE ANY ADDITIONAL SHADOWING TO THE ADJ. DWELLINGS SPDS. ALL ADJ. DWELLINGS STILL ACHIEVE MIN. SUNLIGHT REQUIREMENTS IN ACCORDANCE WITH MPS 54-04.05

LEGEND
DENOTES MAXIMUM SHADOW CAST FROM PROPOSED RESIDENCES (GROUND & FIRST FLOOR EXTENT) ON THE SEPTEMBER EQUINOX DURING THE HOURS DENOTED
DENOTES SHADOW CAST FROM EXIST. BDRY FENCES ON THE SEPTEMBER EQUINOX DURING THE HOURS DENOTED
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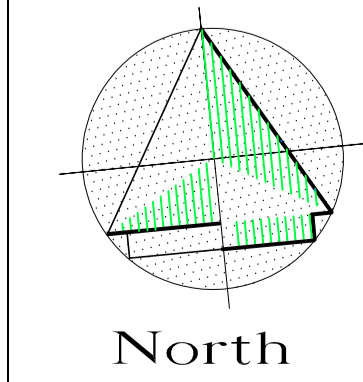
SHADOW DIAGRAMS
SEPTEMBER 22 (EQUINOX)

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RIVER STREET

RIVER STREET

1pm

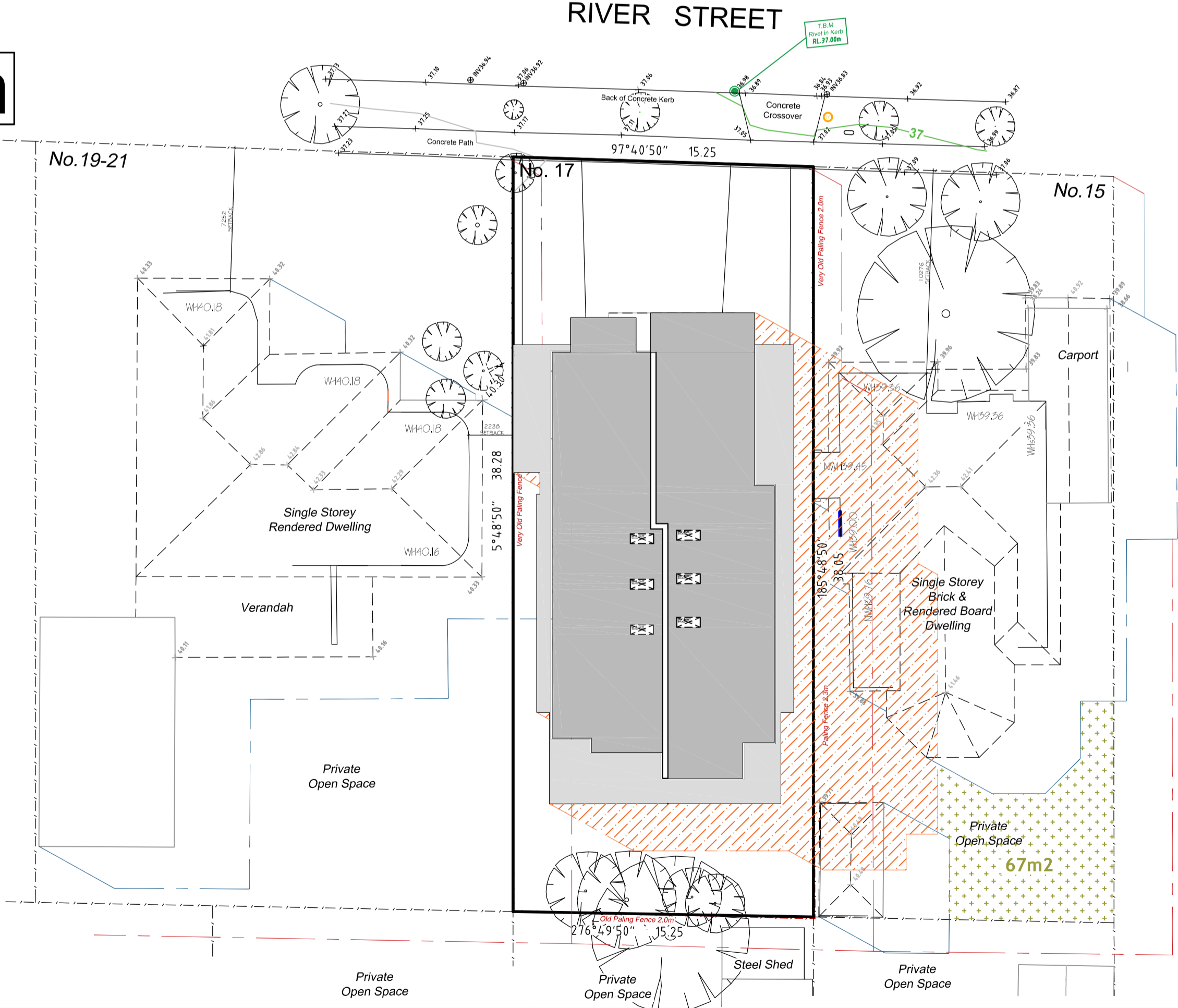
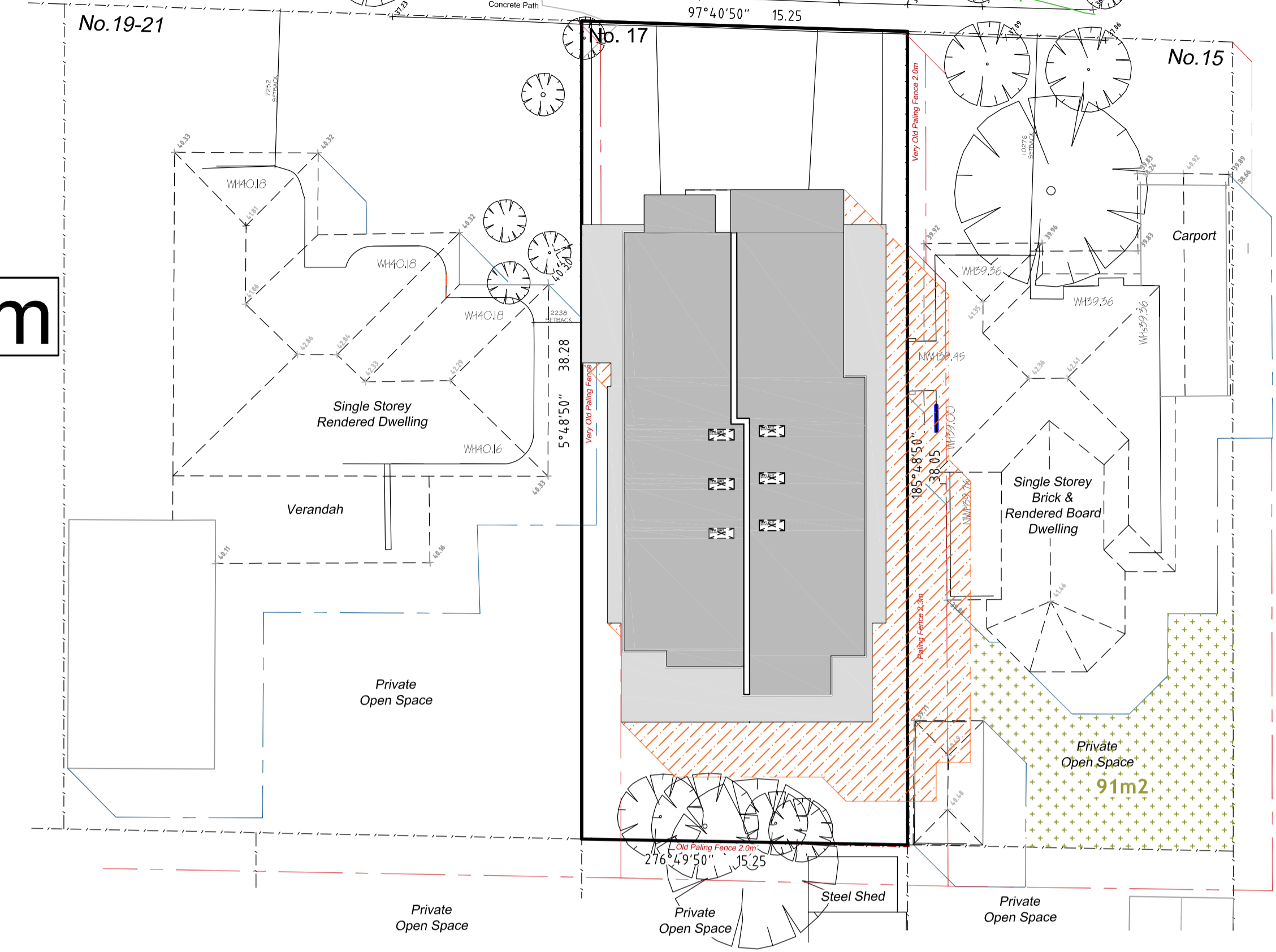
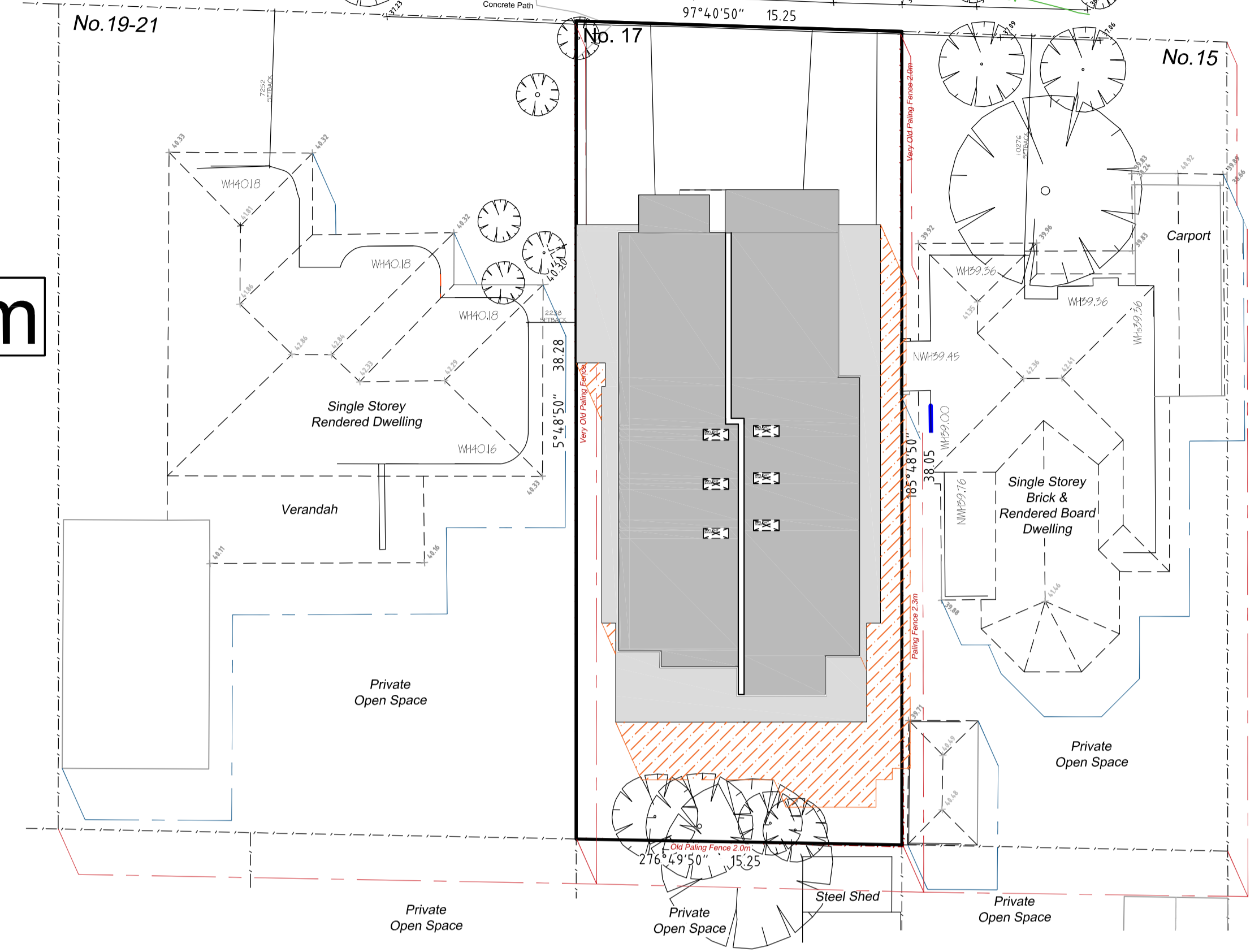
2pm

3pm

HATCH DENOTES ADJ. RESIDENCE'S EXISTING SPOS AREA WHICH MEASURES OVER 3.0m WIDE THAT IS AFFECTED BY ANY ADDITIONAL SHADOWS FROM THE PROPOSED DEVELOPMENT
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DENOTES SHADOW CAST FROM EXIST. ADJ. RESIDENCE ON THE SEPTEMBER EQUINOX DURING THE HOURS DENOTED

SHADOW DIAGRAMS
SEPTEMBER 22 (EQUINOX)



OVERSHADOWING TO 19-21 River Street MARIBYRNONG

HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE Yes/No
9:00 AM	155 sqm	114 sqm	41 m2	Y
10:00 AM	178 sqm	164 sqm	14 m2	Y
11:00 AM	195 sqm	195 sqm	0 m2	N
12:00 PM	209 sqm	209 sqm	0 m2	N
1:00 PM	191 sqm	191 sqm	0 m2	N
2:00 PM	175 sqm	175 sqm	0m2	N
3:00 PM	156 sqm	156 sqm	0 m2	N

OVERSHADOWING TO 15 River Street MARIBYRNONG

HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE (m2 & %)	CHANGE Yes/No
9:00 AM	180 sqm	180 sqm	0 m2	N
10:00 AM	170 sqm	170 sqm	0m2	N
11:00 AM	134 sqm	134 sqm	0m2	N
12:00 PM	142 sqm	142 sqm	0m2	N
1:00 PM	121sqm	121 sqm	0m2	N
2:00 PM	96 sqm	91 sqm	5 m2	Y
3:00 PM	81 sqm	67 sqm	14 m2	Y

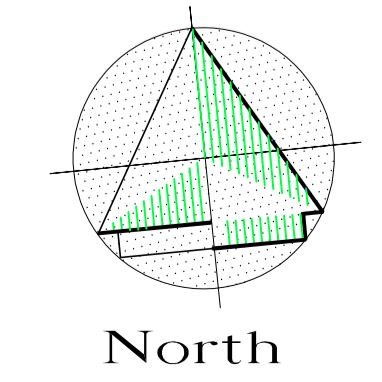
NO.	REVISION	DATE	NO.	REVISION	DATE
FIR	FURTHER INFORMATION REVISIONS	17.09.24	-	-	-

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PROPOSED 2 TOWNHOUSE DEVELOPMENT
AT : 17 RIVER STREET, MARIBYRNONG.
FOR: LN HOMES

Designed : J.C.	Drawn : J.C.	Checked : J.C.
Drawing Scale:	1:200	
Date of Issue:	JULY,2024	
Job No.	Sheet No.	Revision:
24-877	TP07	FIR



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CITY OF MARIBYRNONG
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WARNING
BEWARE OF UNDERGROUND SERVICES WHEN WORKS ARE DONE ONSITE. THIS SURVEY PLAN DOES NOT SHOW THE POSITION OF UNDERGROUND SERVICES AND NO ATTEMPT HAS BEEN MADE TO VERIFY OR POSITION THE LOCATION OF UNDERGROUND SERVICES IN THE AREA OF SURVEY. IT IS ADVISED THAT BEFORE ANY WORKS ARE PERFORMED ONSITE AN APPLICATION SHOULD BE MADE TO 'DIAL BEFORE YOU DIG' TO REVIEW AND VERIFY UNDERGROUND SERVICES IN THE AREA OF SURVEY. THERE IS NO GUARANTEE THAT ALL SERVICES HAVE BEEN LOCATED BY THIS SURVEY AND SHOWN ON THIS PLAN.

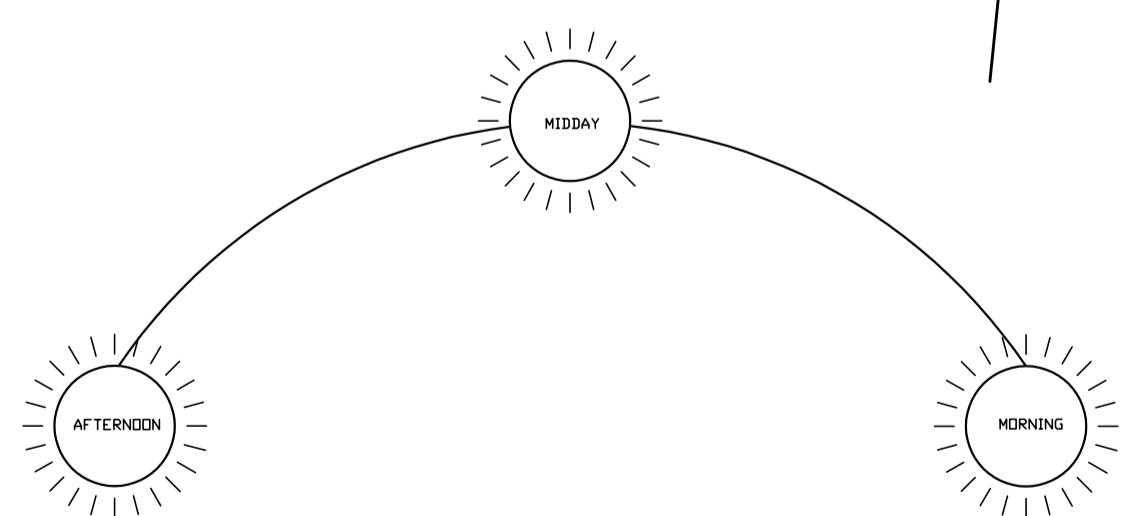
**CITY OF MARIBYRNONG
ADVERTISED PLAN**



DESIGN RESPONSE

- 1** -Maintains the rhythm of articulation from the street setbacks & building styles with the surrounding area. The proposed Development's setback & built form maintains the generous front open space area in front of the dwellings that will provide ample opportunity for meaningful landscaping which shall include Canopy Trees, to maintain the garden style setting of the immediate area.

-Encourages interaction between the new development and the street.
-Maintain consistent orientation with adjoining neighbours.
- 2** There is a transition in height consistent with the area which adds aesthetic value and provides articulation to the site.
- 3** River Street & surrounding streets are not a cohesive streetscape, they contain a number of building types and styles of various with controls as well as single storey and two storey buildings nearby. The proposal is a form of development that fits in well with diverse surrounding streetscapes, housing styles & built forms.
The proposed front ground floor setbacks of 8.93m & 8.71m to the respective dwellings, maintains the streetscape setback pattern, whilst a side setback to dwelling 2 of 1.0m has been provided to also maintain appropriate setback patterns of the surrounding streetscape.
- 4** The distinctive facades of each dwelling & provides interesting facades to reinforce the street rhythm and form. The detached form is provided by increased façade articulation an interpretation & reflect the surrounding dwellings double & triple frontages.
- 5** The layout ensures that:
 - A safe, attractive, and functional setting is provided for future residences.
 - A sense of space and address is provided for each dwelling
 - Vehicles can enter and exit the site safely.
- 6** Open space areas with sufficient setbacks to allow for solar access from the north orientation.
- 7** Proposed front boundary fencing is of a low scale brickwork & piers with aluminium infill panels, maintains a minimum 65% transparent visual connection & allowing the front open spaces to be visually connected with the public realm.



**DESIGN RESPONSE
PLAN**

Note – Although every endeavour has been made to provide correct dimensions & details of adjoining properties it is a policy of Designs Plus Architectural Drafting and It's consultants that it shall not to trespass onto properties unless express written consent is provided. Where consent is not given estimates are provided.

	NO.	REVISION	DATE	NO.	REVISION	DATE	<p>DESIGNS PLUS ARCHITECTURAL DRAFTING P/L.</p> <p>3 Henry Court, Caroline Springs. VIC 3023 Telephone: (03) 9449 5700 E-Mail: info@designsplus.com.au www.designsplus.com.au</p> <p>Designs Plus Architectural Drafting Pty Ltd (ACN: 082 201 492)</p>	<p>PROPOSED 2 TOWNHOUSE DEVELOPMENT</p> <p>AT : 17 RIVER STREET, MARIBYRNONG.</p> <p>FOR: LN HOMES</p>	Designed : J.C.	Drawn : J.C.	Checked : J.C.
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