

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



AREA SCHEDULE

	GFA (EX GAR)	GARAGE	PORCH/ALF	TOTAL
GROUND FLOOR	263.3 m ²	45.7 m ²	30.6 m ²	339.6 m ²
FIRST FLOOR	221.7 m ²	-	-	221.7 m ²
	485.0 m ²	45.7 m ²	30.6 m ²	561.3 m ²

PRIVATE OPEN SPACE

SPOS	POS	TOTAL	CAR SPACES
145.1 m ²	159.5 m ²	304.6 m ²	2

DEVELOPMENT SUMMARY

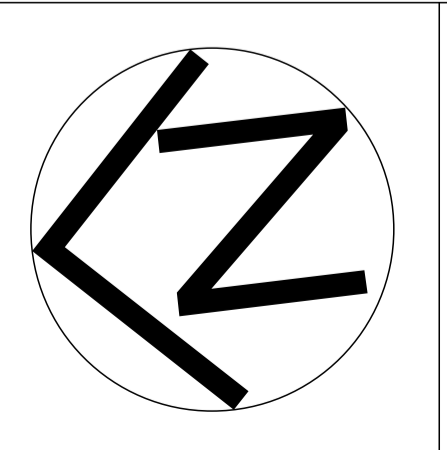
	EXISTING	PROPOSED
SITE AREA (TITLE)	696.8 m ²	696.8 m ²
SITE COVERAGE AREA	153.7 m ² (22.1%)	365.8 m ² (52.5%)
PERMEABLE AREA	463.2 m ² (66.5%)	272.9 m ² (39.2%)
NON PERMEABLE AREA	233.6 m ² (33.5%)	423.9 m ² (60.8%)
NUMBER OF DWELLING(S)	1	1
PERCENTAGE OF LOT SET ASIDE AS GARDEN AREA		290.8 m ² (41.7%)

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PROJECT
**PROPOSED HOUSE
30 PRIDHAM STREET
MARIBYRNONG VIC 3032**

CLIENT

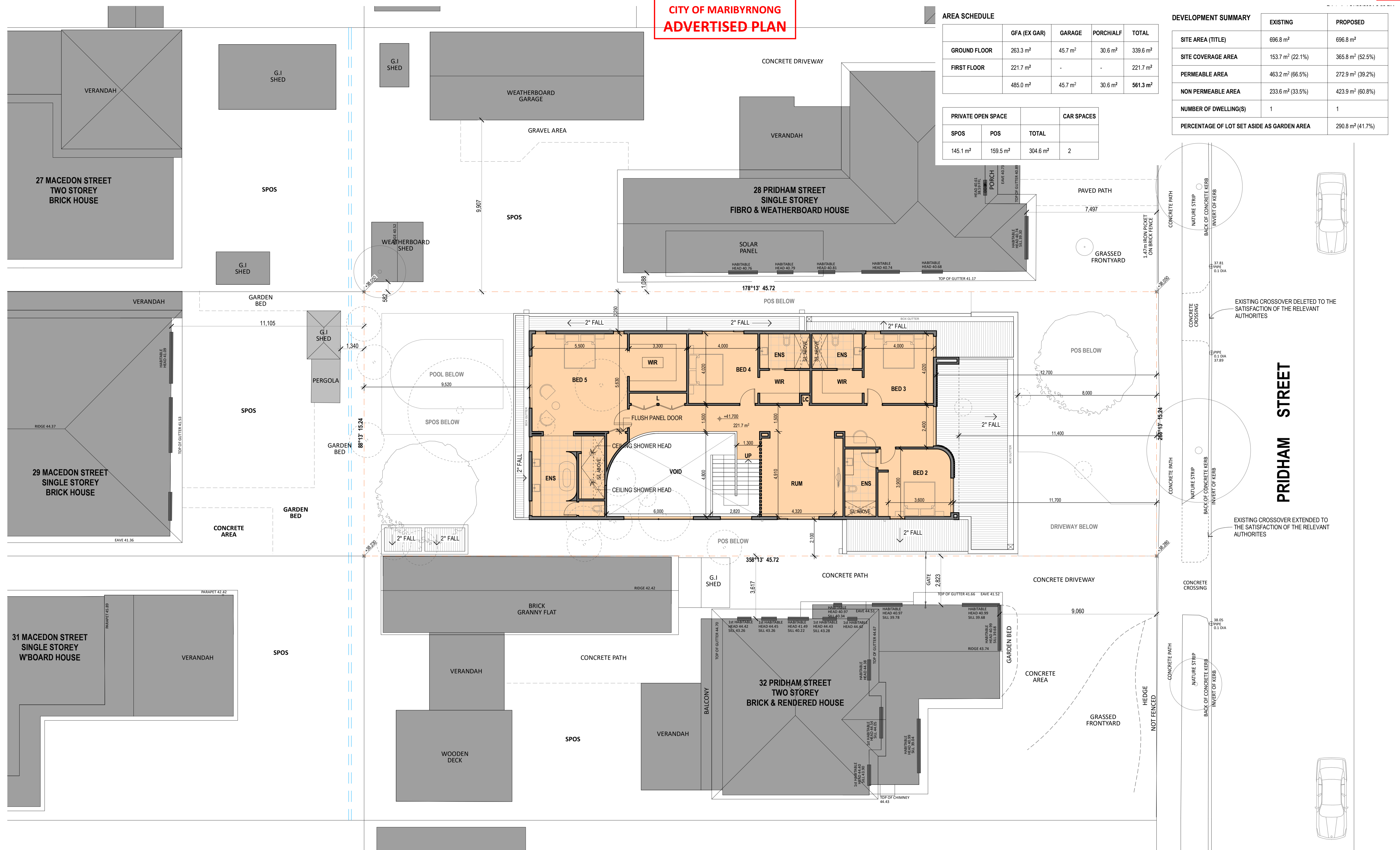


REV. NO.	DATE	AMENDMENTS / ISSUE	DRAWN
A	16/05/24	TOWN PLANNING APPLICATION SUBMISSION	DT
B	30/07/24	RFI RESPONSE	EL

DRAWING
GROUND FLOOR PLAN

SCALE	DATE
1:100 @ A1; 1:200 @ A3	JUL 2024
DRAWN DT	CHECKED TL
PROJECT STATUS	JOB NO. 23054
	DRAWING NO. TP-05
	REV. NO. B

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



AREA SCHEDULE

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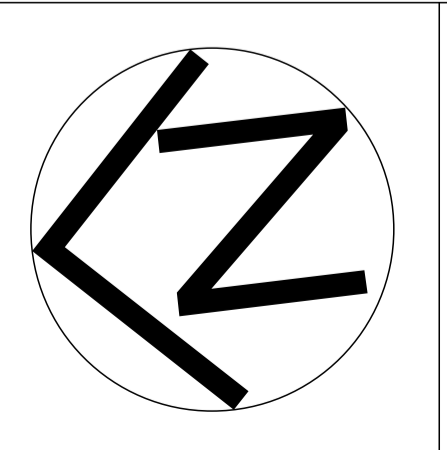
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PROJECT
**PROPOSED HOUSE
30 PRIDHAM STREET
MARIBYRNONG VIC 3032**

CLIENT

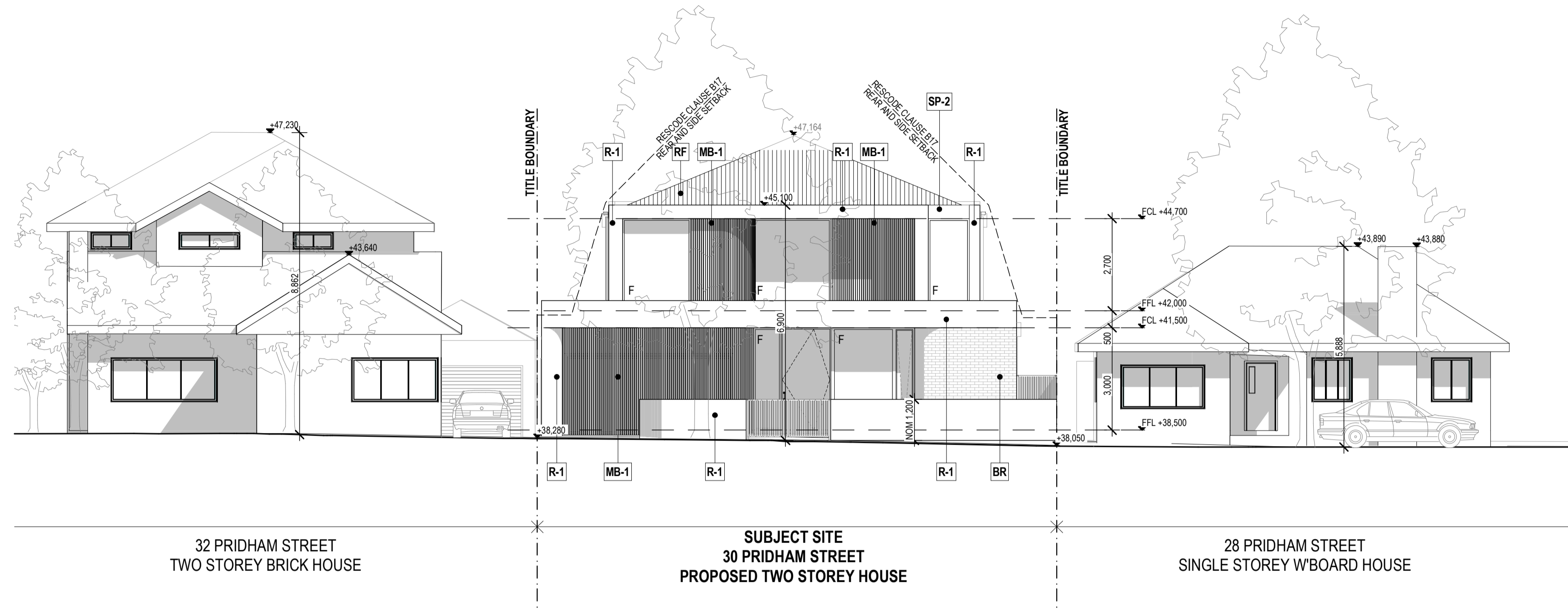


REV. NO.	DATE	AMENDMENTS / ISSUE	DRAWN
A	16/05/24	TOWN PLANNING APPLICATION SUBMISSION	DT
B	30/07/24	RFI RESPONSE	EL

DRAWING
FIRST FLOOR PLAN

SCALE		DATE
1:100 @ A1; 1:200 @ A3		JUL 2024
DRAWN	CHECKED	JOB NO.
DT	TL	23054
PROJECT STATUS	DRAWING NO.	REV. NO.
TOWN PLANNING	TP-06	B

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

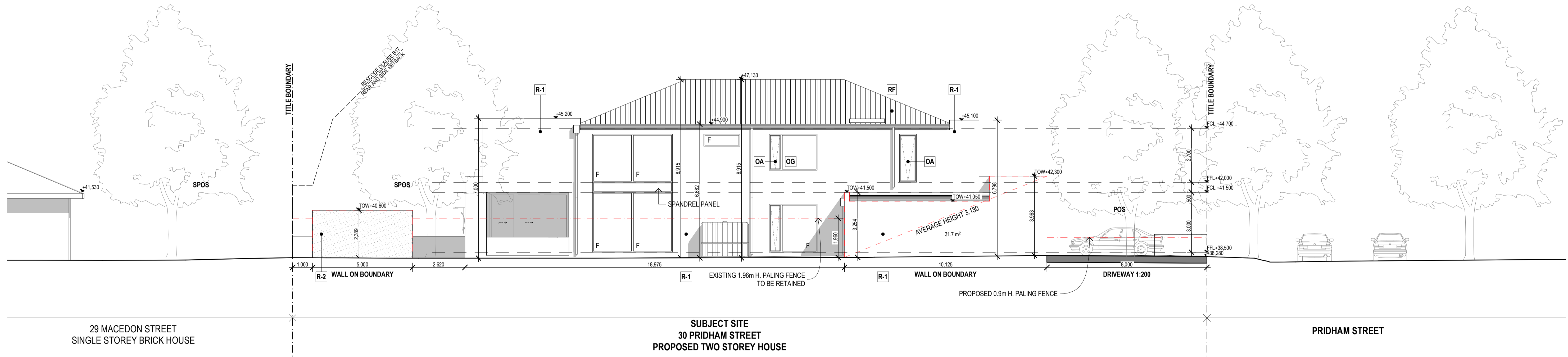


FINISHES LEGEND

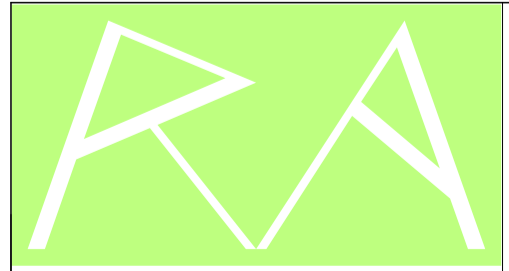
BUILDING SUBSTRATE & FINISH	
R-1	COLOUR (WHERE APPLICABLE)
R	RENDER FINISH
BR	FACE BRICK (WHITE)
MB	METAL BATTEN
PC	POWDER COATING METAL
RF	COLORBOND ROOF (SURFMIST)
OG	FIX OPAQUE GLASS
OA	OPAQUE AWNING WINDOW WITH RESTRICTED OPENING OF NO MORE THAN 125mm

1. COLOUR 1 - OFF WHITE
2. COLOUR 2 - DARK GREY

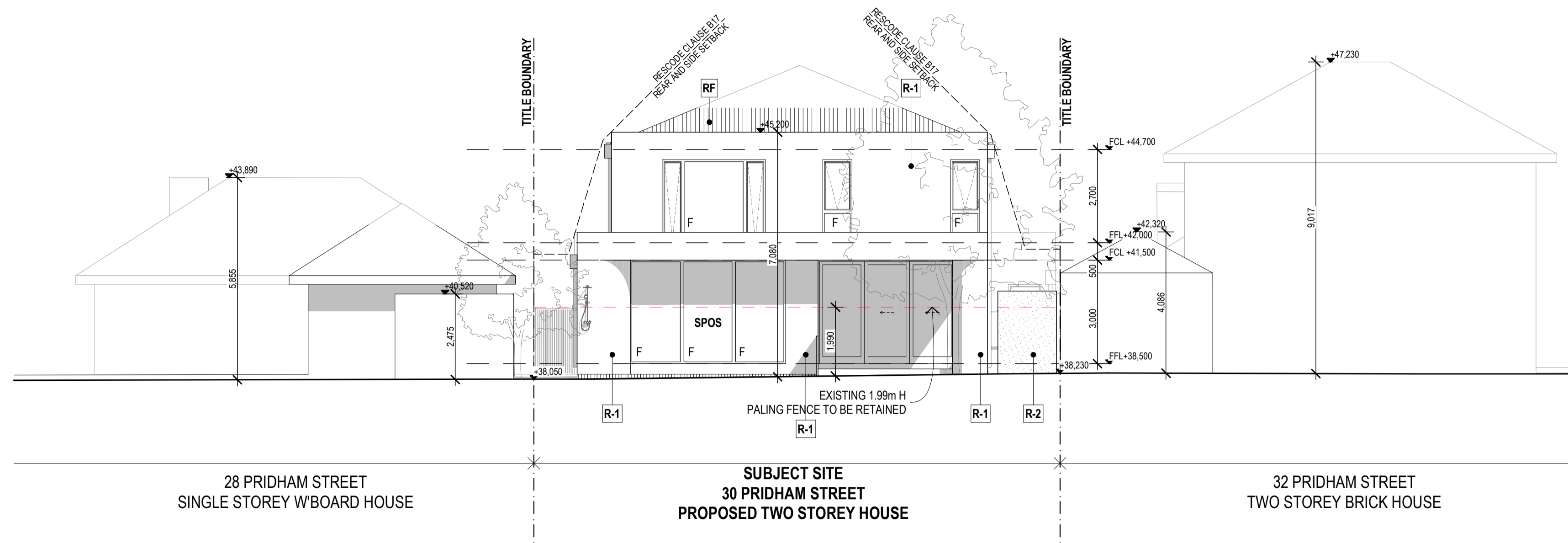
SOUTH ELEVATION
1:100 @ A1; 1:200 @ A3



WEST ELEVATION
1:100 @ A1; 1:200 @ A3

 <p>YBL REMMUS ABN 96 603 071 969 A: 26/374-376 Lygon Street Brunswick East 3057 T: + 613 8538 2699 F: + 613 8538 2600 E: remmus.architecture@yblgroup.com.au</p>	<p>Do not scale from these drawings. Verify all dimensions on site before commencing construction or shop drawings. This drawing is copyright. No part may be reproduced or otherwise dealt with without the permission of the Architect.</p>	<p>PROJECT PROPOSED HOUSE 30 PRIDHAM STREET MARIBYRNONG VIC 3032</p>	<p>A 16/05/24 TOWN PLANNING APPLICATION SUBMISSION DT B 30/07/24 RFI RESPONSE EL</p>	<p>DRAWING SOUTH AND WEST ELEVATIONS</p>	<p>SCALE 1:100 @ A1; 1:200 @ A3</p>	<p>DATE JUL 2024</p>	
		<p>CLIENT ---</p>	<p>REV. NO. DATE AMENDMENTS / ISSUE DRAWN</p>	<p>PROJECT STATUS</p>	<p>DRAWN DT</p>	<p>CHECKED TL</p>	<p>JOB NO. 23054</p>
		<p>TOWN PLANNING</p>	<p>TP-09</p>	<p>DRAWING NO. TP-09</p>	<p>REV. NO. B</p>	<p>PROJECT STATUS</p>	<p>JOB NO. 23054</p>
		<p>TOWN PLANNING</p>	<p>TP-09</p>	<p>DRAWING NO. TP-09</p>	<p>REV. NO. B</p>	<p>PROJECT STATUS</p>	<p>JOB NO. 23054</p>
		<p>TOWN PLANNING</p>	<p>TP-09</p>	<p>DRAWING NO. TP-09</p>	<p>REV. NO. B</p>	<p>PROJECT STATUS</p>	<p>JOB NO. 23054</p>

CITY OF MARIBYRNONG ADVERTISED PLAN



FINISHES LEGEND

— BUILDING SUBSTRATE & FINISH

R-1 — COLOUR (WHERE APPLICABLE)

R RENDER FINISH

BR FACE BRICK (WHITE)

MB METAL BATTEN

PC POWDER COATING METAL

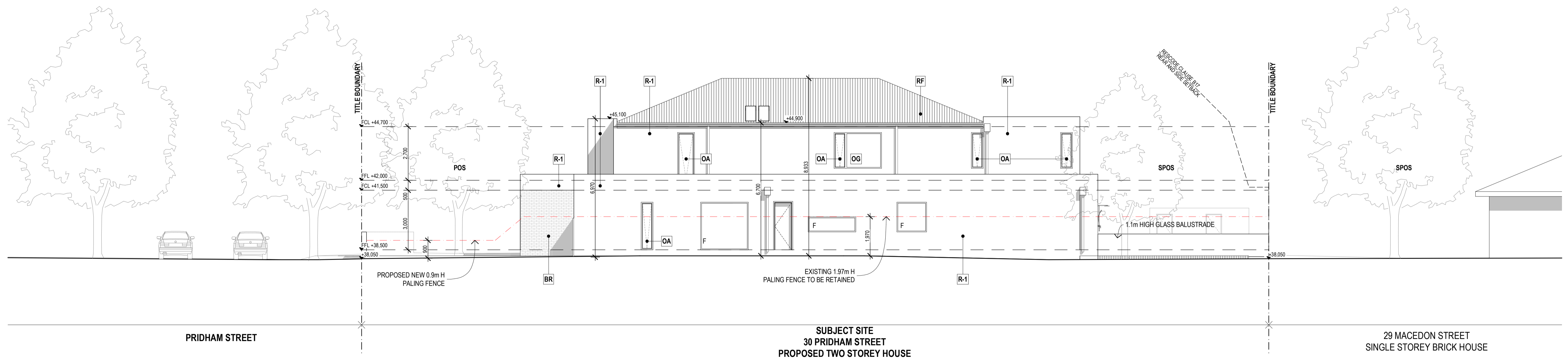
RF COLORBOND ROOF (SURFMIST)

OG FIX OPAQUE GLASS

OA OPAQUE AWNING WINDOW WITH RESTRICTED OPENING OF NO MORE THAN 125mm

1. COLOUR 1 - OFF WHITE
2. COLOUR 2 - DARK GREY

NORTH ELEVATION
1:100 @ A1; 1:200 @ A3



EAST ELEVATION
1:100 @ A1; 1:200 @ A3

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PROJECT
PROPOSED HOUSE
30 PRIDHAM STREET
MARIBYRNONG VIC 3032

CLIENT

REV. NO.	DATE	AMENDMENTS / ISSUE	DRAWN
A	16/05/24	TOWN PLANNING APPLICATION SUBMISSION	DT
B	30/07/24	RFI RESPONSE	EL

DRAWING
NORTH AND EAST ELEVATIONS

SCALE 1:100 @ A1; 1:200 @ A3	DATE JUL 2024
DRAWN DT	CHECKED TL
PROJECT STATUS TOWN PLANNING	JOB NO. 23054
	DRAWING NO. TP-10
	REV. NO. B

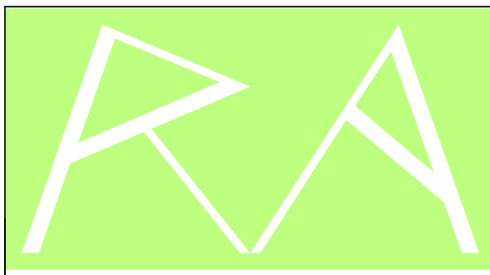
CITY OF MARIBYRNONG
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RENDER FINISH
COLOUR 1: OFF WHITE

FACE BRICK
COLOUR: WHITE

COLORBOND ROOF
COLOUR: SURFMIST



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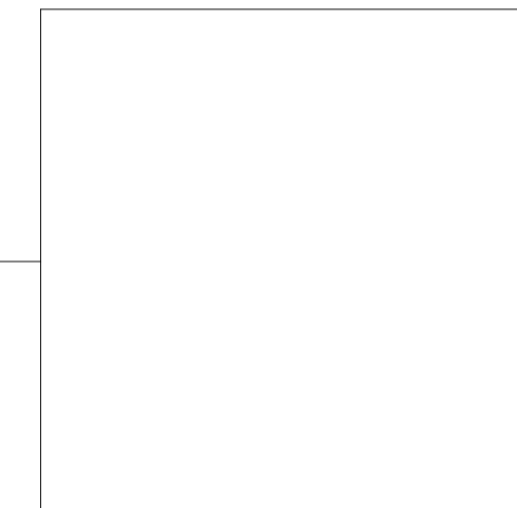
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PROJECT	PROPOSED HOUSE 30 PRIDHAM STREET MARIBYRNONG VIC 3032
CLIENT	----

A	16/05/24	TOWN PLANNING APPLICATION SUBMISSION	DT
B	30/07/24	RFI RESPONSE	EL
REV. NO.	DATE	AMENDMENTS / ISSUE	DRAWN

DRAWING	PERSPECTIVES & MATERIAL PALETTE 1
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SCALE	N/A	DATE	JUL 2024
DRAWN	CHECKED	JOB NO.	23054
DT	TL	PROJECT STATUS	TOWN PLANNING
		DRAWING NO.	TP-14
		REV. NO.	B



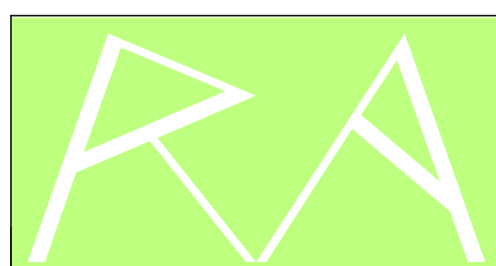
RENDER FINISH
 COLOUR 1: OFF WHITE



FACE BRICK
 COLOUR: WHITE



COLORBOND ROOF
 COLOUR: SURFMIST



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PROJECT
 PROPOSED HOUSE
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CLIENT

A	16/05/24	TOWN PLANNING APPLICATION SUBMISSION	DT
B	30/07/24	RFI RESPONSE	EL
REV. NO.	DATE	AMENDMENTS / ISSUE	DRAWN

DRAWING
 PERSPECTIVES & MATERIAL PALETTE 2

SCALE
 N/A
 DATE
 JUL 2024

DRAWN
 DT
 CHECKED
 TL
 JOB NO.
 23054

PROJECT STATUS
 TOWN
 PLANNING
 DRAWING NO.
 TP-15
 REV. NO.
 B

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



Swimming Pool Terrace
Silver Travertine Tiles boast a high non-slip rating and pure stone composition. They are well-suited for pool coping and have excellent weather resistance. This recommendation is versatile and can be customized to align with the owner's preferences while preserving these key attributes.



Example of butt-joint concrete paver by BF International.



Hastings Garden Supplies displays a variety of colour in concrete paver.

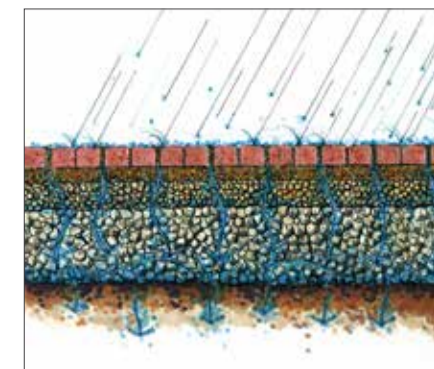


Diagram illustrating how permeable pavers facilitate runoff absorption into the natural ground during storm events.

Permeable Paver
Butt-joint concrete pavers offer permeability, allowing runoff to absorb into the ground while providing a functional and durable surface for pedestrian paths. They are available in various colours, giving flexibility in design choices.

Propose a way to mitigate the level change from the living room at FL+38.50 to the pool deck at FL+38.20 by adding a step at FL+38.35.

Side Connecting Path
The frequently used but rarely visible connecting path will be broom-brushed concrete, chosen for its durability, non-slip texture, and easy maintenance.



Example of broom-brush concrete by Thundercrete

Side Fence Planting
Due to the narrow space between the building wall and the fence, a 300mm wide vertical planting strip is proposed. This design will incorporate trellises and supports for climbing plants, creating a visually softening effect on the fence and adding greenery along the passage between the side fence and the building wall.



Front Garden Beds
Garden beds along the front fence serve as a backdrop when viewed from the house's interior outward to the wall, showcasing trees, shrubs, and groundcovers that soften the fence. They also enhance street presence when viewed from the street.



The Garden Bed at the Corner of the Driveway features low shrubs and groundcover planted to ensure clear traffic sightlines below eye level when turning.



Myperfectplants.com



Plantmark.com.au

Design Ideas for the Northeastern Corner
To address the proximity of neighbouring structures, we propose using large shrubs and strategic landscaping to create a natural screen along the northeastern corner of the property.

Additionally, we suggest planting a small to medium-sized deciduous tree in this area. This tree will balance sunlight penetration during winter and shade during summer, creating a comfortable and dynamic environment. Moreover, when viewed from the living room, the planting will serve as an aesthetically pleasing backdrop for the swimming pool area, enhancing the overall visual appeal and privacy of the property.

Design Idea for the Northwestern Corner
The area in the northwestern corner of the property is set aside for a sauna and garden shed. To create a smooth transition between the timber outdoor dining area and the tiled deck around the pool, we plan to have an open lawn with drought-resistant grass. This will make a green connection and provide space for children to play freely in the backyard.

Strategic planting along the fence will feature a medium-sized evergreen tree, providing year-round privacy and a visually appealing focal point when viewed from the dining room or timber deck. This thoughtful landscaping will enhance the overall beauty and functionality of the backyard while offering a balanced space for relaxation and recreation.

LANDSCAPE CONCEPT

The landscape design for this residential property aims to create a cohesive, functional, and aesthetically pleasing outdoor environment that enhances the living experience. The design integrates safety, privacy, usability, and visual appeal through strategic planting, versatile materials, and thoughtful layout.

Key Elements:

Swimming Pool Terrace
Paved with Silver Travertine Tile that is high non-slip rating and durable, providing a safe and elegant poolside surface.

Privacy and Screening
Northeastern Corner: Large shrubs and a deciduous tree form a natural screen, ensuring privacy from neighbouring structures while balancing seasonal sunlight. This area also serves as a picturesque backdrop for the pool when viewed from the living room.

Side Fence Planting: A 300mm wide vertical planting strip with trellises for climbing plants, along with lower shrubs and groundcovers, softening the visual impact of the side fence.

Recreational and Functional Spaces
Northwestern Corner: An open lawn with drought-resistant grass provides a green connection between the timber outdoor dining area and the tiled pool deck and offers a space for children to play. An evergreen tree enhances privacy and visual interest.

Mini-Deck Addition: A seamless transition between the pool terrace and alfresco deck with a mini-deck improves flow and functionality for outdoor activities.

Paths and Paving
Permeable Pavers: Butt-joint concrete pavers for clothing area and front pedestrian path, promoting water absorption and offering design flexibility.

Side Connecting Path: Durable and non-slip broom-brushed concrete for easy maintenance and safe passage.

Casual Pathway: Stepping stones or tiles laid within a gravel bed, ensuring easy access and minimal maintenance while connecting various garden areas.

Front and Driveway Landscaping
Front Gardens: Garden beds along the front fence, planted with trees, shrubs, and groundcovers, provide a pleasant view from the house. Tree canopies, taller than the fence height, soften the front facade and enhance street presence when viewed from the street.

Driveway: Exposed aggregate in a natural sand colour to improve texture and traction, blending seamlessly with the overall design.

Focal Points and Garden Features
Water Feature: A tiered, wall-mounted waterfall with linear spouts, creating a striking focal point visible from the dining room.

Sauna and Garden Shed Area: Integrated into the northwestern corner with strategic planting for privacy and a smooth transition between different outdoor areas.

This landscape concept blends functionality with beauty, offering a private, safe, and enjoyable outdoor space that complements the property's architecture and enhances the residents' quality of life.

To improve access between the pool terrace and alfresco deck, a mini-deck at FL.38.20 with a step-down feature will be constructed. This addition will provide a seamless transition between the two areas, making it easier for users to move from one space to another while enhancing the overall flow and functionality of the outdoor living environment.

300mm wide side fence garden bed with vertical planting and lower shrubs and at ground level.

Stepping stones or tiles laid within a gravel bed creating a casual pathway connecting various functional areas of the garden and garage, ensuring easy access and minimal maintenance.



Driveway - exposed aggregate in a natural sand colour to enhance texture and traction. The pictures provided are examples only and may showcase a variety of aggregate colours and mixes.



PLANTING PALETTE

The selection of plants for this project will focus on a diverse range of exotic and native species well-suited to the local climate and soil conditions. Emphasis will be placed on plants that offer year-round interest, provide privacy and screening where needed, and contribute to the overall aesthetic of the landscape design. The planting palette will include:

- > Evergreen trees and shrubs for year-round colour and privacy
- > Deciduous trees for seasonal interest and filtered shade
- > Shrubs and flowering plants to attract pollinators and add visual interest
- > Groundcovers to prevent erosion and unify the landscape
- > Drought-tolerant grasses and plants to conserve water and minimise maintenance

Plants will be selected to be compatible with the desired design aesthetic, ensuring the final landscape is functional and meets the aesthetic purpose.



Lagerstroemia indica



Prunus 'Kojono-mai' from Flaming Trees



Magnolia grandiflora 'TMGH' - Alta



Pyrus calleryana 'Capital'



Correa 'Dusky Bells'



Lomandra longifolia 'Tanika'



Clivea miniata



Dianella revoluta 'Little Rev'



Liriope muscari



Phormium tenax



Westringia fruticosa



Murraya paniculata

LEGEND



Proposed canopy tree
Mixed native and exotic trees for seasonal colours and filtered sunlight, softening the modern facade.

Large Shrubs
A mix of shrub varieties for year-round visual interest and privacy screening, softening the appearance of the fence line.

Small Shrubs and groundcovers
Shrubs and groundcovers add texture and colour for enhanced visual interest.



Garden bed
300mm depth topsoil, bordered by timber or steel edging.



Lawn
Drought-tolerant, non-invasive species, seeded or turfed on 50mm topsoil.



Permeable Paver
Enhances runoff absorption, featuring a non-slip texture and attractive appearance and colour.



Feature Tiles
For areas surrounding the swimming pool and front porch, a non-slip surface that is high quality and has a rich appearance.



Timber Deck
Over the outdoor alfresco terrace provides a porous surface for water drainage and a soft, natural texture to enhance the outdoor living area.



Driveway
Exposed aggregate concrete for added texture and improved traction.



Fencing
Refer to the architectural plan



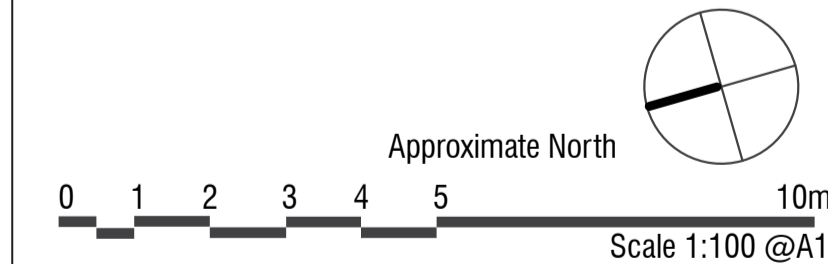
Site Boundary - extent of works
Note: The images in this presentation are sourced from the Internet and used solely as examples for discussion purposes. There is no intention of duplicating designs.

**30 PRIDHAM STREET
MARIBYRNONG, VIC 3032**

LA01 - LANDSCAPE CONCEPT PLAN

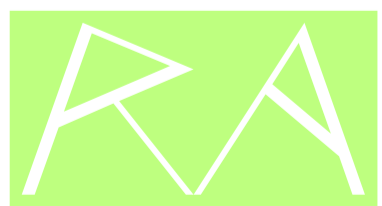
FOR REVIEWS AND COMMENTS

Date	Revision	Issue
26/06/2024	SKD	For team's review and discussion
02/07/2024	DD	For review and comments
02/09/2024	DD	Update to amended arch plans



OWNER/APPLICANT:
Bill Huynh
30 Pridham Street
Maribyrnong
VIC 3032

ARCHITECT:



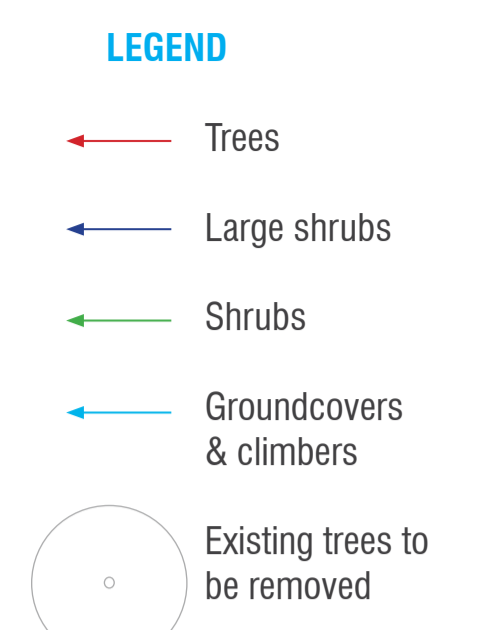
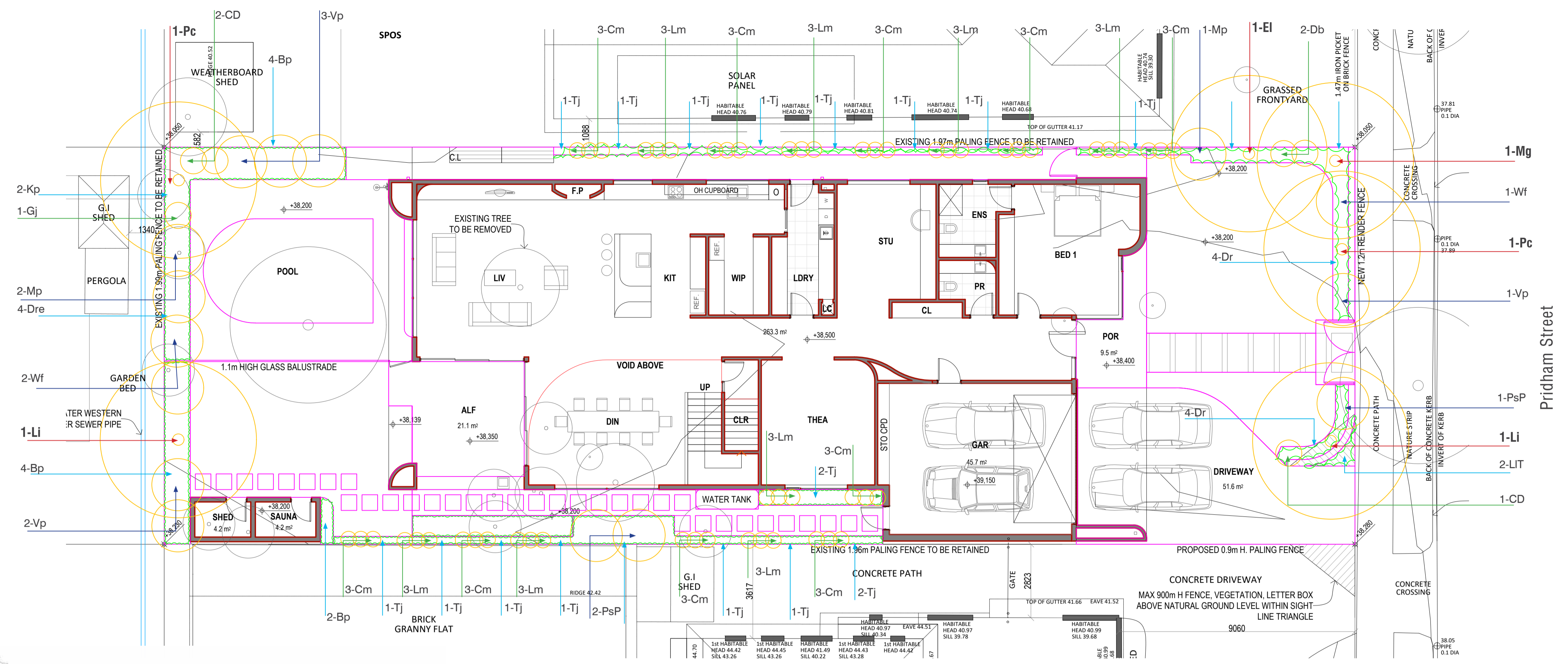
LANDSCAPE ARCHITECT:



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THAI TONGUE

Thad Patraoon Registered Landscape Architect AILA #000406
TT Design ABN: 49 135 155 770
Address: U211/229 Toorak Road, South Yarra, VIC 3141
Phone: 0408 199 815
Email: design@thaitongue.com.au



Note: The planting depicted in this elevation is for conceptual demonstration purposes only and does not reflect the actual landscape.



LANDSCAPE NOTES

Existing Vegetation
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian Standards. Refer to arborist's report and/or council conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

Garden Beds
Cultivate existing soil to 300mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.

Irrigation (Optional)
Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions.

Fences
Refer to architectural plans.

Drainage
Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

Services
Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc. indicated on this plan are indicative only and are to be checked with architectural and engineering plans.

Building Structures
The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into the adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

PREPARATION AND MAINTENANCE

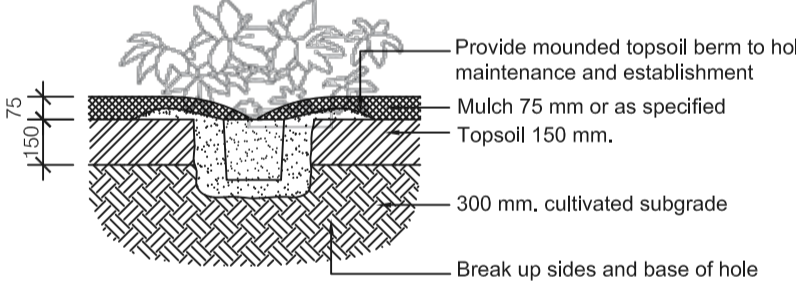
All weeds to be removed from site by physical removal or spraying with glyphosate-based herbicide.

Existing soil should be improved by the addition of organic matter and light cultivation only to build up any composition. No cultivation within driplines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source.

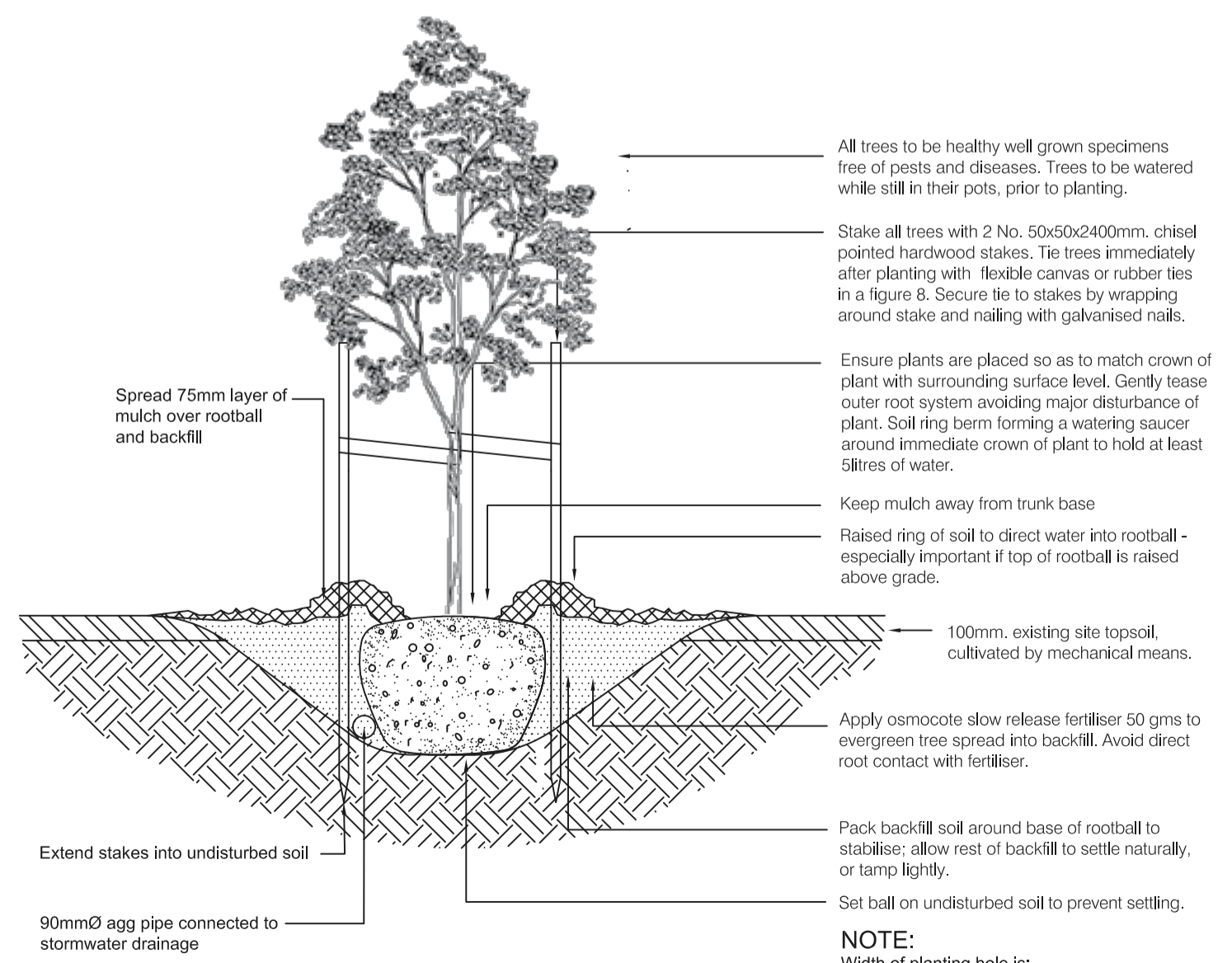
Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods if required, programmable irrigation systems are to be low water use drippers and sprays as appropriated and designed by irrigation supplier or consultant.

Weeding and trimming every 14-21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions. All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

- Shrub Planting Notes:**
1. Dig hole twice as deep as rootball and allow at least 200 mm, around sides for backfilling with topsoil.
 2. Apply fertiliser in base of hole, cover with topsoil (type & rate as per spec). Avoid root contact.
 3. Place plant in centre of hole, backfill with approved topsoil, firming progressively.
 4. Water well into saucer around crown of plant.
 5. Stake larger shrubs where necessary, using 50 x 50 x 1200 mm, hardwood stakes.



1 TYPICAL SHRUB AND GROUNDCOVER PLANTING DETAIL
Approximatel Scale 1:25



2 TYPICAL TREE PLANTING DETAIL
Approximatel Scale 1:25

PROPOSED PLANTING SCHEDULE

Symbol	Botanic name	Common name	Installation size	Mature size (HxW)	Quantity
Upright Trees (min 1.5 m in height at installation)					
Ei	<i>Eucalyptus leucoxylon</i> "Euky Dwarf"	Dwarf Yellow Gum	450mm pot	4-10 X 3-4 m	1
Li	<i>Lagerstroemia indica</i> x <i>L. fauriei</i> "Biloxi" Indian Summer®	Crepe Myrtle	450mm pot	7 X 5 m	2
Mg	<i>Magnolia grandiflora</i> "TMGH" - Alta	Alta Magnolia	450mm pot	9 X 4 m	1
Pc	<i>Pyrus calleryana</i> "Capital"	Capital calleryana Pear	450mm pot	11 X 3 m	2
Shrubs and Ground Covers					
Bp	<i>Bossiaea prostrata</i>	Creeping Bossiaea	140 mm pot	Spreading	10
CD	<i>Correa</i> "Dusky Bells"	Dwarf Correa	140 mm pot	0.75 x 0.75 m	3
Cm	<i>Clivea miniata</i>	Kaffir Lily	140 mm pot	0.6 x 0.6 m	30
Dr	<i>Dianella revoluta</i> "Little Rev"	Flax Lily	140 mm pot	0.75 x 0.75 m	8
Dre	<i>Dichondra repens</i>	Kidney Plan	140 mm pot	Spreading	4
Db	<i>Dietes bicolor</i>	Spanish Iris	140 mm pot	1 x 1 m	11
Gj	<i>Gardenia jasminoides</i>	Gardenia	200 mm pot	1 x 0.75 m	1
Kp	<i>Kennedia prostrata</i>	Running Postman	140 mm pot	Spreading	2
LIT	<i>Lomandra longifolia</i> "Tanika"	Spiny-head Mat Lily	140 mm pot	0.7 x 0.7 m	2
Lm	<i>Liriope muscari</i>	Turf Lily	140 mm pot	0.5 x 0.5 m	24
Mp	<i>Murraya paniculata</i>	Murraya	200 mm pot	1.5 x 1.5 m	3
Psp	<i>Phomium tenax</i>	Red Flax	200 mm pot	1.2 x 1.2 m	3
Vp	<i>Viburnum plicatum</i> "Newzam" - Newport	Newport Viburnum	200 mm pot	1.2 X 1.5 m	6
Wf	<i>Westringia fruticosa</i>	Native Rosemary	200 mm pot	1.5 x 1.5 m	3
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	250 mm pot	Climbing / spreading	15

Notes:
1) *Height x width average at maturity estimated for this location or maintained by trimming.

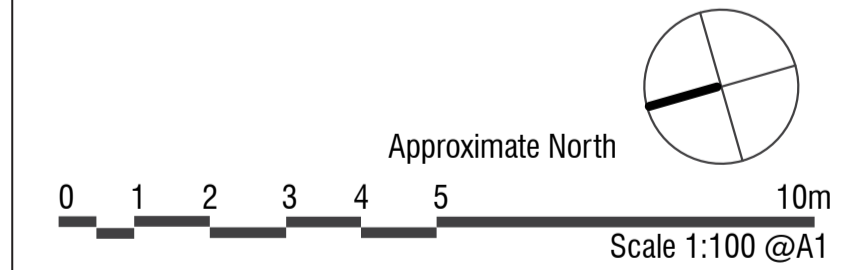
**CITY OF MARIBYRNONG
ADVERTISED PLAN**

**30 PRIDHAM STREET
MARIBYRNONG, VIC 3032**

LA02 - PLANTING PLAN

FOR REVIEWS AND COMMENTS

Date	Revision	Issue
26/06/2024	SKD	For team's review and discussion
02/07/2024	DD	For review and comments
02/09/2024	DD	Updated to amended arch plans



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