

image 1



image 2



image 3

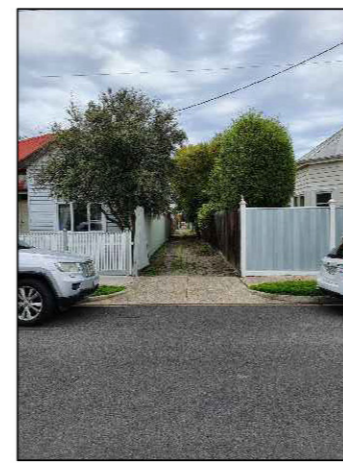


image 4



image 5



image 6



image 7



image 8

CITY OF MARIBYRNONG
ADVERTISED PLAN

tree protection zone (TPZ)
note: 2.0m tree protection zone erected around nature strip tree

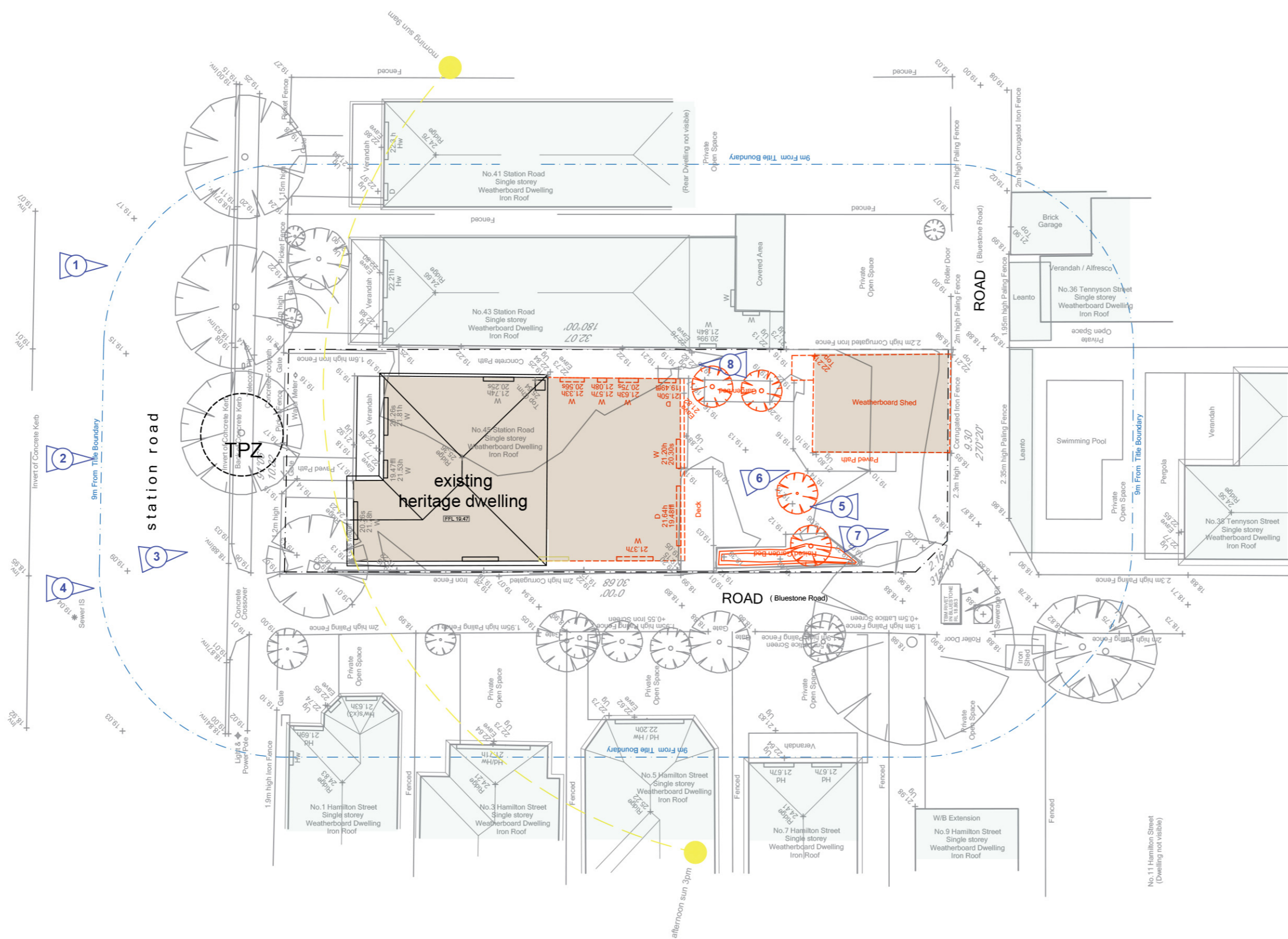
- The Protective fencing where required may delineate the TPZ and should be located as determined by the project arborist in accordance with AS4970 Protection of trees on development sites.
- Fencing should be erected before any machinery or materials are brought onto the site and before the commencement of works including demolition. Once erected, protective fencing must not be removed or altered without approval by the project arborist. The TPZ must be secured to restrict access.
- AS4687 Temporary fencing and hoardings specifies applicable fencing requirements. Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area.

note: all dimensions on site plan taken to title boundaries

x denotes site photographs/images

note: FFL of 19.47 to existing dwelling to be retained as part of any re-stumping to heritage section of dwelling.

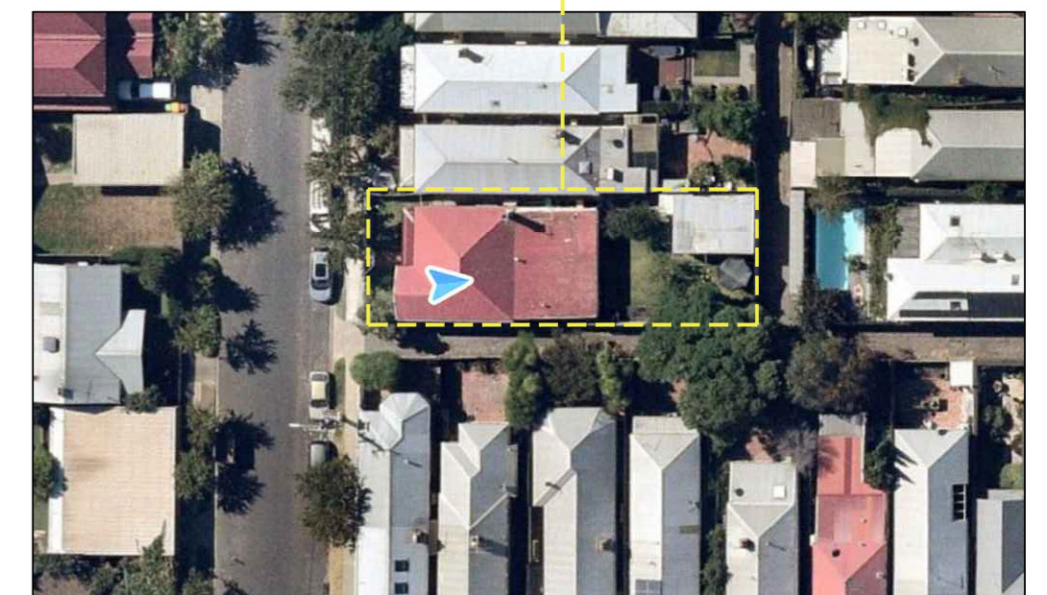
note: all levels noted on plan have been obtained directly from re-establishment & feature and level by: Vic Survey ref. VS 3588



site analysis:

total site area	347 sq.m.
existing floor	134 sq.m.
existing heritage floor retained	74 sq.m.
proposed ground floor addition	130 sq.m.
proposed first floor addition	81 sq.m.
total dwelling	285 sq.m.
site coverage	58.7 %
permeability	35.4 %

subject site



overhead image/site context n.t.s.

existing site plan 1:200

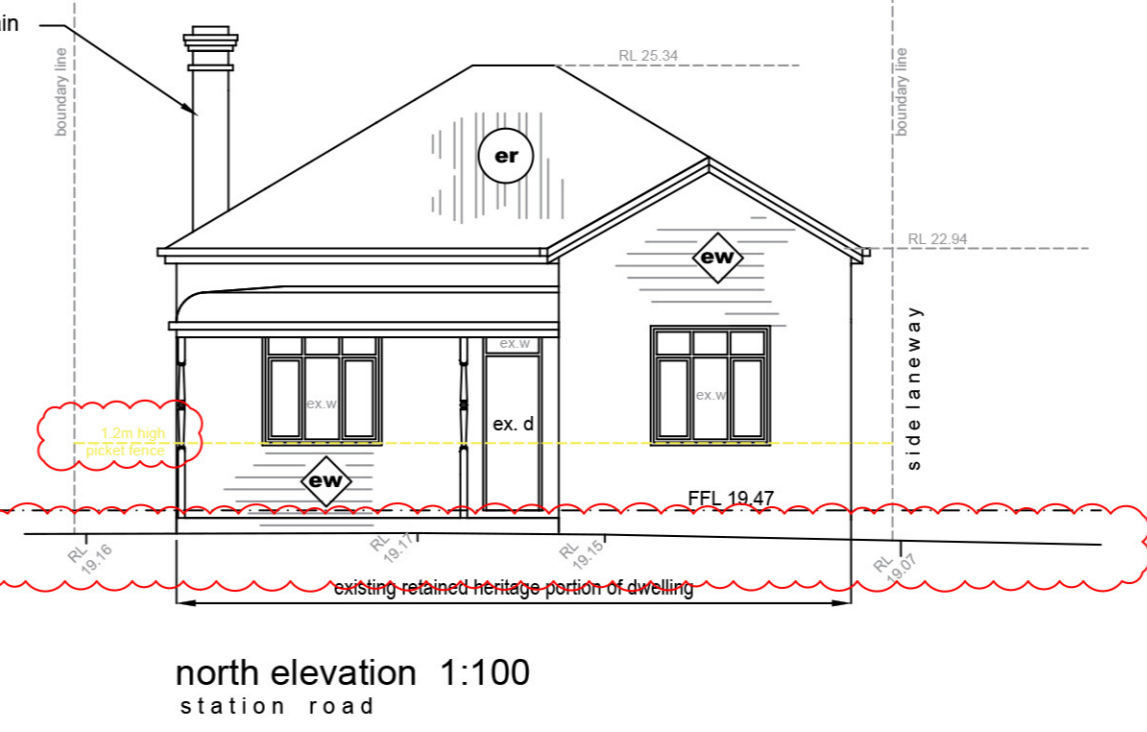
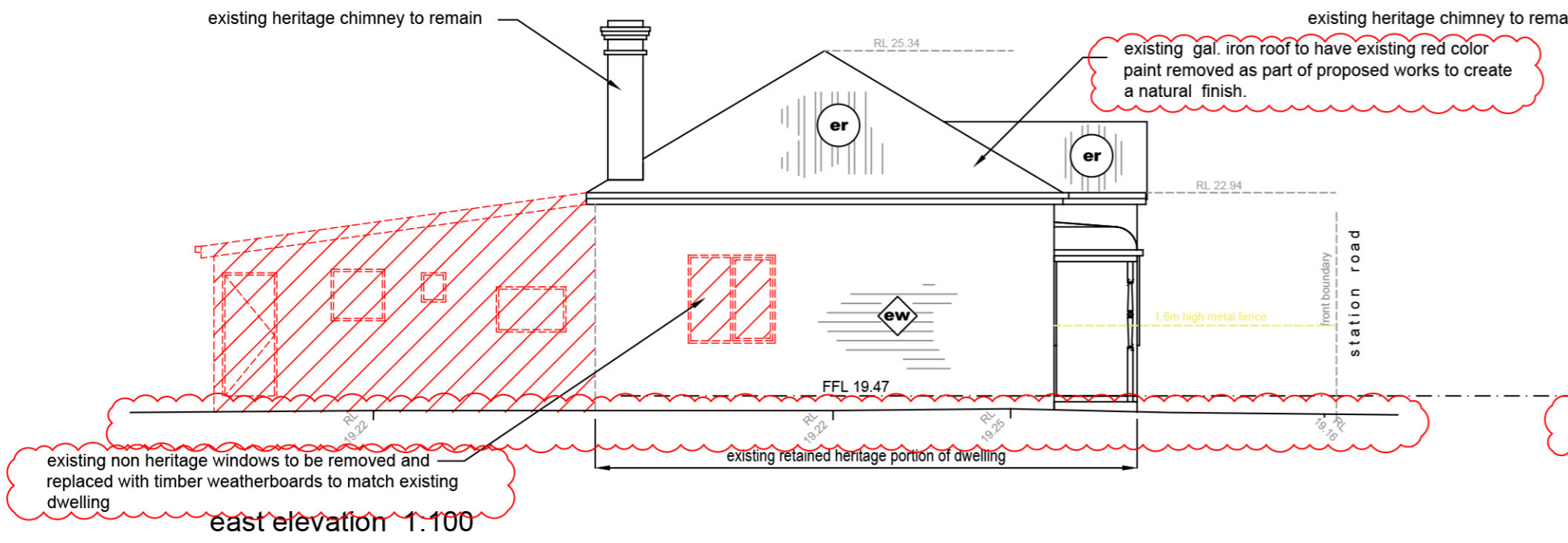
HATCH PROJECTS
m: 0418 104 708 e: studio@hatchprojects.com.au
PO Box 155, Williamstown, Victoria, 3016

AMENDMENTS:	
B	09/08/24 council RFI amendments (09/07/24)

client	Rohan & Marcella Bissett
location	45 Station Street, Seddon

project	proposed rear double storey addition to an existing heritage dwelling with associated demolition works
drawing sheet	existing site plan & site context information

ISSUE DATE: 09/08/2024
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DRAWN BY: AK
REF: HP-858.1 SHEET SIZE: A2
ISSUE: TP - B

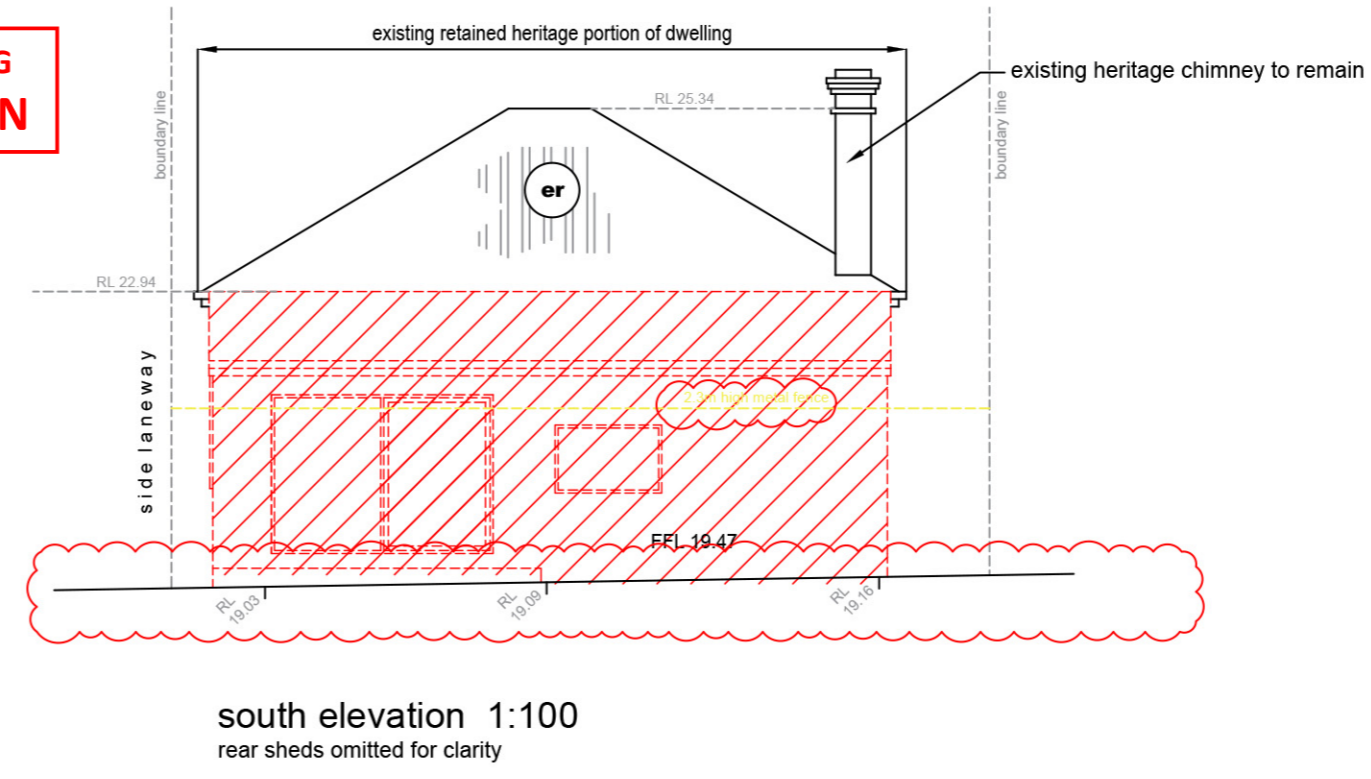
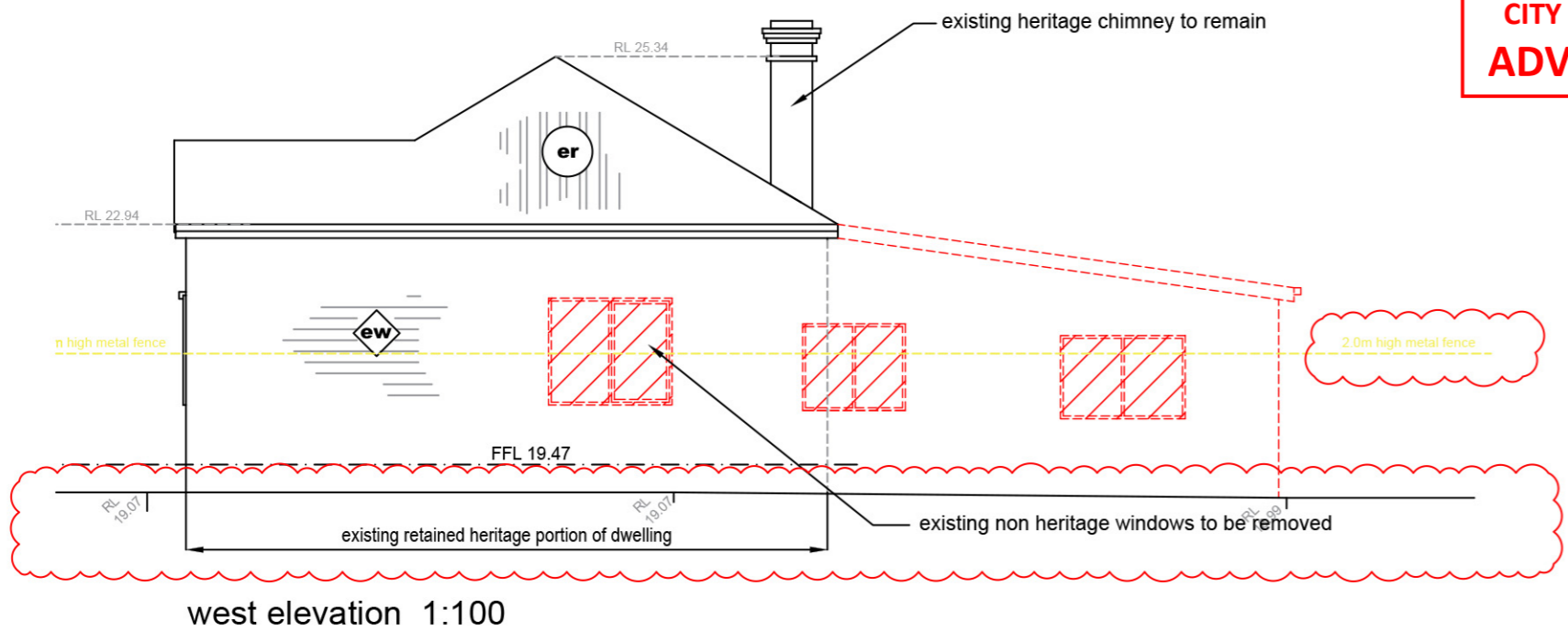


site analysis:

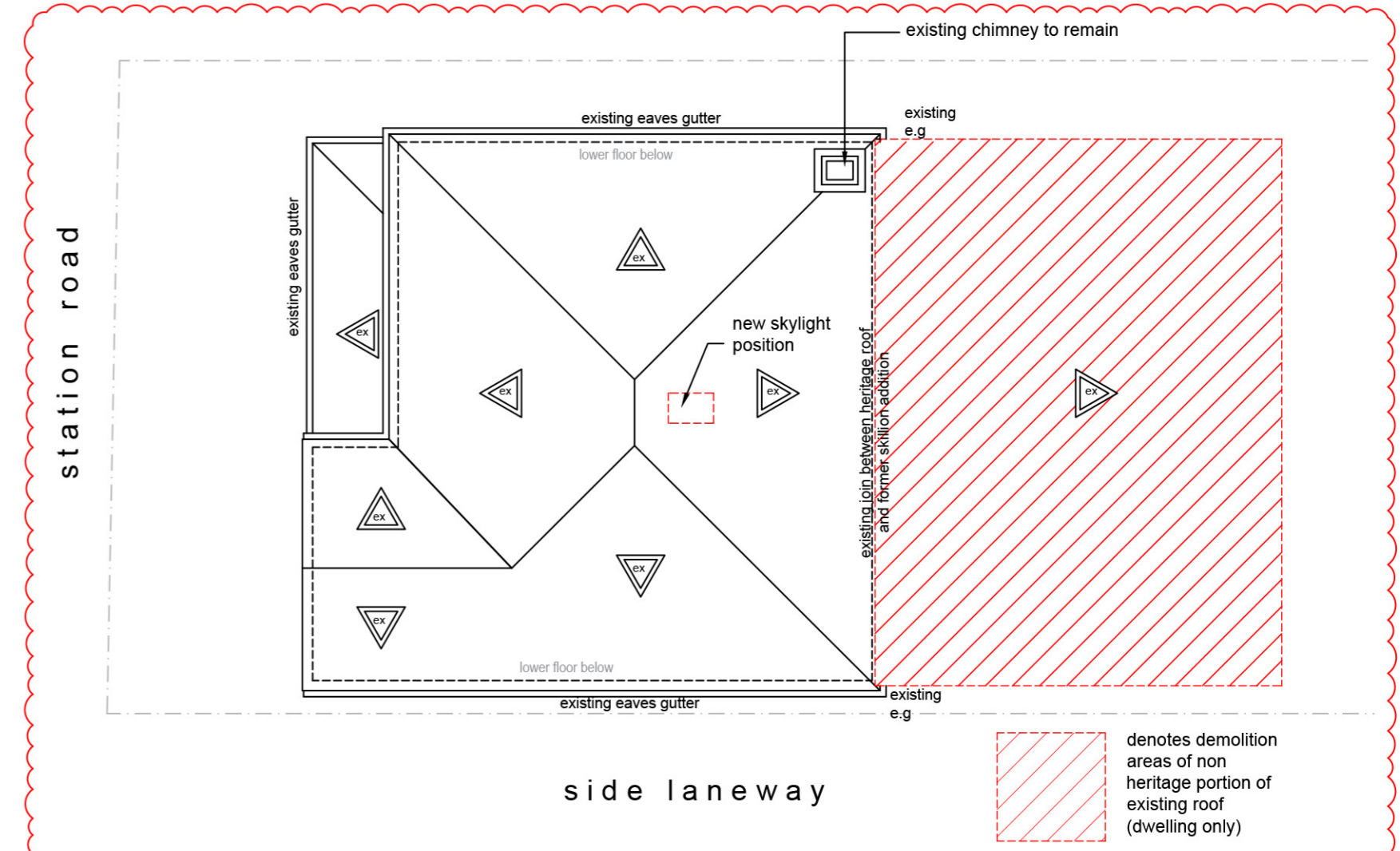
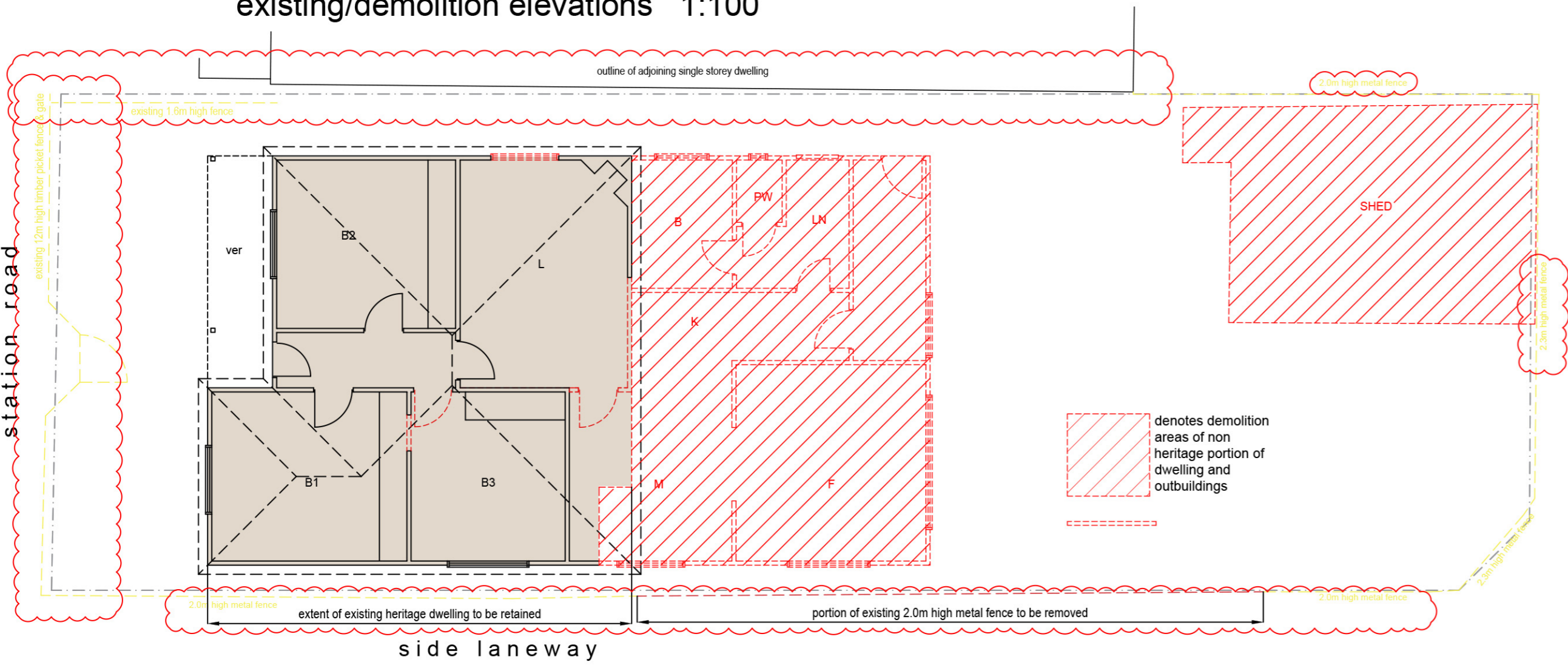
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permeability	35.4 %

- Room legend
 some items may not apply
- E entry
 - MB master bedroom
 - B1,2,3... bedroom
 - GR guest bedroom
 - F family
 - K kitchen
 - BP. butlers pantry
 - BA. bathroom
 - G. garage
 - L. living
 - EN. ensuite
 - M. meals
 - UR. upper retreat
 - ST study
 - LN. laundry
 - WIR walk in robe
 - PW. powder room

**CITY OF MARIBYRNONG
 ADVERTISED PLAN**



existing/demolition elevations 1:100



existing/demolition floor plan 1:100

existing/demolition roof plan 1:100

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AMENDMENTS:

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client	Rohan & Marcella Bissett
location	45 Station Street, Seddon

project	proposed rear double storey addition to an existing heritage dwelling with associated demolition works
drawing sheet	existing/demolition floor plan, roof plan & elevations

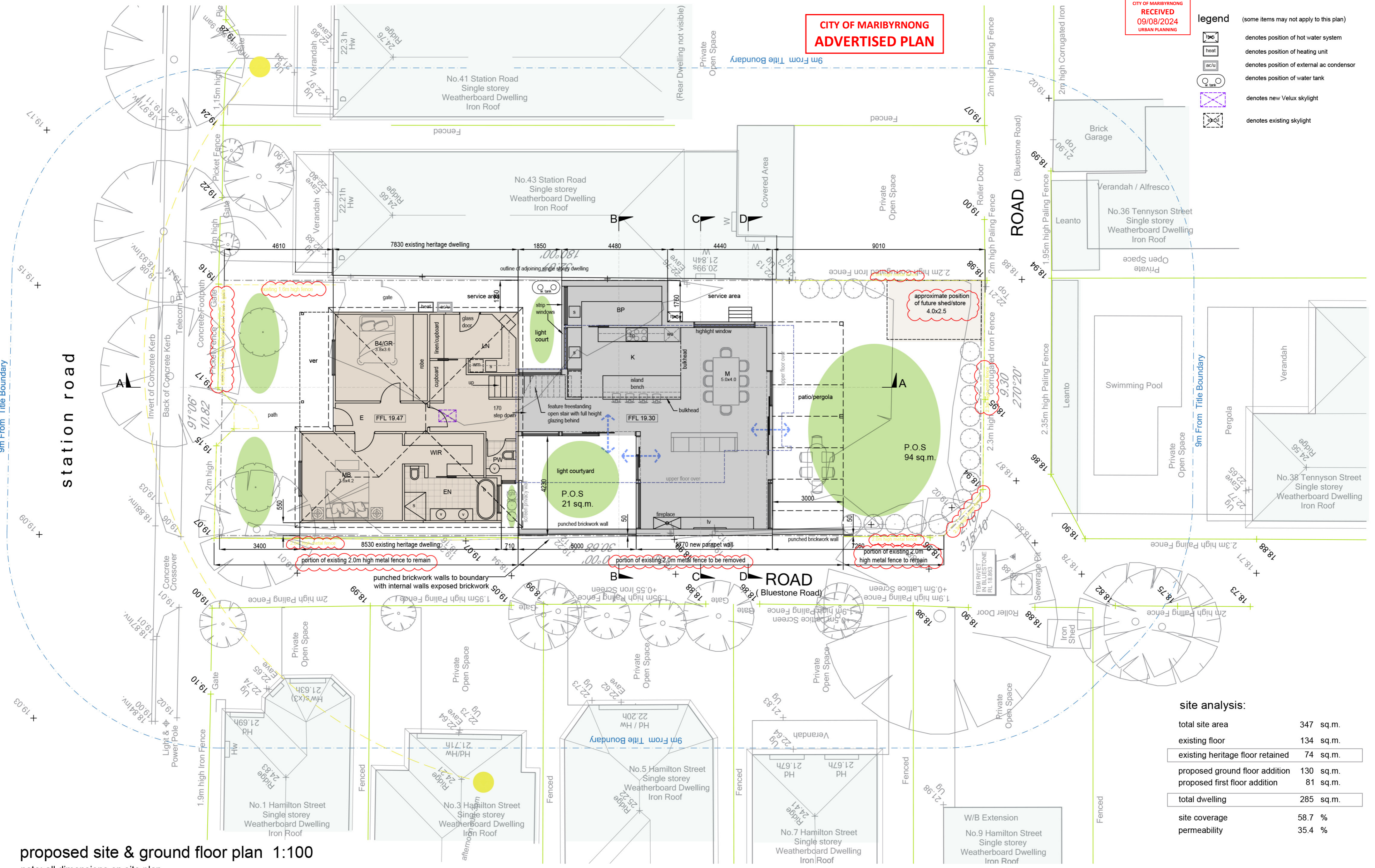
ISSUE DATE: 09/08/2024
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 DRAWN BY: AK
 REF: HP-858.2
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SHEET SIZE: A2

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

**CITY OF MARIBYRNONG
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09/08/2024
URBAN PLANNING**

- legend** (some items may not apply to this plan)
- denotes position of hot water system
 - denotes position of heating unit
 - denotes position of external ac condenser
 - denotes position of water tank
 - denotes new Velux skylight
 - denotes existing skylight



site analysis:

total site area	347 sq.m.
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existing heritage floor retained	74 sq.m.
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site coverage	58.7 %
permeability	35.4 %

proposed site & ground floor plan 1:100

note: all dimensions on site plan taken to title boundaries

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AMENDMENTS:

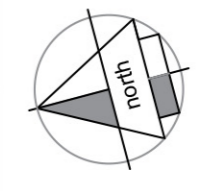
B	09/08/24	council RFI amendments (09/07/24)

client
Rohan & Marcella Bissett

location
45 Station Street, Seddon

project
proposed rear double storey addition to an existing heritage dwelling with associated demolition works

drawing sheet
proposed site & ground floor plan



ISSUE DATE: 09/08/2024

SCALE: 1:100 or as noted

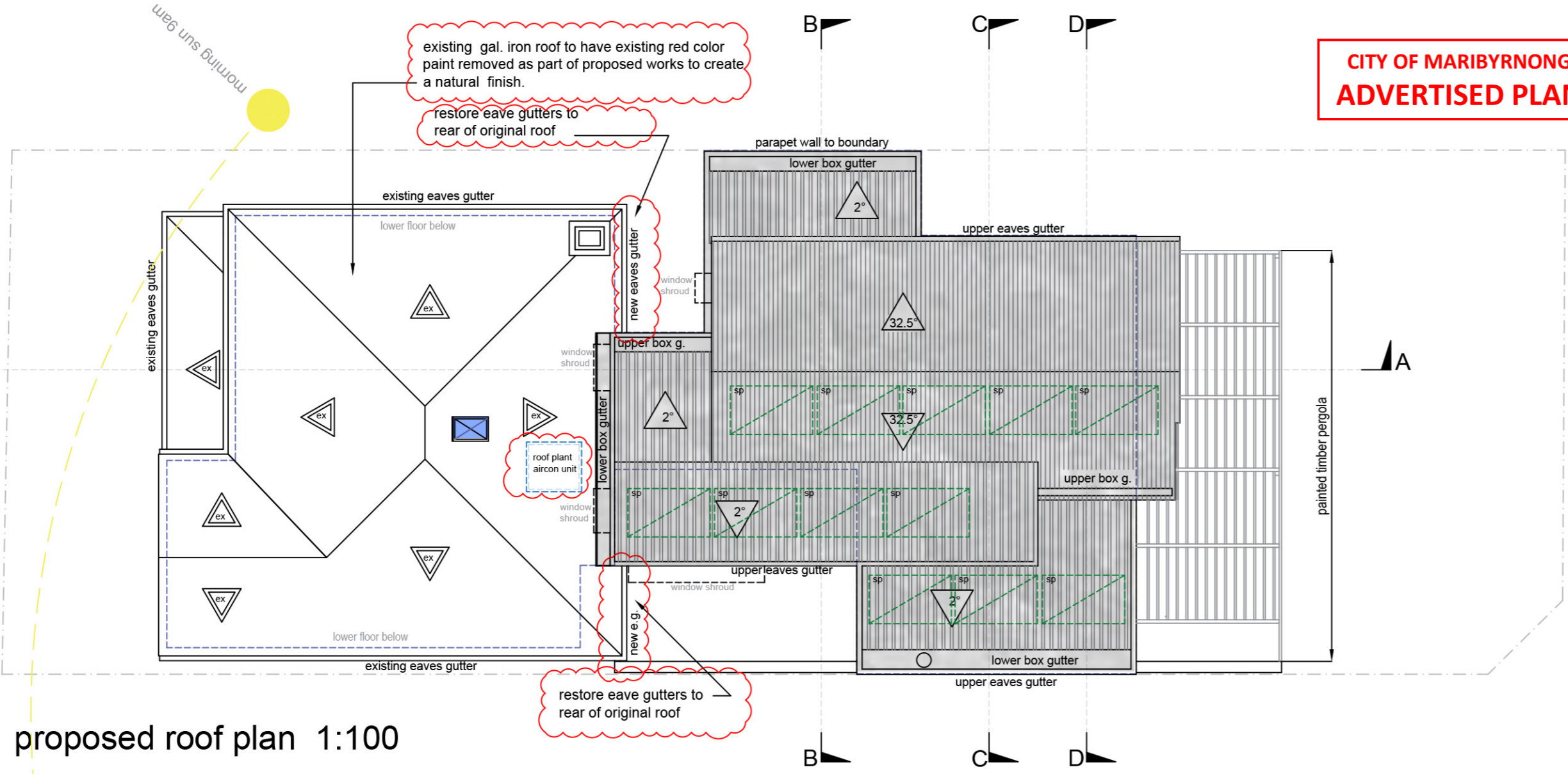
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REF: HP-858.3

ISSUE: TP - B

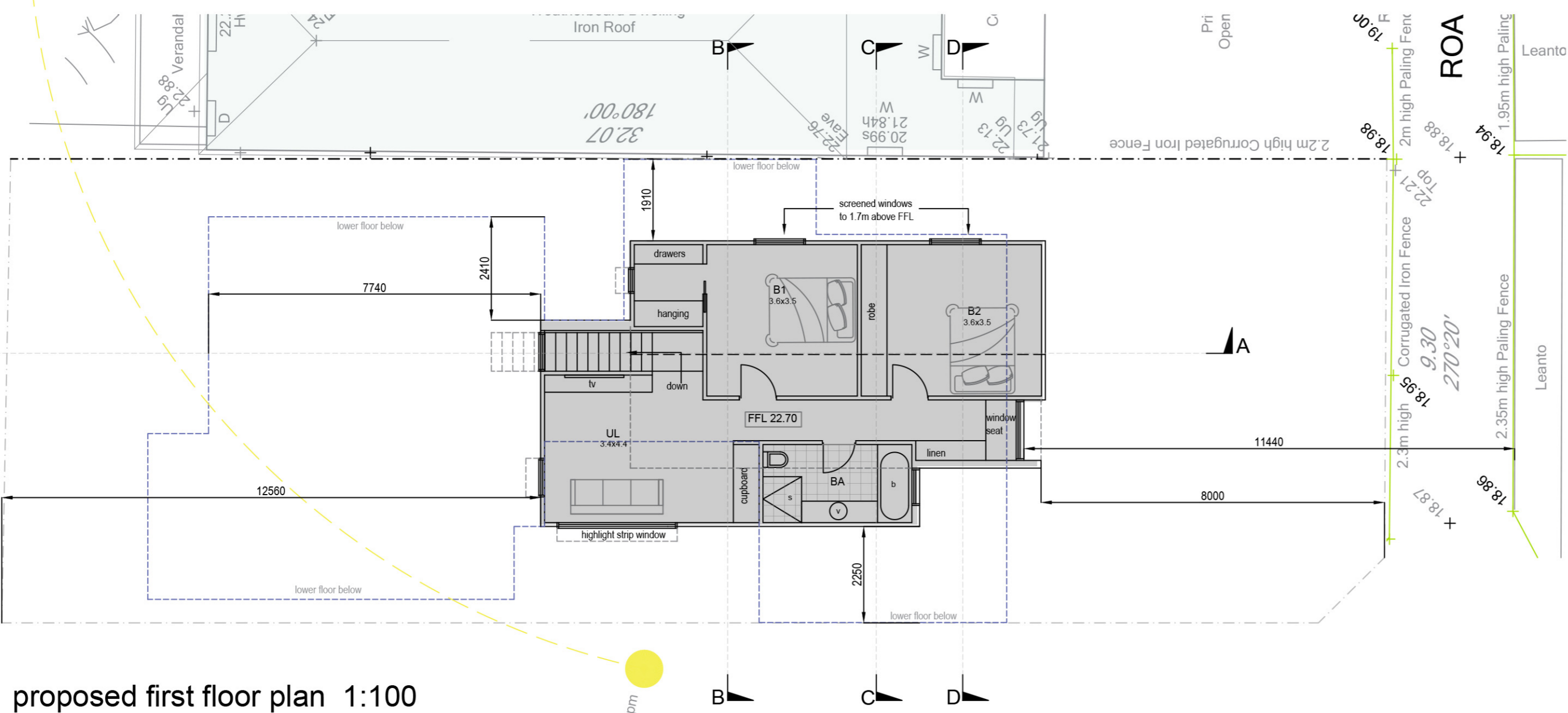
SHEET SIZE: A2

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

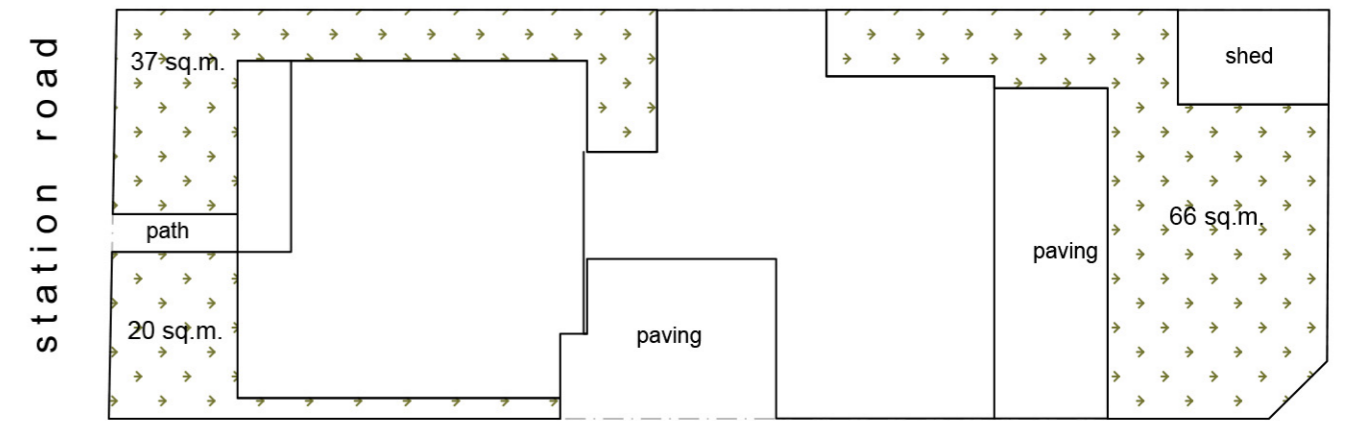


- roof legend:**
- denotes existing gal iron roof and direction of fall
 - Corrugated zincalume steel roofing on a 32.5° pitch.
 - zincalume Steel (King Klip) roofing on a 2° min. pitch.
 - Velux fixed skylight
 - solar tube
 - solar panel location (approx)
 - roof plant location (approx)
- all new downpipes & rainheads to be zincalume steel.
 - down pipes to be round section
 - new guttering (replaced with zincalume steel ogee guttering)
 - timber fascia (painted fascia)

proposed roof plan 1:100



proposed first floor plan 1:100



permeability schedule

(site) 347 sq.m. / 123 sq.m. permeable area
total = 35.4%

denotes permeable areas

permeability plan 1:200

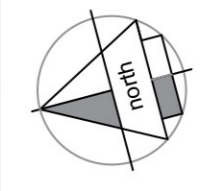
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AMENDMENTS:

B	09/08/24	council RFI amendments (09/07/24)

client	Rohan & Marcella Bissett
location	45 Station Street, Seddon













project	proposed rear double storey addition to an existing heritage dwelling with associated demolition works
drawing sheet	proposed first floor plan, roof plan & permeability plan

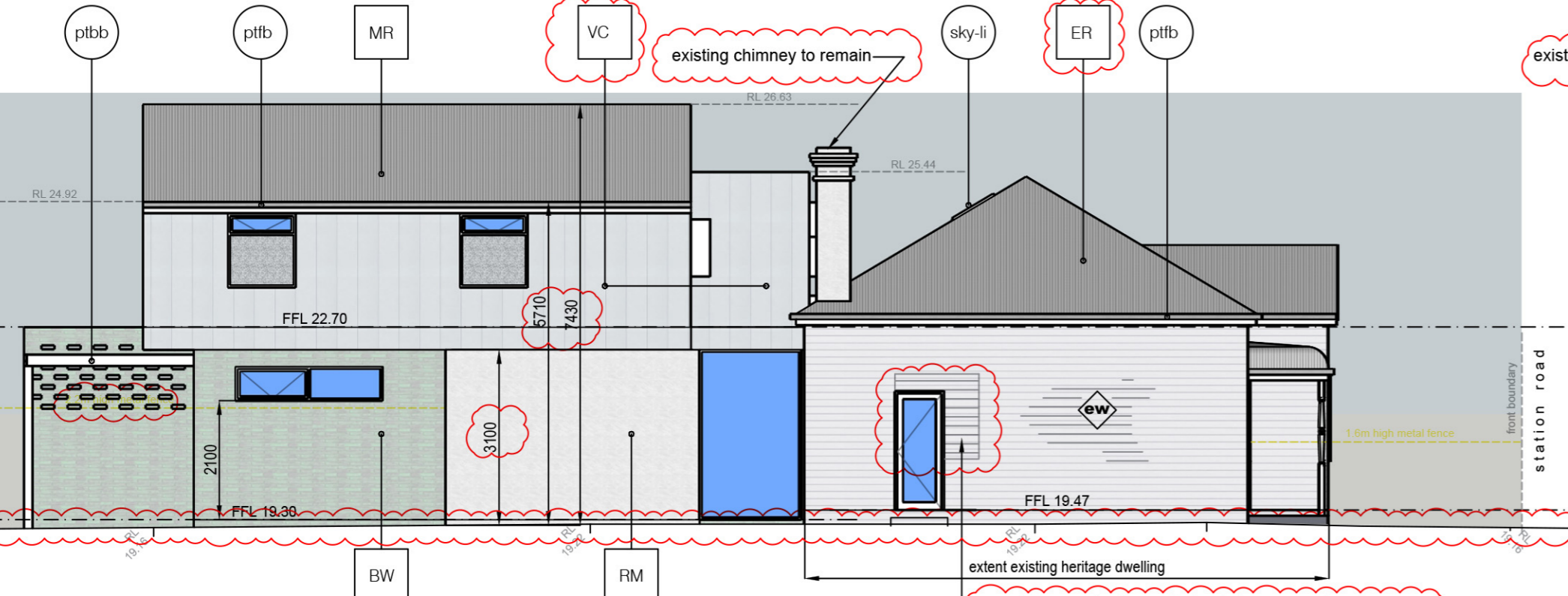


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REF:	HP-858.4
ISSUE:	TP - B
SHEET SIZE	A2

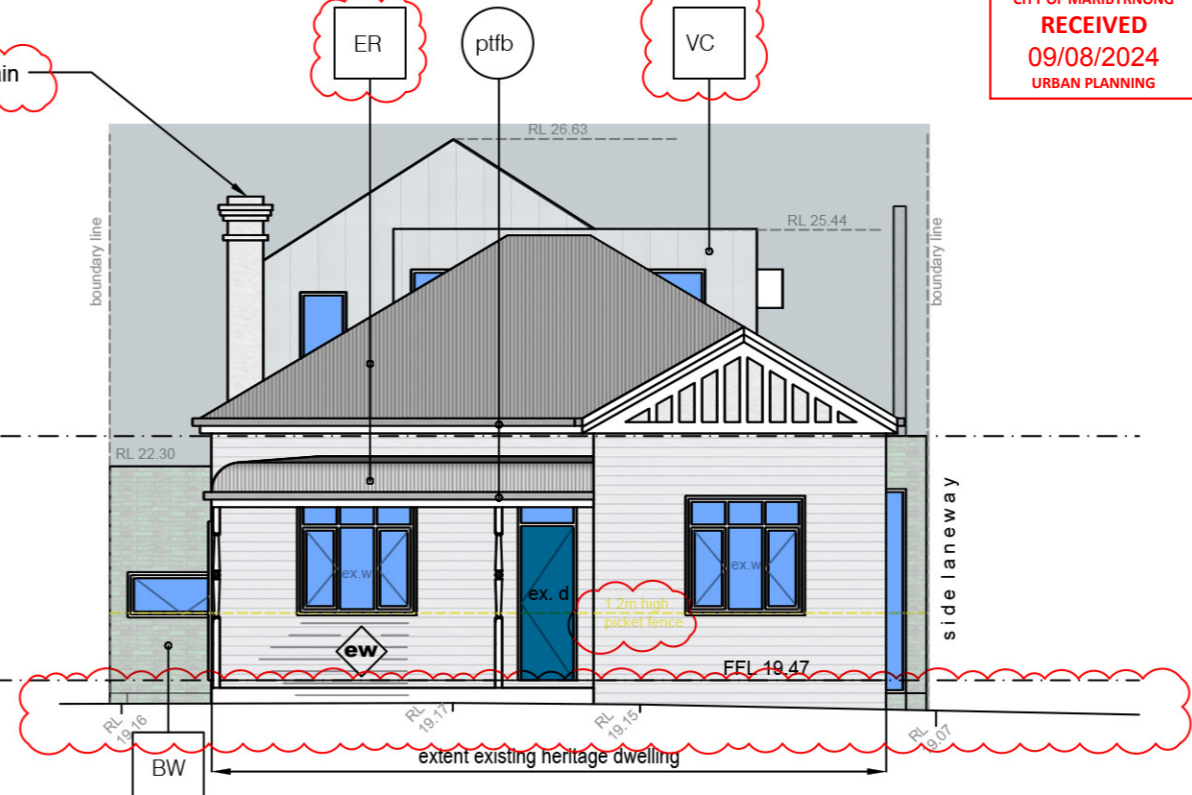
CITY OF MARIBYRNONG
RECEIVED
09/08/2024
URBAN PLANNING

external cladding schedule to elevations

-  existing metal roof
-  existing timber weatherboards
-  existing timber window (original/heritage)
-  ex. d existing door (original/heritage)
-  existing gal. iron roof to have existing red color paint removed as part of proposed works to create a natural finish.
-  scyon vertical Hardie Oblique Cladding (300mm wide/painted)
-  MR Zincalume iron metal roofing (corrugated/natural)
-  RM rendered/painted masonry wall
-  BW feature brickwork
-  sky-li new Velux low profile roof/skylight
-  ptbb painted timber barge board/pergola
-  ptfb painted timber fascia beam and gal. iron gutter

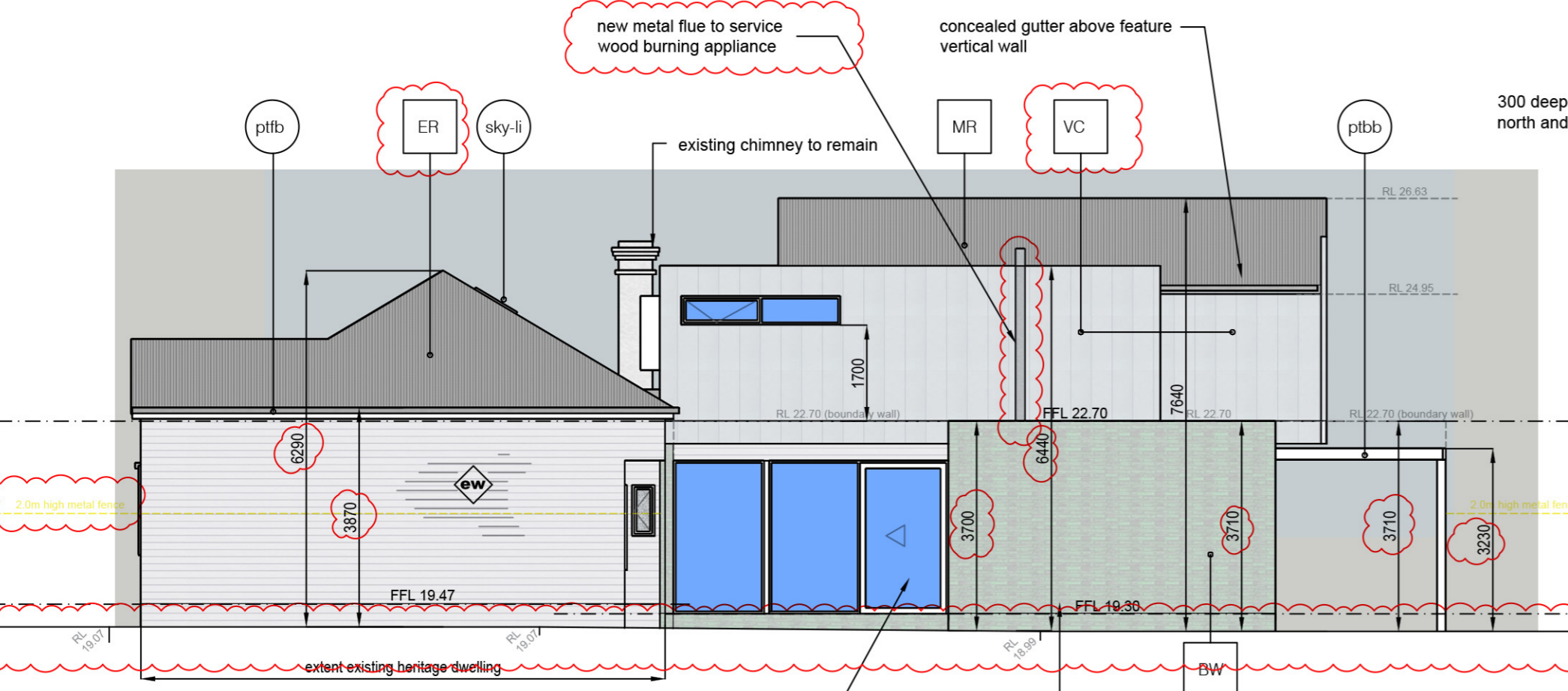


east elevation 1:100



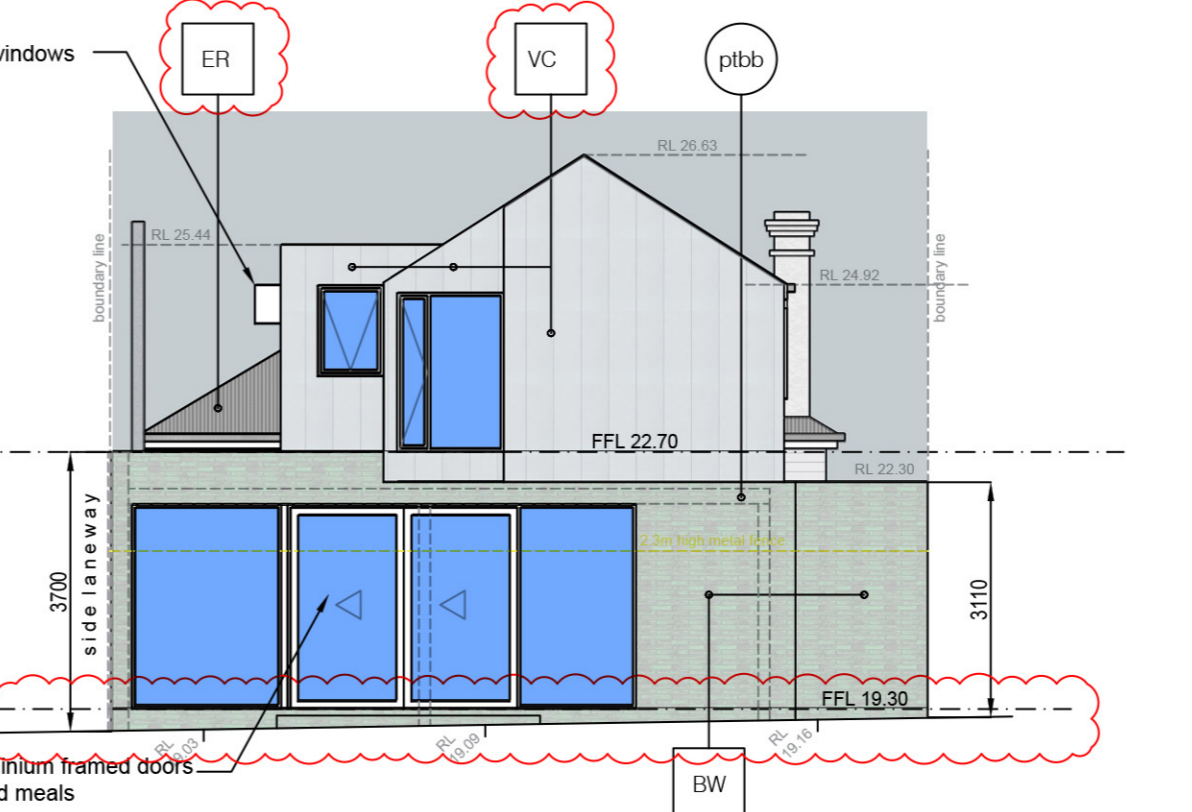
north elevation 1:100
station road

CITY OF MARIBYRNONG
ADVERTISED PLAN



west elevation 1:100

note: wing walls omitted from elevation for clarity. refer to sheet 7 for enlarged details



south elevation 1:100

note: pergola shown in hatched for clarity rear sheds omitted for clarity




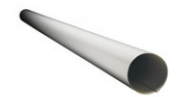
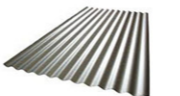




proposed elevations 1:100

notes on elevations

- EXISTING HERITAGE DWELLING
- all downpipes, rainheads, box gutters and parapet capping to be gal. iron. (where visible)
 - all down pipes to be round section
 - timber weatherboards (replaced with same profile timber painted weatherboards)
 - timber fascia painted fascias
 - no changes or alterations to existing chimneys
- PROPOSED REAR ADDITION
- all downpipes, guttering, rainheads, box gutters and parapet capping to be zincalume steel.
 - all down pipes to be round section
 - timber fascia painted fascias
 - all new metal framed windows to rear addition to have 70mm framing (commercial)

note: FFL of 19.47 to existing dwelling to be retained as part of any re-stumping to heritage section of dwelling.
note: all levels noted on plan have been obtained directly from re-establishment & feature and level by: Vic Survey ref: VS 3588

external finishes schedule

LOCATION	PRODUCT	COLOR	SWATCH	LOCATION	PRODUCT	COLOR	SWATCH
external horizontal timber painted weatherboards + new vertical Scyon cladding to rear upper floor	DULUX Matte	Lexicon white		existing timber windows & painted timber barge/fascia/pergola posts	DULUX Matte	terrace white	
rendered/painted masonry walls	DULUX Matte	terrace white		downpipes / Rainheads/ quad Gutters to new addition	Zincalume Steel	silver	
new metal roofs (pitched & flat)	Zincalume Steel	silver		aluminium Window Frames (commercial sections + window shrouds)	AWS vantage double glazed windows	terrace white	
Feature Brickwork	Krause Emperor Bricks	Ghost Grey, finished with a titanium oxide wash and mortar		front fence (existing)	DULUX Semi-gloss	terrace white	
front door	DULUX Semi-gloss	Gasgoyne Grey					



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AMENDMENTS:

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client
Rohan & Marcella Bissett

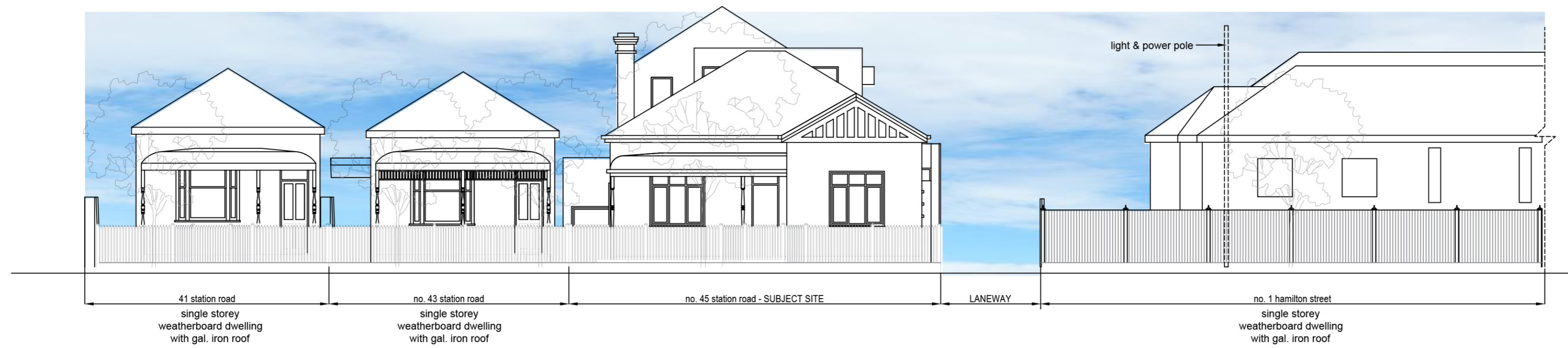
location
45 Station Street, Seddon

project
proposed rear double storey addition to an existing heritage dwelling with associated demolition works

drawing sheet
proposed elevations

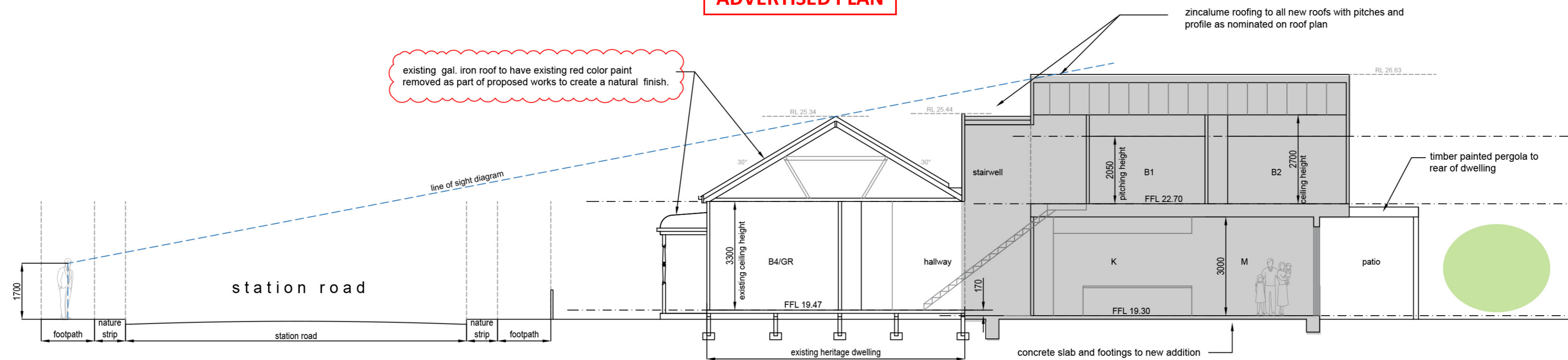
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REF: HP-858.5
ISSUE: TP - B

SHEET SIZE
A2



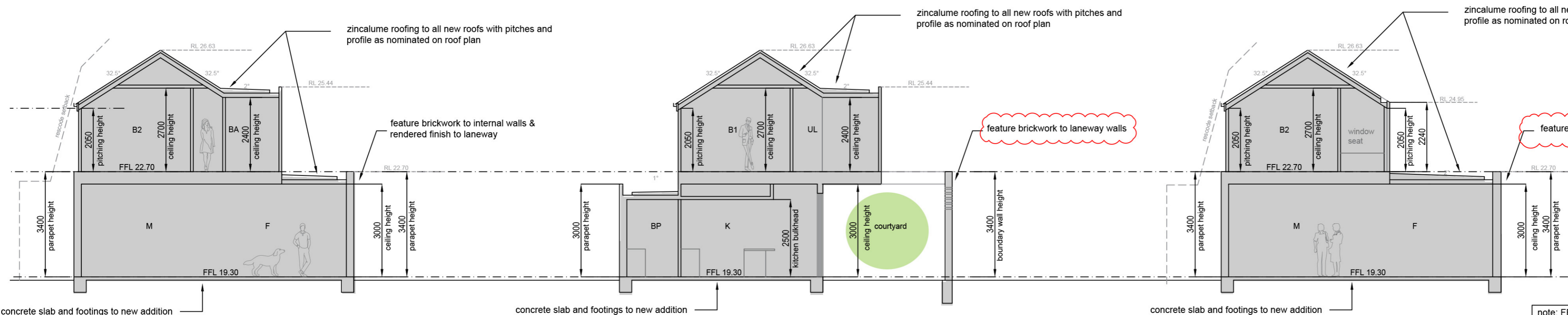
proposed streetscape elevation 1:100

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



section AA 1:100 (with line of sight diagram)

- Room legend
some items may not apply
- E entry
 - MB master bedroom
 - B1,2,3... bedroom
 - GR guest bedroom
 - F family
 - K kitchen
 - BP butlers pantry
 - BA bathroom
 - G garage
 - L living
 - EN ensuite
 - M meals
 - UR upper retreat
 - ST study
 - LN laundry
 - WIR walk in robe
 - PW powder room



section BB 1:100

section CC 1:100

section DD 1:100

proposed sections 1:100

note: FFL of 19.47 to existing dwelling to be retained as part of any re-stumping to heritage section of dwelling.
note: all levels noted on plan have been obtained directly from re-establishment & feature and level by: Vic Survey ref: VS 3588

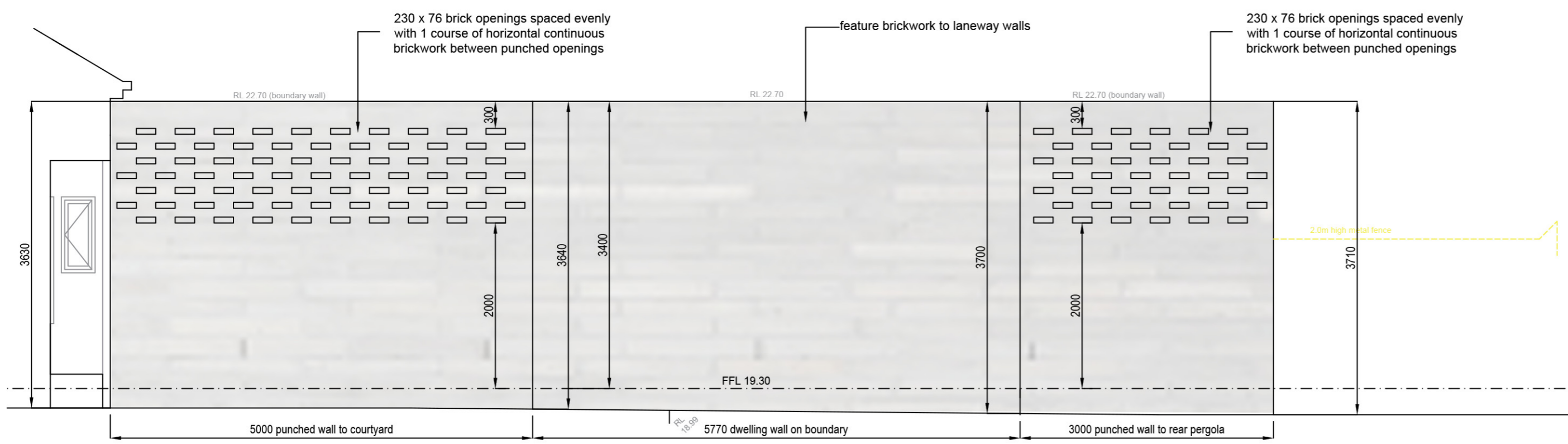


AMENDMENTS:		
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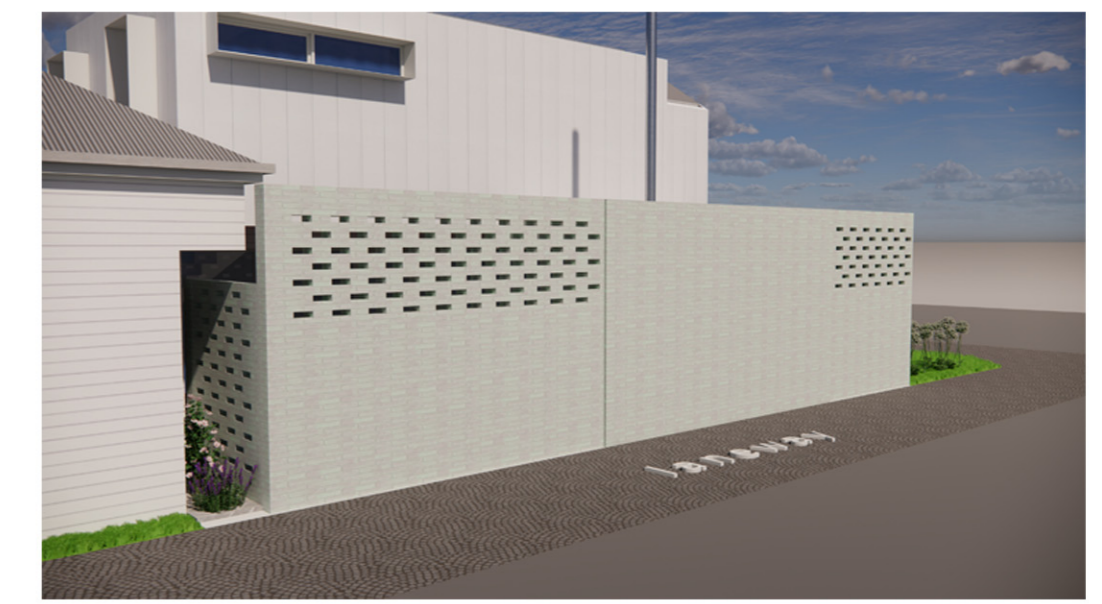
client	Rohan & Marcella Bissett
location	45 Station Street, Seddon

project	proposed rear double storey addition to an existing heritage dwelling with associated demolition works
drawing sheet	proposed sections & streetscape view

ISSUE DATE:	09/08/2024
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REF:	HP-858.6
ISSUE:	TP - B
SHEET SIZE	A2



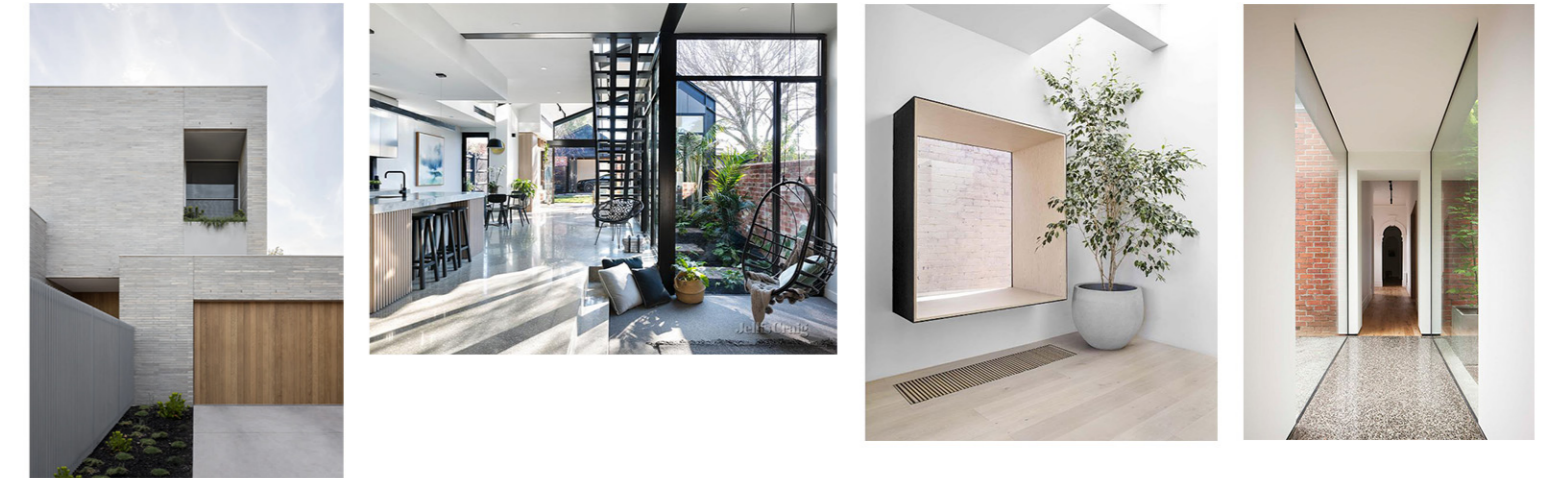
eastern feature wall elevation 1:50



perspective view of wall n.t.s.



CITY OF MARIBYRNONG
ADVERTISED PLAN



3D elevations n.t.s.

inspirational images n.t.s.

AMENDMENTS:		
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client	Rohan & Marcella Bissett
location	45 Station Street, Seddon

project	proposed rear double storey addition to an existing heritage dwelling with associated demolition works
drawing sheet	3D perspectives/inspirational images + brick boundary wall

ISSUE DATE:	09/08/2024
SCALE:	1:100 or as noted
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REF:	HP-858.7
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