

LEGEND

1. NOISE DIRECTION
2. MELBOURNE CBD - 9.96km
3. SCHOOL 400m
4. PUBLIC TRANSPORT 100m
5. ASHLEY GARDENS CARAVAN PARK 755m
6. SHOPS 136m
7. ADJOINING B/V RESIDENCE
8. ADJOINING W/B RESIDENCE
9. ADJOINING RENDERED B/V
10. VACANT LAND
- S. SINGLE STOREY
- D. DOUBLE STOREY
- T. TRIPPLE STOREY
- V. VERANDAH
- PER. PERGOLA
- SH. SHED
- G. GARAGE
- CP. CAR PORT
- CS. CAR SPACE
- P.F.: PAILING FENCE
- SF.: STEEL FENCE
- BF.: BRICK FENCE
- CF.: CYCLONE FENCE
- NF.: NO FENCE
- TF.: TIMBER FENCE
- FF.: FOLIAGE FENCE
- > EXISTING VEHICLE CROSSING
- 5.25m SET BACK
- P.O.S - private open space
- (HW) HABITABLE WINDOWS
- (NHW) NON HABITABLE WINDOWS
- P.P. POWER POLE
- EXISTING TREES

NOTE:
SITE IS FLAT

NOTE:
ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800H TIMBER PAILING FENCE.

NOTE:
MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS

NOTE:
BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.



Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

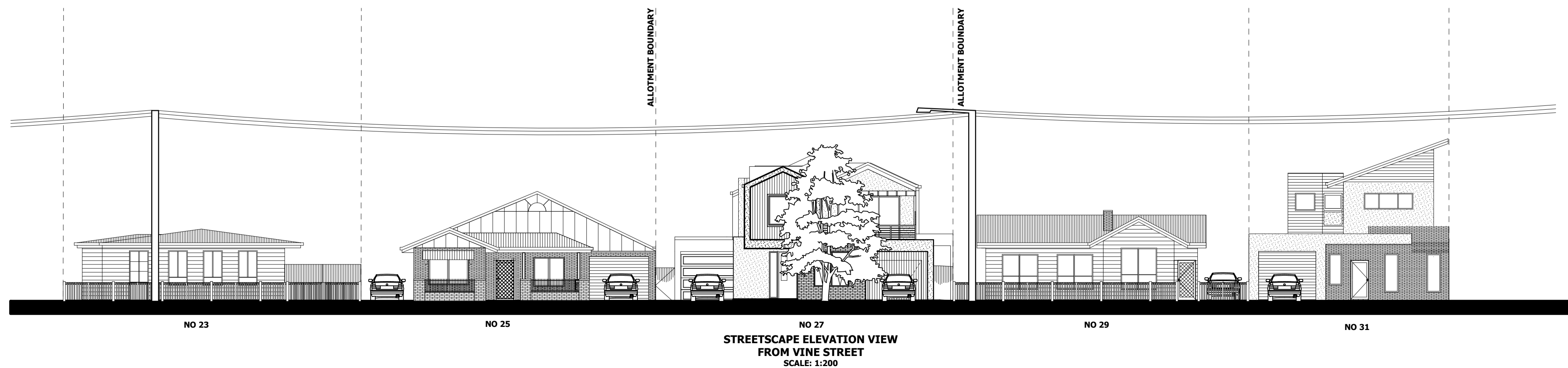
- i) A suitable Tree Protection Zone of 2.0m-metre radius with barrier fence must be established around the street tree/s on the Vine Street frontage.
- ii) The Protection Zone must be enclosed using a 2 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
- iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
- iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.

All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

NEIGHBOURHOOD & SITE DESCRIPTION
SCALE 1:500



DESIGN RESPONSE PLAN
SCALE 1:500



M7 Design Group Pty. Ltd. building designers <small>registered building practitioner</small>	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	Job No: 2333 Date: 09.07.24	data amendments sheet no.01
	PRELIMINARY		
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	I: 03 957 8111 F: 03 957 8118 M: 0438 988 880		

NOTE: SITE IS FLAT
NOTE: ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800M TIMBER PALING FENCE
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AREA ANALYSIS

UNIT 1
AREA:
ground floor: 53.9m²
porch: 4.0m²
courtyard: 4.28m²
garage: 23.34m²
upper floor: 61.50m²
balcony: 8.15m²
TOTAL: 155.17m² 16.70sq.

UNIT 2
AREA:
ground floor: 44.31m²
porch: 1.55m²
patio: 6.75m²
carport: 21.07m²
upper floor: 64.00m²
TOTAL: 137.68m² 14.82sq.

UNIT 3
AREA:
ground floor: 41.97m²
porch: 1.36m²
patio: 6.75m²
garage: 23.52m²
upper floor: 60.67m²
TOTAL: 134.15m² 14.48sq.

UNIT 4
AREA:
ground floor: 57.49m²
porch: 4.5m²
patio: 4.09m²
garage: 23.55m²
upper floor: 58.37m²
TOTAL: 148.00m² 15.93sq.

AREA ANALYSIS

SITE AREA: 743.00m²
BUILT UP AREA: 312.24m²
SITE COVERAGE: 42.02%
PERMIBILITY: 35.23%
GARDEN AREA 35% OF SITE AREA = 260.05m²
PROPOSED GARDEN AREA = 35.14% (261.14m²)
TOTAL: 575.36m² 61.93sq.

LEGEND

- LB LETTER BOX
- HWS HOT WATER SERVICE
- MB METER BOX
- RUB RUBBISH BIN
- RECY RECYCLE BIN
- HW HABITAT WINDOW
- NHW NON HABITAT WINDOW
- GM GAS METER
- CL CLOTHES LINE
- RTW RAIN WATER TANK
- AH AIRCONDITION / HEATING UNIT
- SP SOLAR PANELS

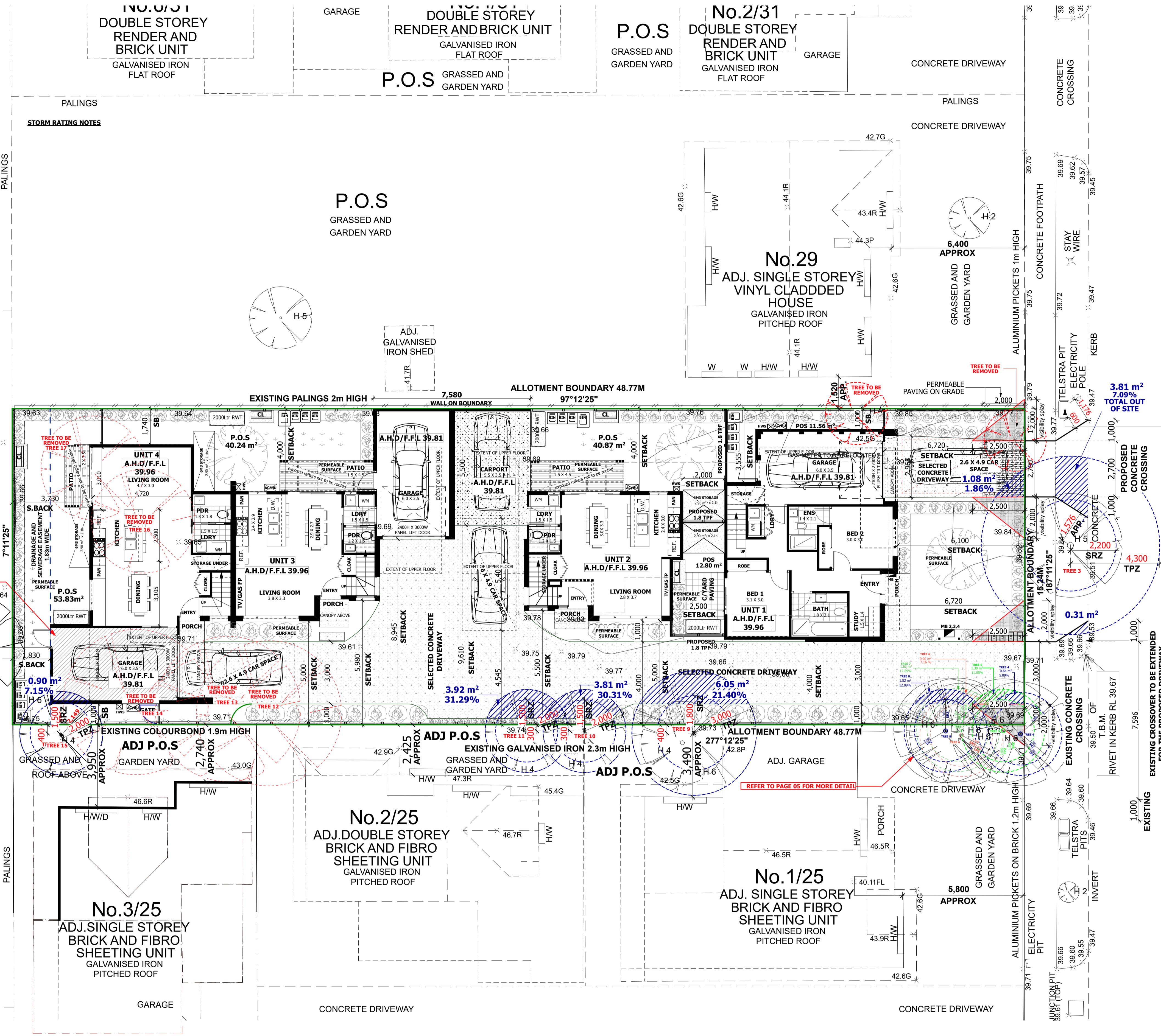
STORM RATING NOTES

Unit 1 RAIN WATER TANKS: The rainwater from Unit 1 roof area of 73.18m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L'dry for the washing machine.	Unit 3 RAIN WATER TANKS: The rainwater from Unit 3 roof area of 68.94m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L'dry for the washing machine.	UNTREATED AREA: Driveway, paved, canopy & roof areas of 180.0m ² are not to be treated. Refer STORM AND WSUD SITE PLAN for details.
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- i) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree/s on the VINE STREET frontage.
- ii) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
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P.O.S
GRASSED AND GARDEN YARD

No.6
SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.4
SINGLE STOREY WEATHERBOARD HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.3/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.2/25
ADJ. DOUBLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.1/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

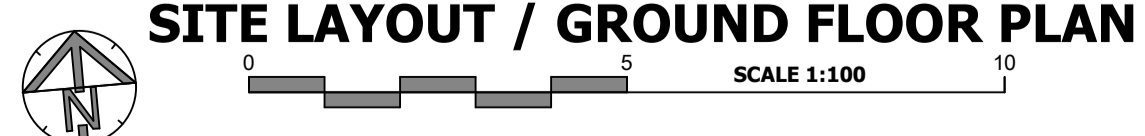
No.29
ADJ. SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF

No.0/1
DOUBLE STOREY RENDER AND BRICK UNIT
GALVANISED IRON FLAT ROOF

No.1/0
DOUBLE STOREY RENDER AND BRICK UNIT
GALVANISED IRON FLAT ROOF

No.2/31
DOUBLE STOREY RENDER AND BRICK UNIT
GALVANISED IRON FLAT ROOF

SITE LAYOUT / GROUND FLOOR PLAN



THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP Job No: 2333 Date: 09.07.24	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	date	amendments						
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- SOLAR PANELS

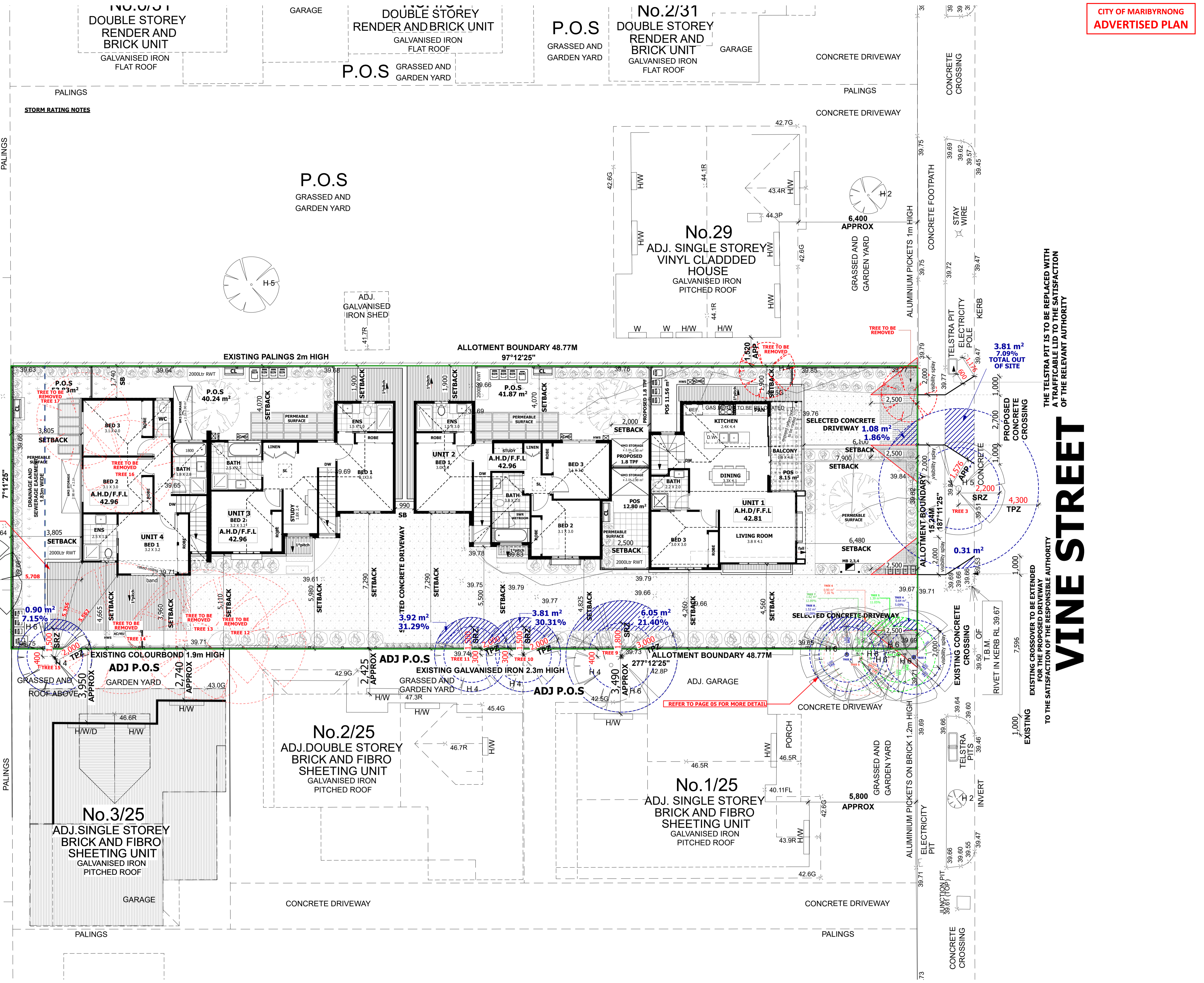
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SITE LAYOUT / FIRST FLOOR PLAN
SCALE 1:100

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VINE STREET

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	date amendments _____ _____ _____ _____
	Job No: 2333 Date: 09.07.24	sheet no: 03

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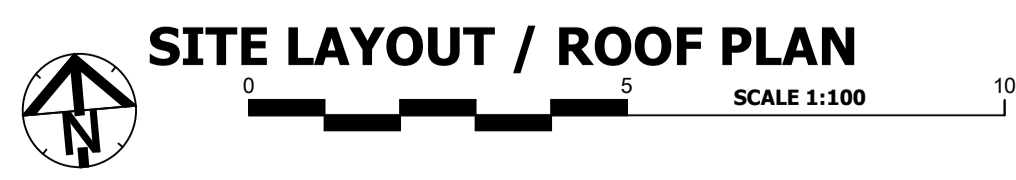
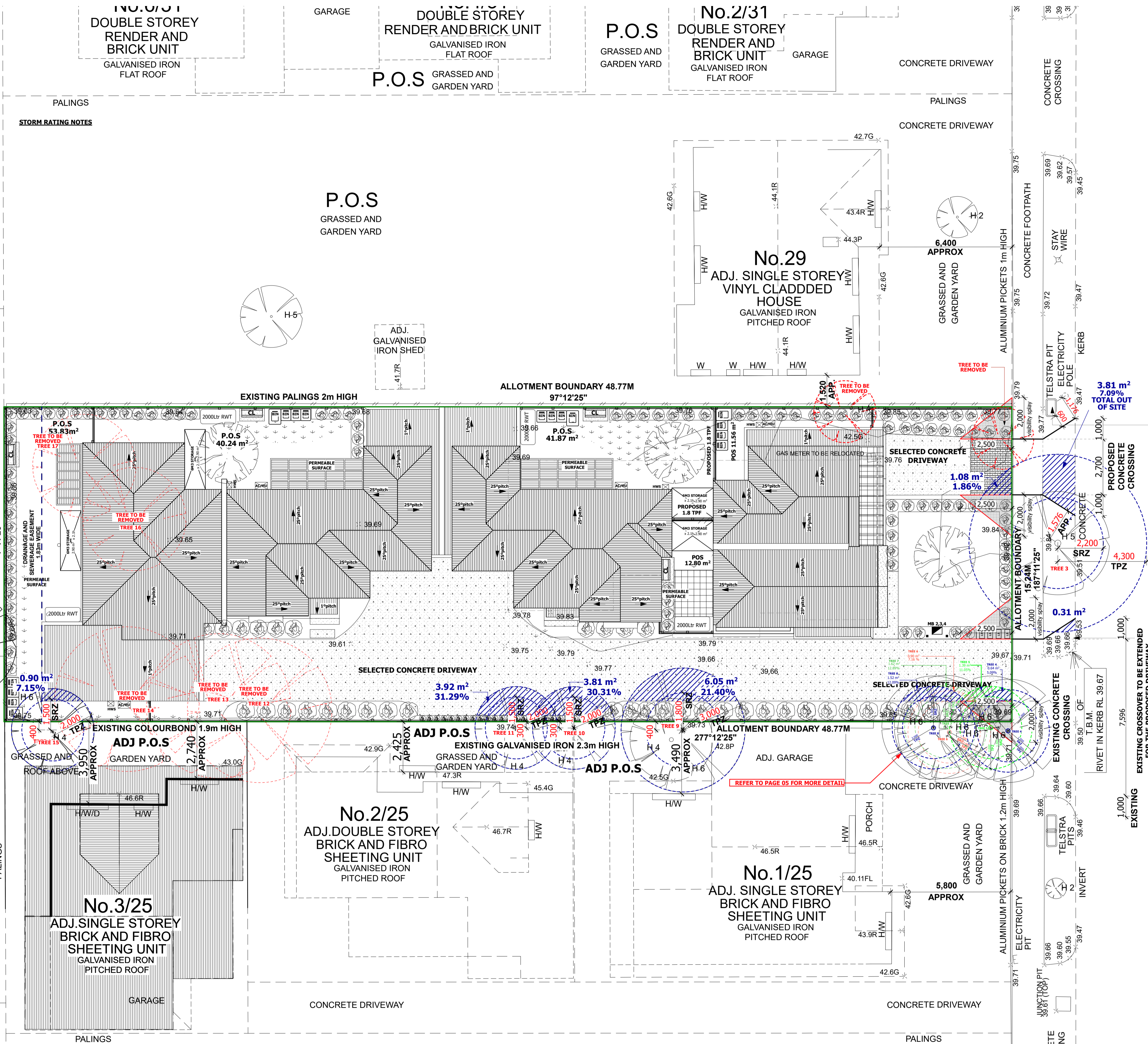
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MORE THAN 9M SETBACK

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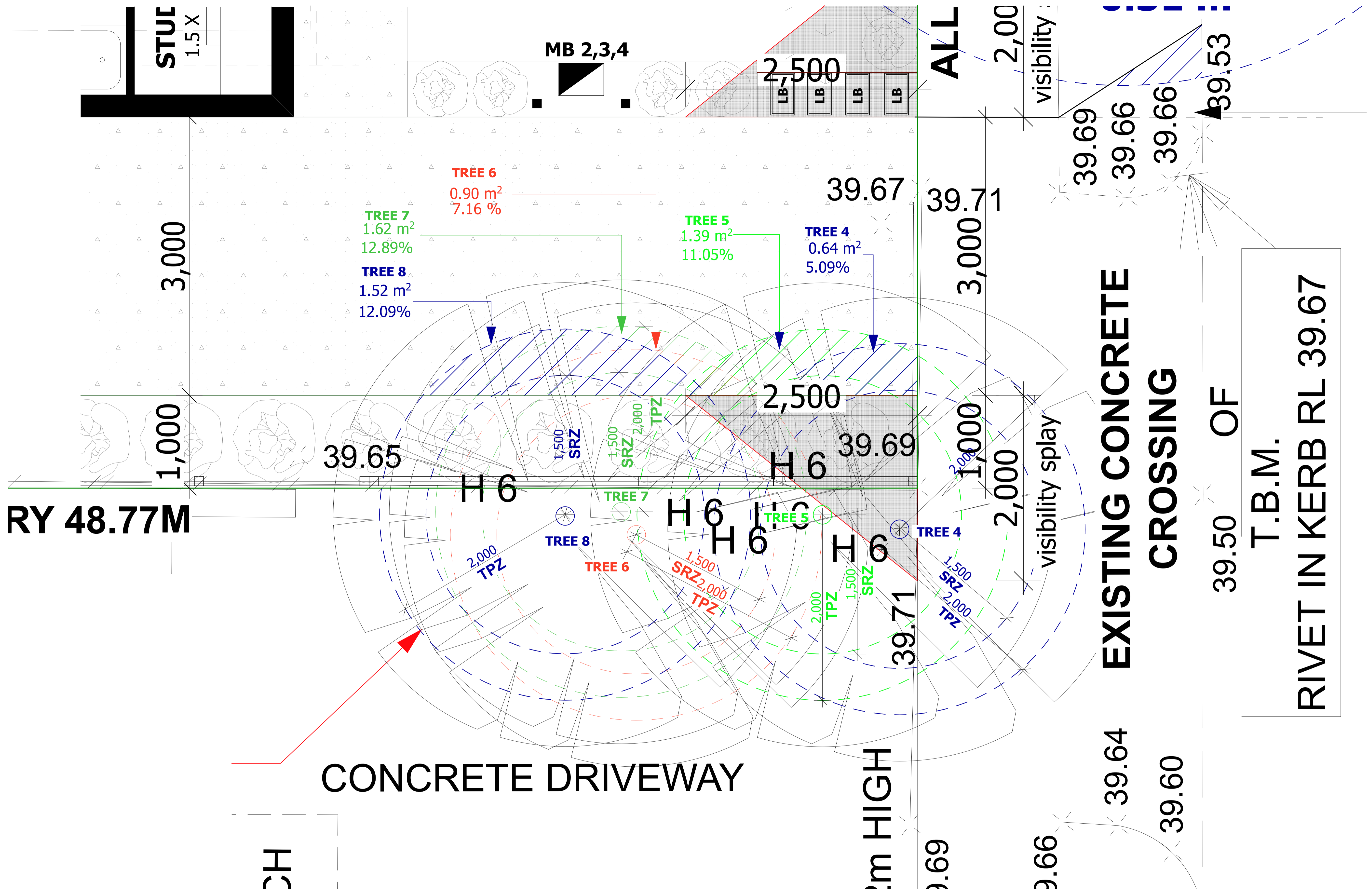
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VINE STREET

PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	date amendments _____ _____ _____ _____
	Job No: 2333 Date: 09.07.24	Copyright 2024. These drawings are not to be copied or used in any way without the written consent of the author.



CONCRETE DRIVEWAY

EXISTING CONCRETE CROSSING

39.50 T.B.M.
RIVET IN KERB RL 39.67

TPZ ENCROACHMENT CALCULATION
SCALE 1:20

M7 Design Group Pty. Ltd. building designers <small>1 83 857 811 f: 83 857 818 M: 0439 981 902</small> <small>DESIGN GROUP A Unit 10 Maribyrnong Victoria 3048</small> <small>registered building practitioner</small>	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24
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PRELIMINARY

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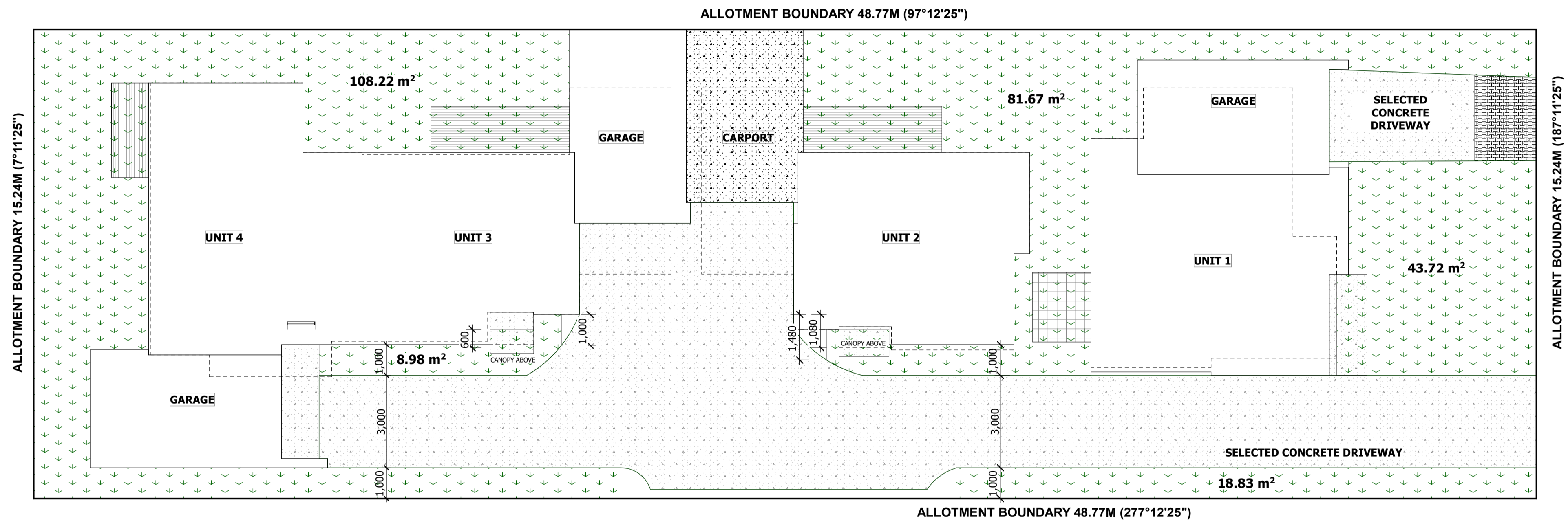
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	GARDEN AREA
	CONCRETE AREA



VINE STREET

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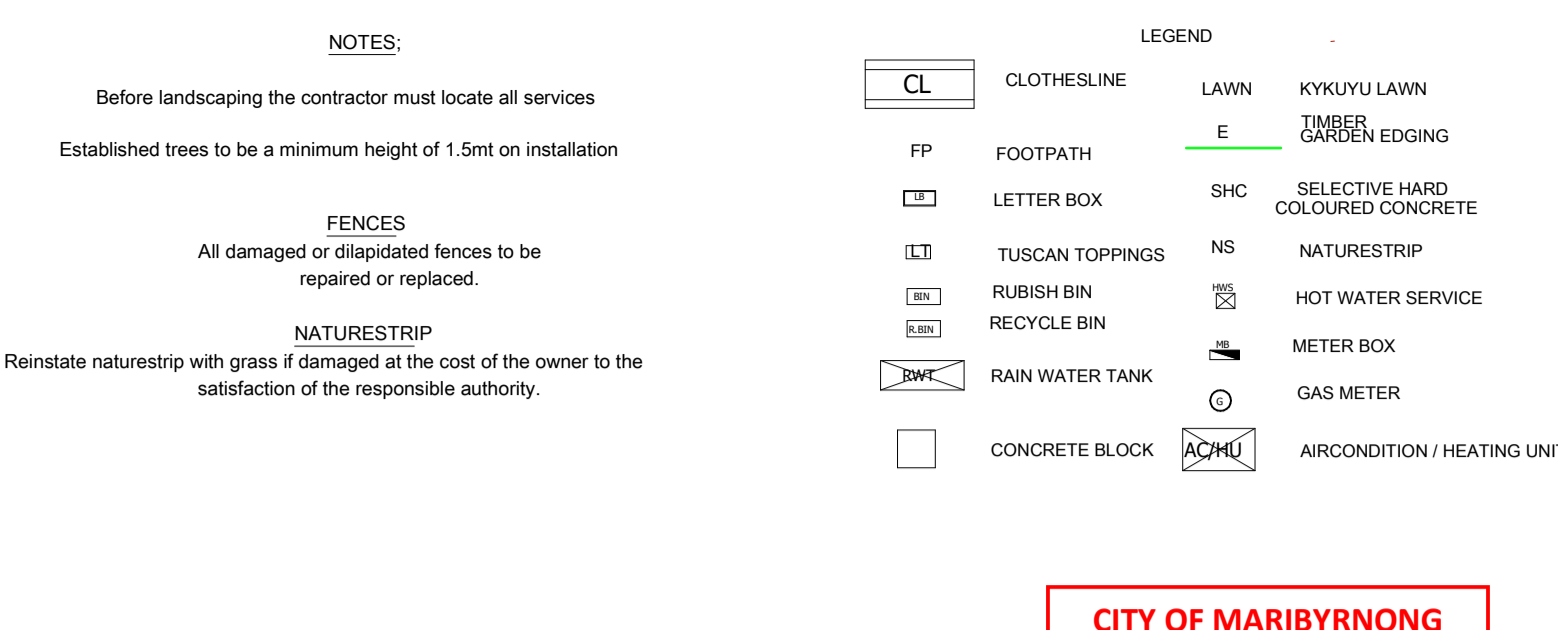
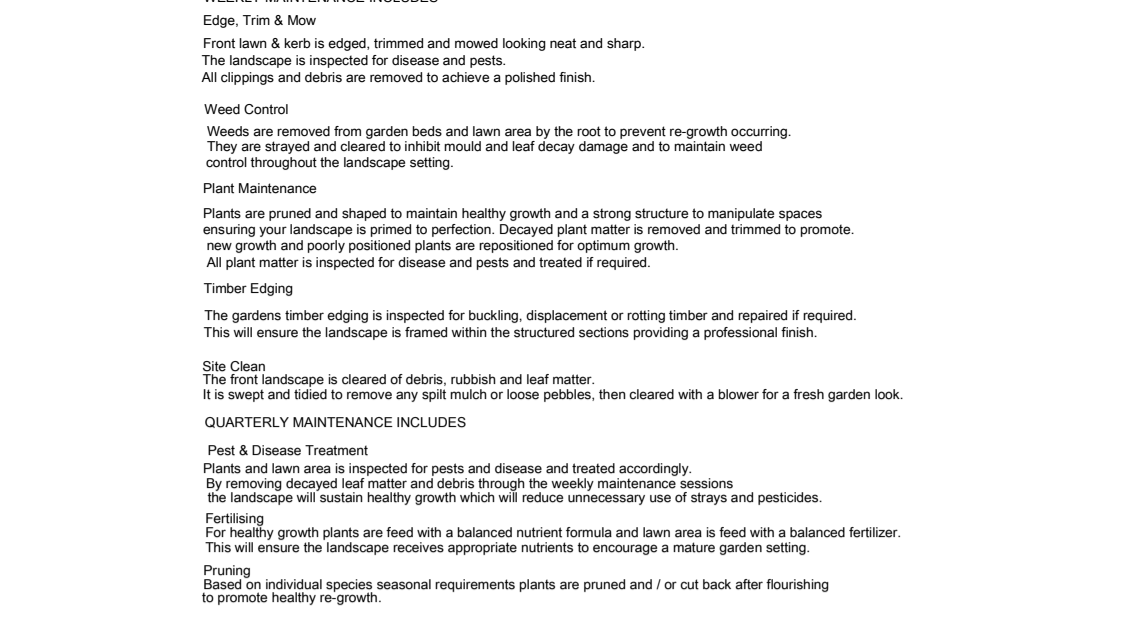
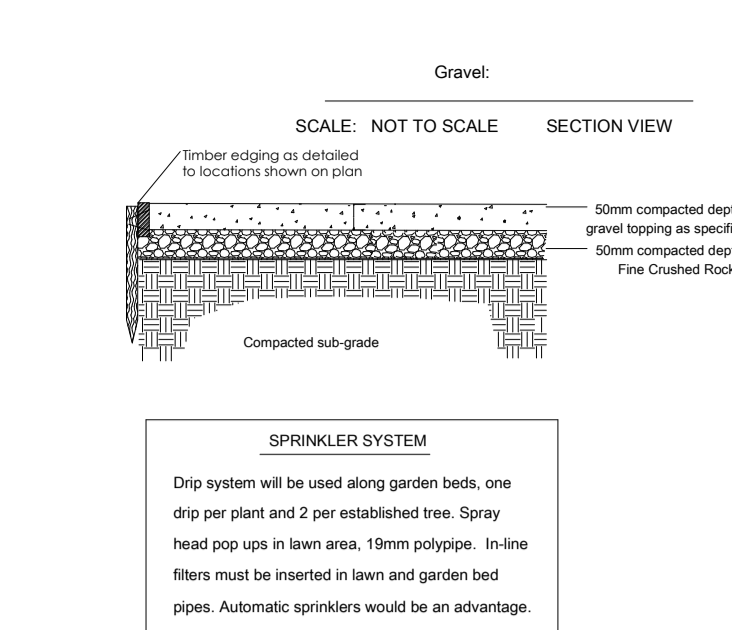
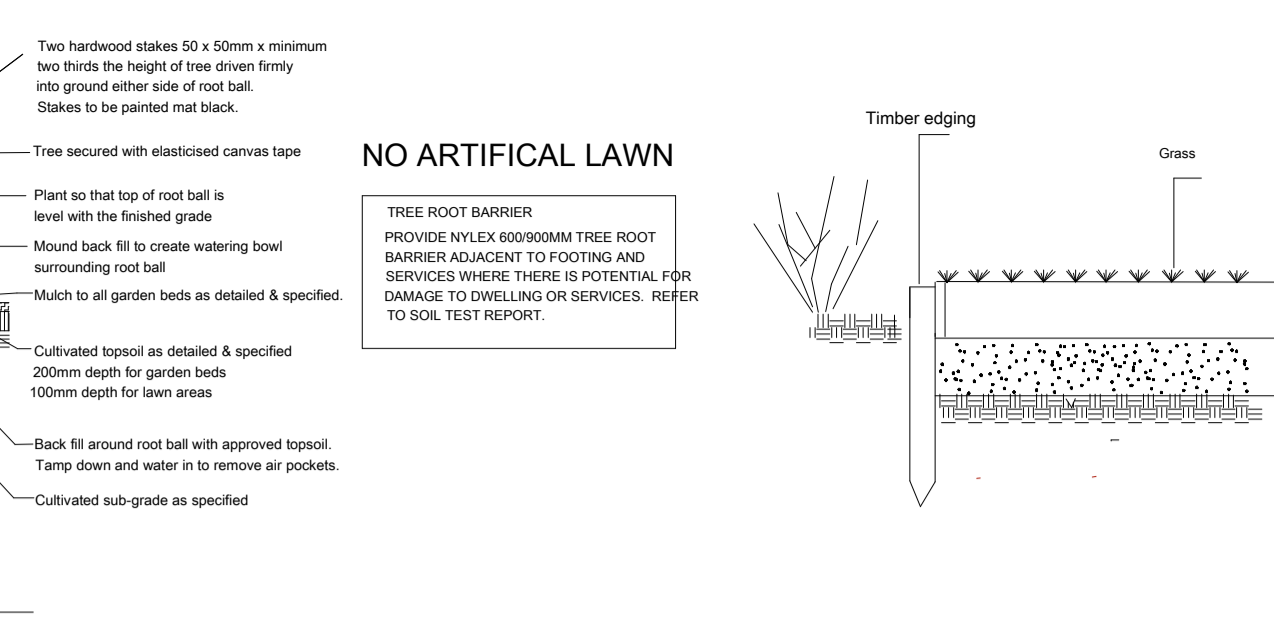
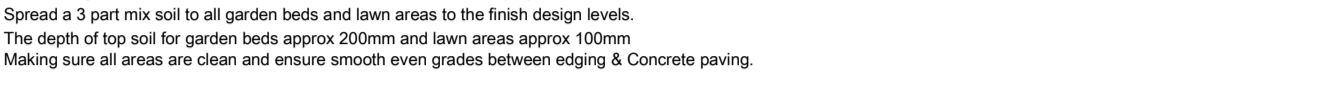
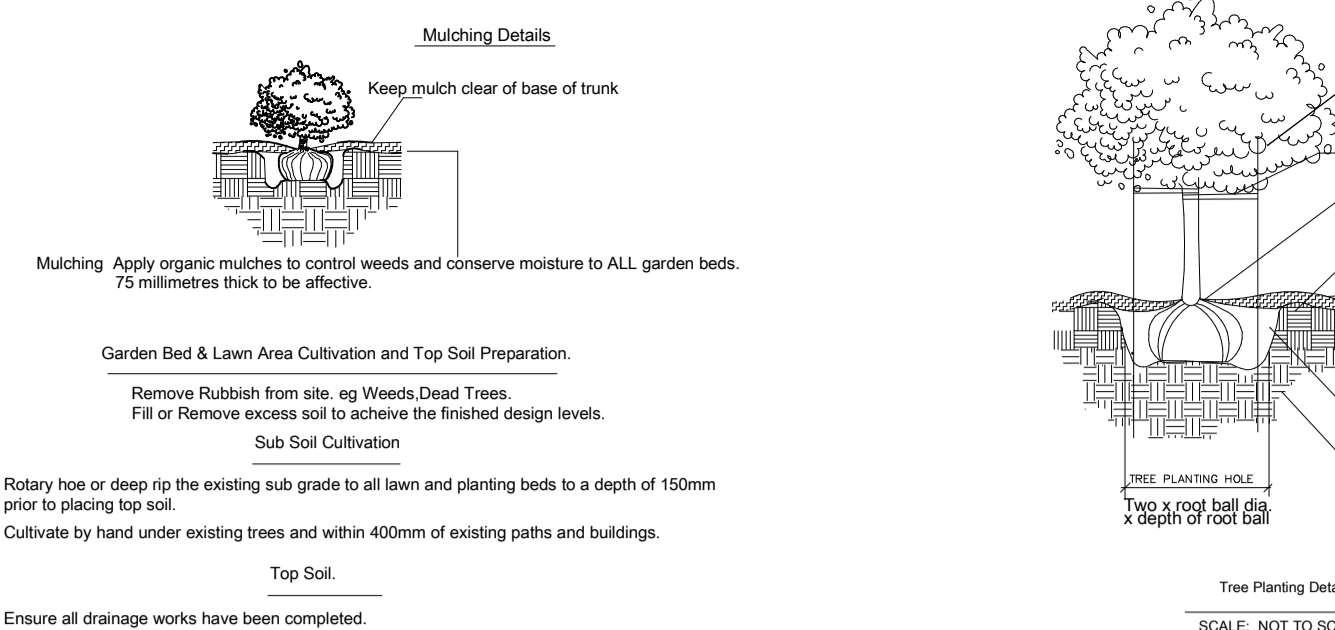
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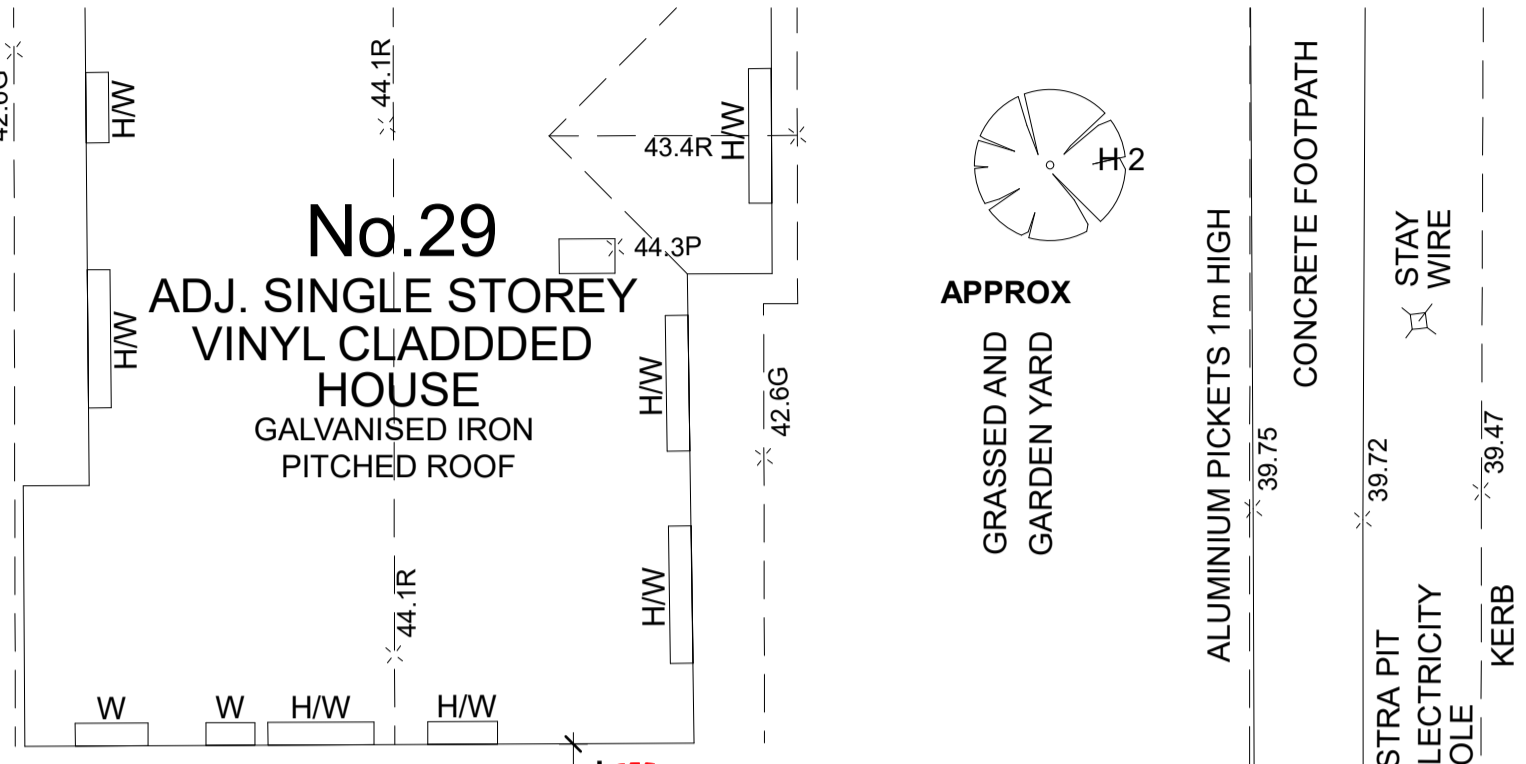
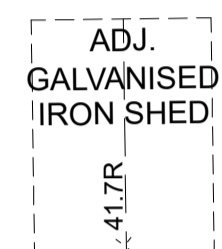
M7 Design Group Pty. Ltd. building designers registered building practitioner 1 83 837 811 F: 83 837 818 M: 0439 983 983	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	date	amendments														
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Job No: 2333 Date: 09.07.24	Copyright 2024. These drawings are not to be copied or used in whole or in part without the written consent of the author.	sheet no: 06																



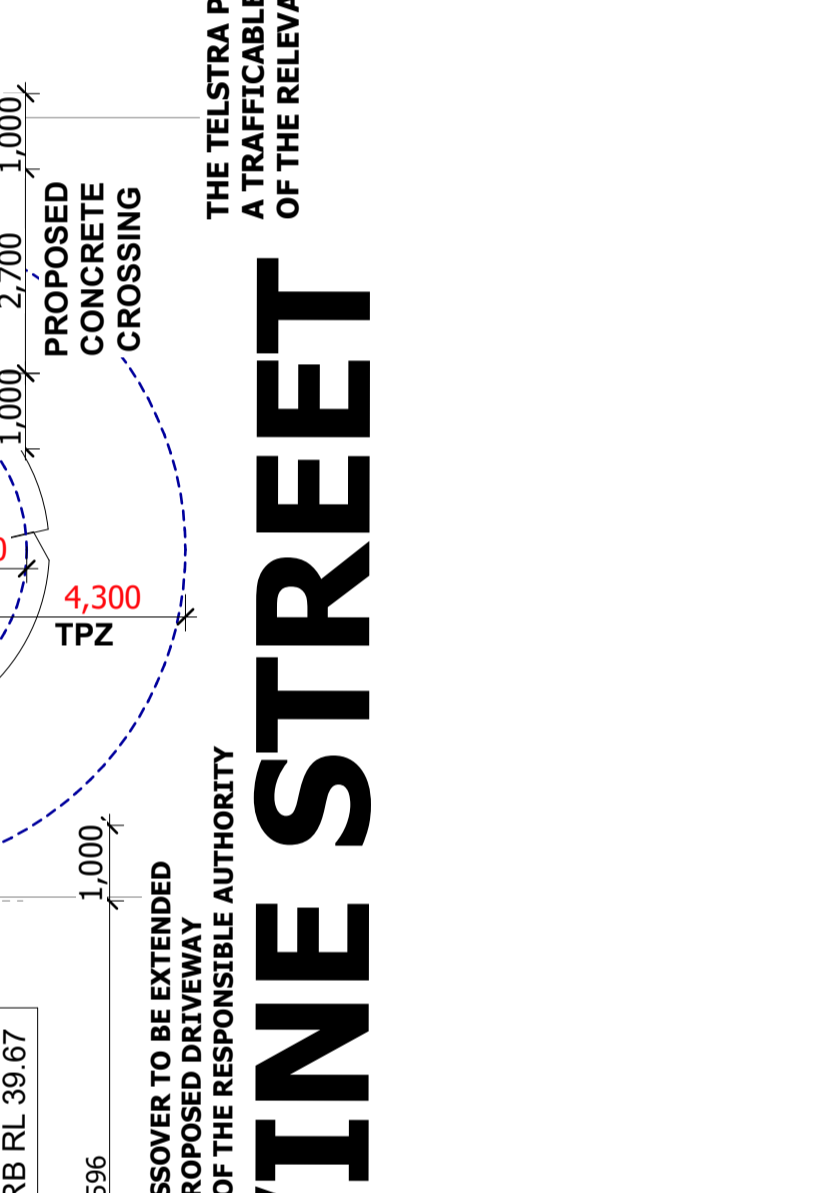
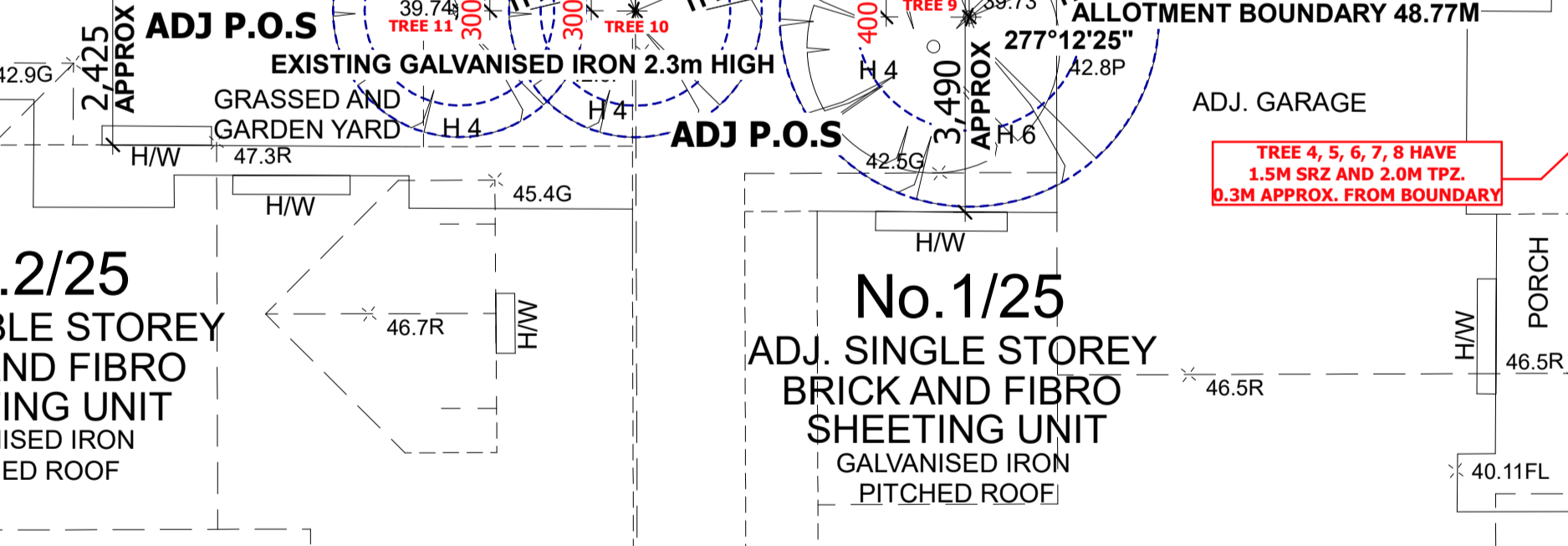
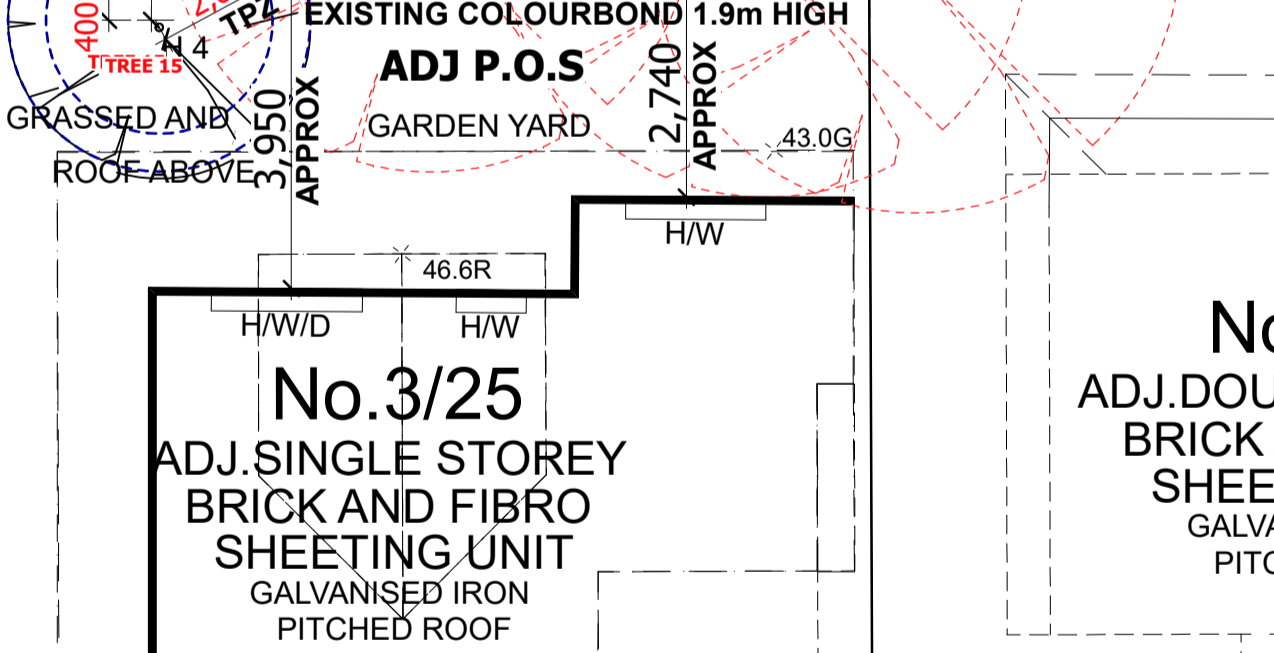
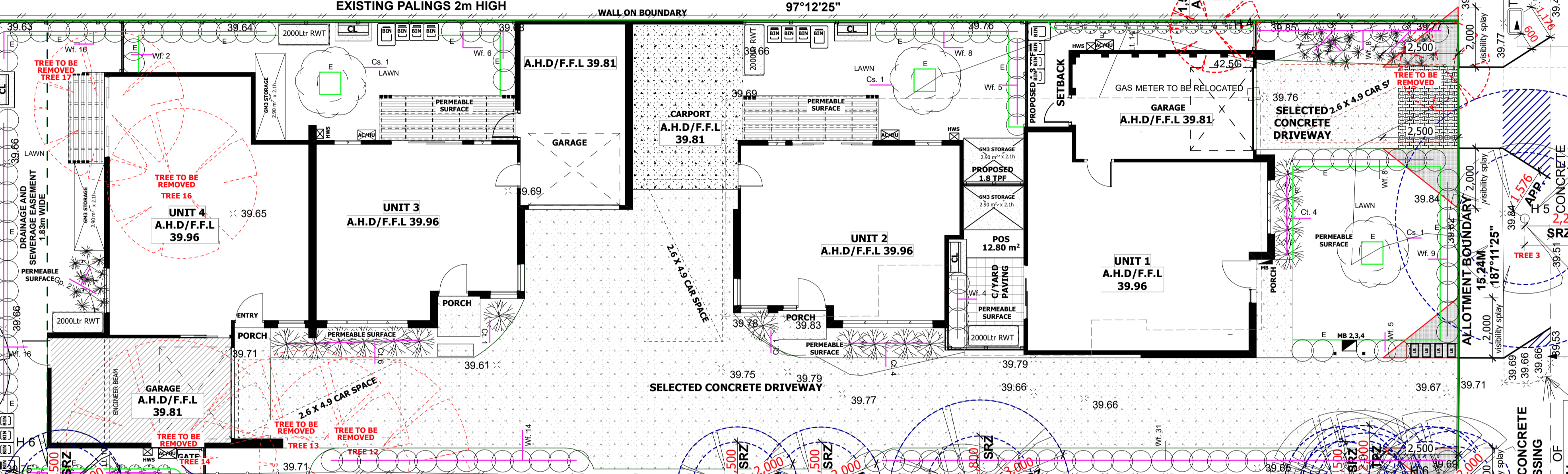
STORM RATING NOTICES

Unit 1 RAIN WATER TANKS: The rainwater from Unit 1 roof area of 73.18m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L/dry for the washing machine.	Unit 3 RAIN WATER TANKS: The rainwater from Unit 3 roof area of 68.94m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L/dry for the washing machine.	UNTREATED AREA: Driveway, paved, canopy & roof areas of 180.10m ² are not to be treated. Refer STORM AND WSUD SITE PLAN for details.
Unit 2 RAIN WATER TANKS: The rainwater from Unit 2 roof area of 74.66m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L/dry for the washing machine.	Unit 4 RAIN WATER TANKS: The rainwater from Unit 4 roof area of 67.06m ² is to be collected and discharged via a gravity fed system into a 2000L capacity rainwater tank which is to be connected to all toilets for toilet flushing and to L/dry for the washing machine.	

P.O.S
GRASSED AND GARDEN YARD



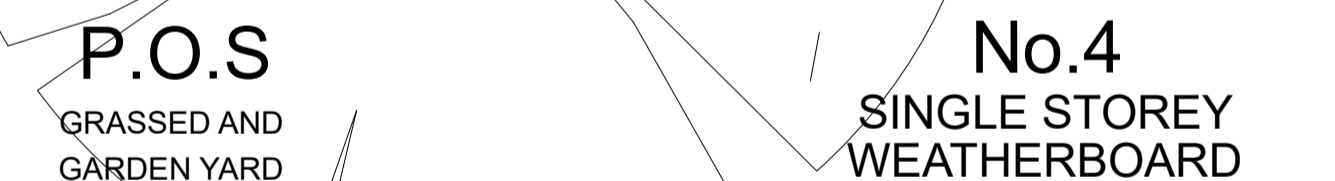
CITY OF MARIBYRNONG
ADVERTISED PLAN



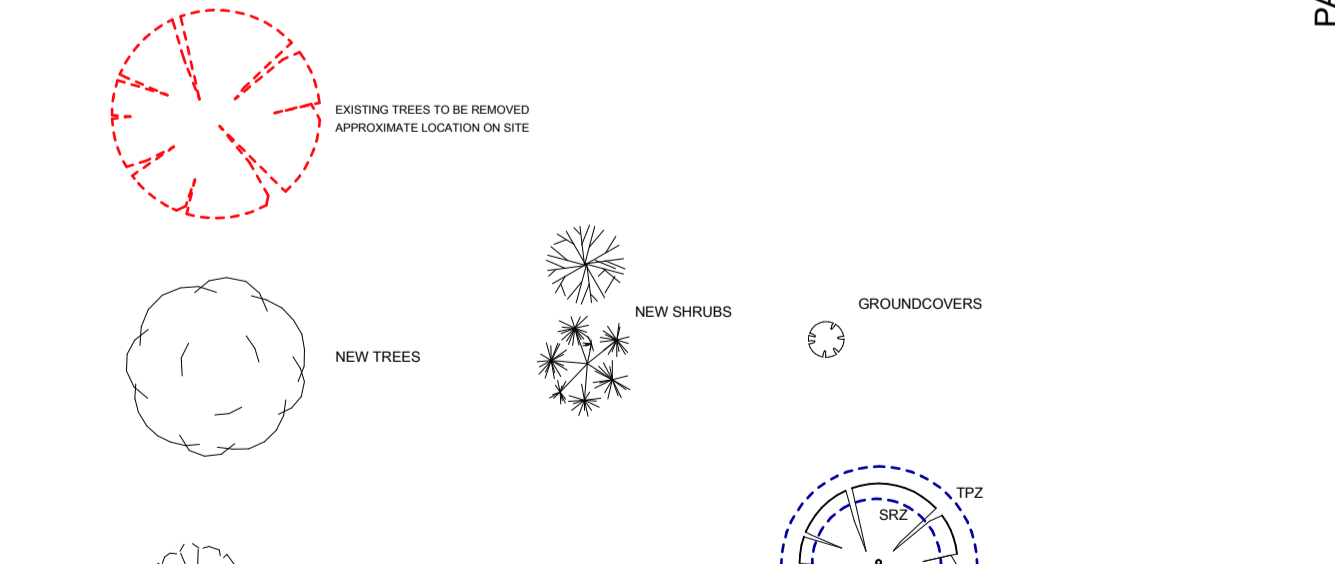
VINE STREET



P.O.S
GRASSED AND GARDEN YARD



P.O.S
GRASSED AND GARDEN YARD



High drought tolerance
ALL PLANTS REQUIRE VERY LITTLE WATER
Trees must be 1.5m at planting

PLANT TABLE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT mm approx	MATURE WEIGHT mm approx	POT SIZE mm	NUMBER REQUIRED
Cs	Callistemon pallidus	Lemon Bottlebrush	6000	3000	40lt pot	3
Gp	Gynatrix pulchella	Hemp bush	3000	1200	150mm	6
Wf	Westringia Zena	Dwarf Westringia	900	900	150mm	132
Ct	Grevillea 'Pooirinda'	Grevillea	1500	1200	150mm	18
Lt	Lomandra longifolia	Little con	500	500	150mm	24

VISIBILITY SPLAYS HAVE AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS. ANY STRUCTURES OR VEGETATION WITHIN THE SPLAYS MUST NOT BE MORE THAN 0.9M IN HEIGHT. THIS MUST BE IN ACCORDANCE WITH CLAUSE 52.06-9 - DESIGN STANDARDS FOR CAR PARKING

NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:
i) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street trees on the Vine Street frontage.
ii) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

AREA ANALYSIS

SITE AREA:	743.00m ²
BUILT UP AREA:	312.24m ²
SITE COVERAGE:	42.02%
PERMIBILITY:	35.23%
GARDEN AREA 35% OF SITE AREA = 260.05m ²	
PROPOSED GARDEN AREA = 35.14% (261.14m ²)	
TOTAL:	575.36m² 61.93sq.

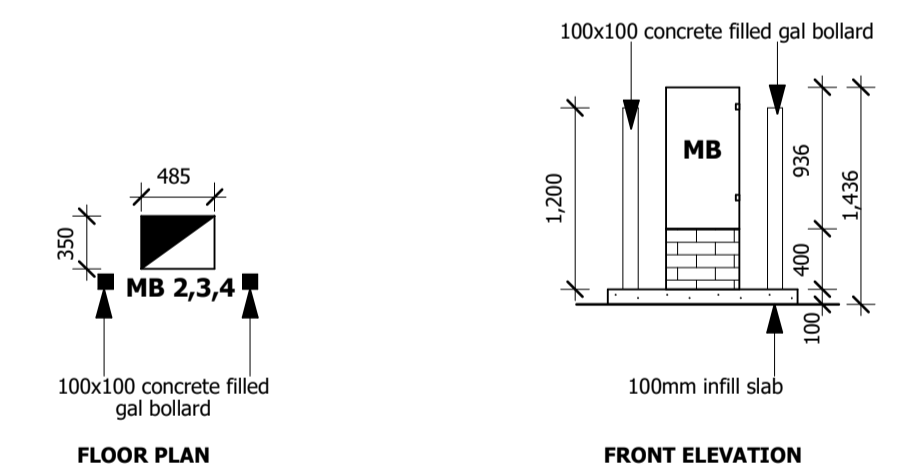
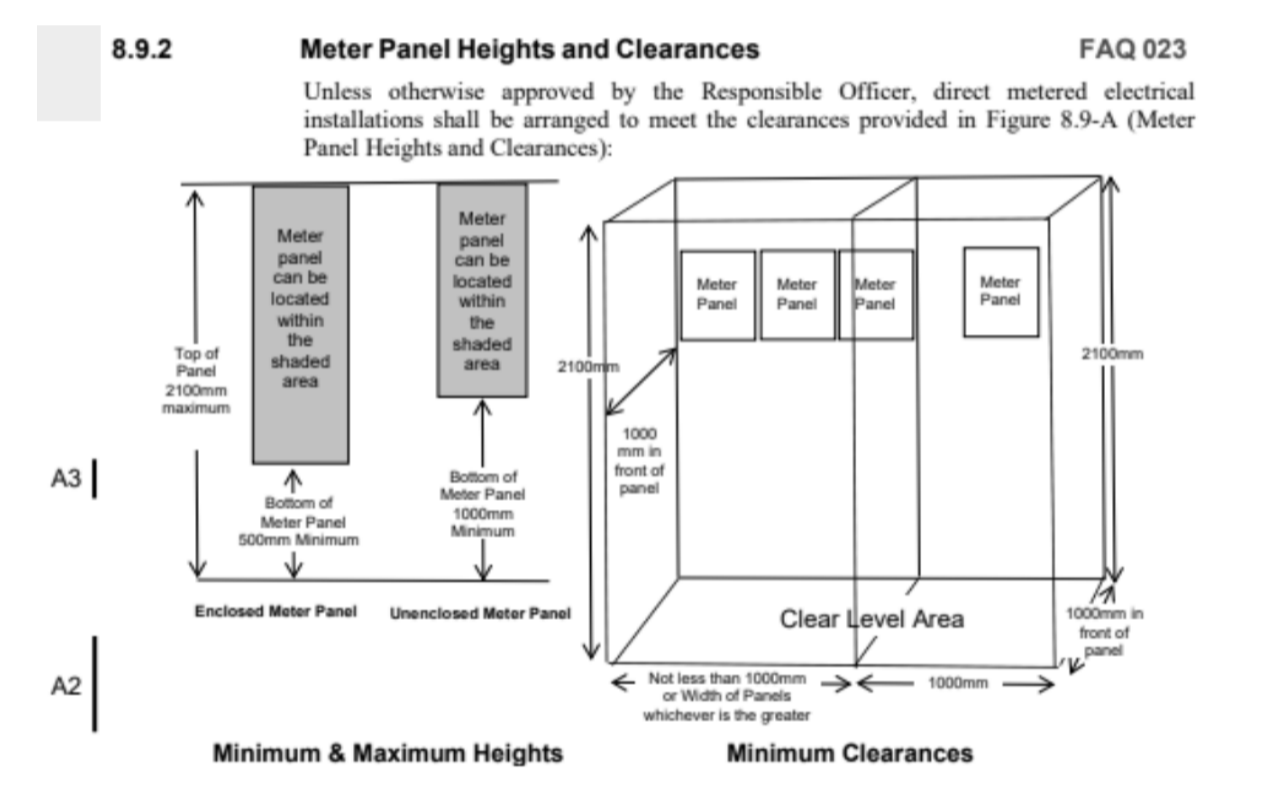
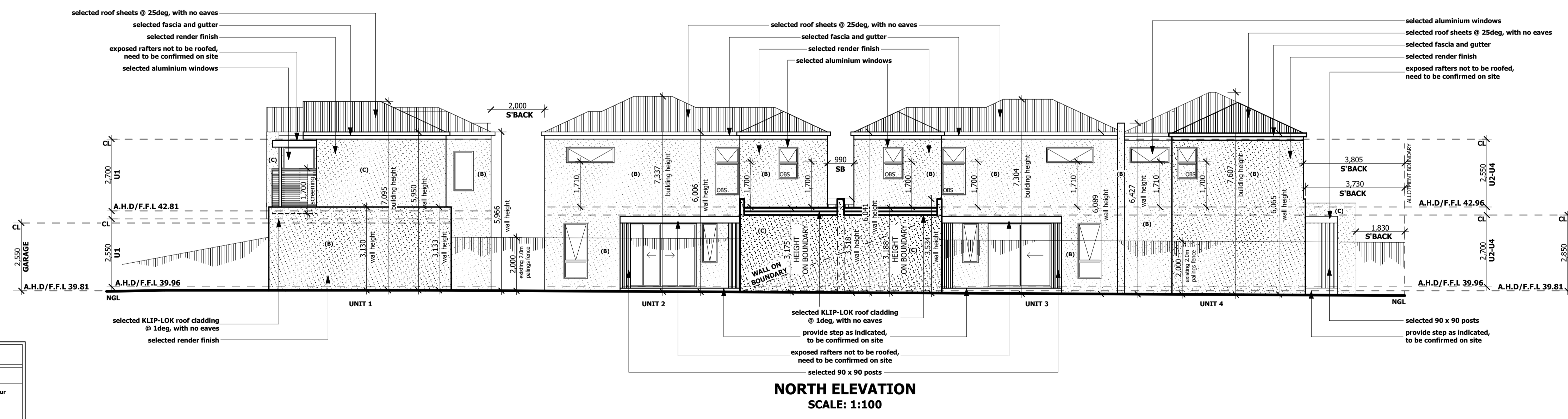
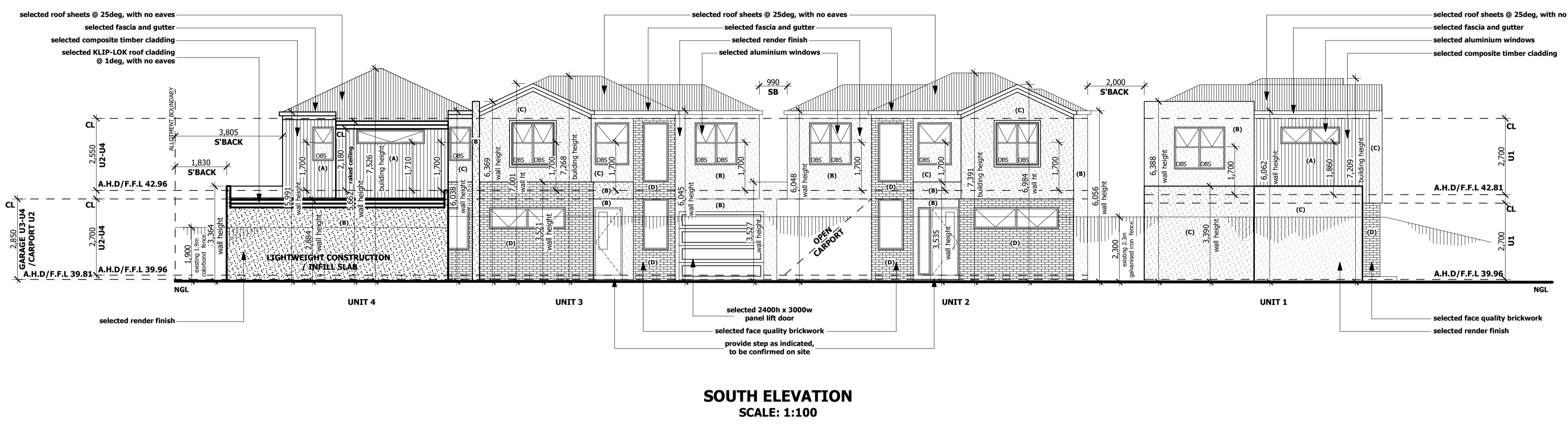
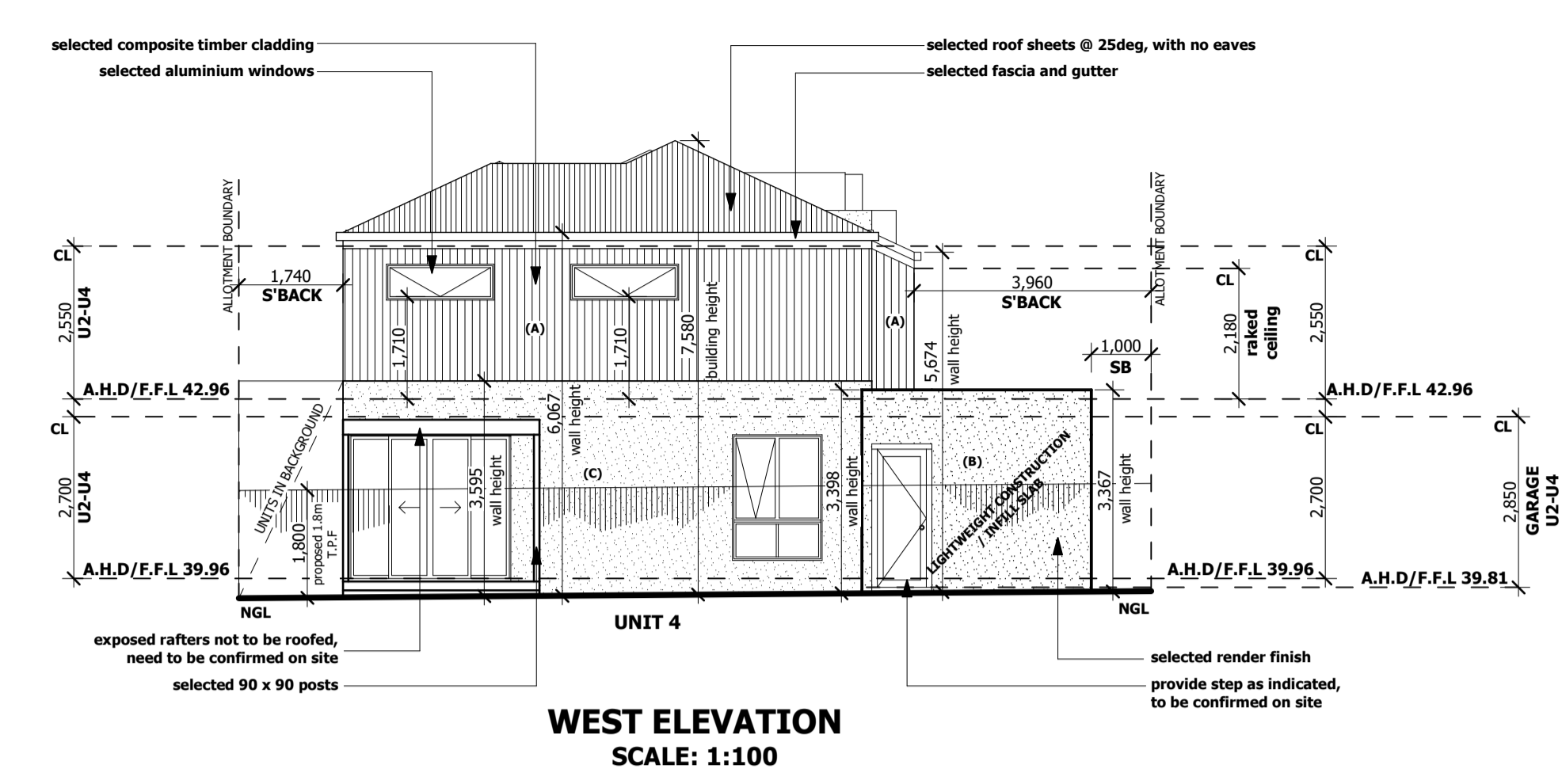
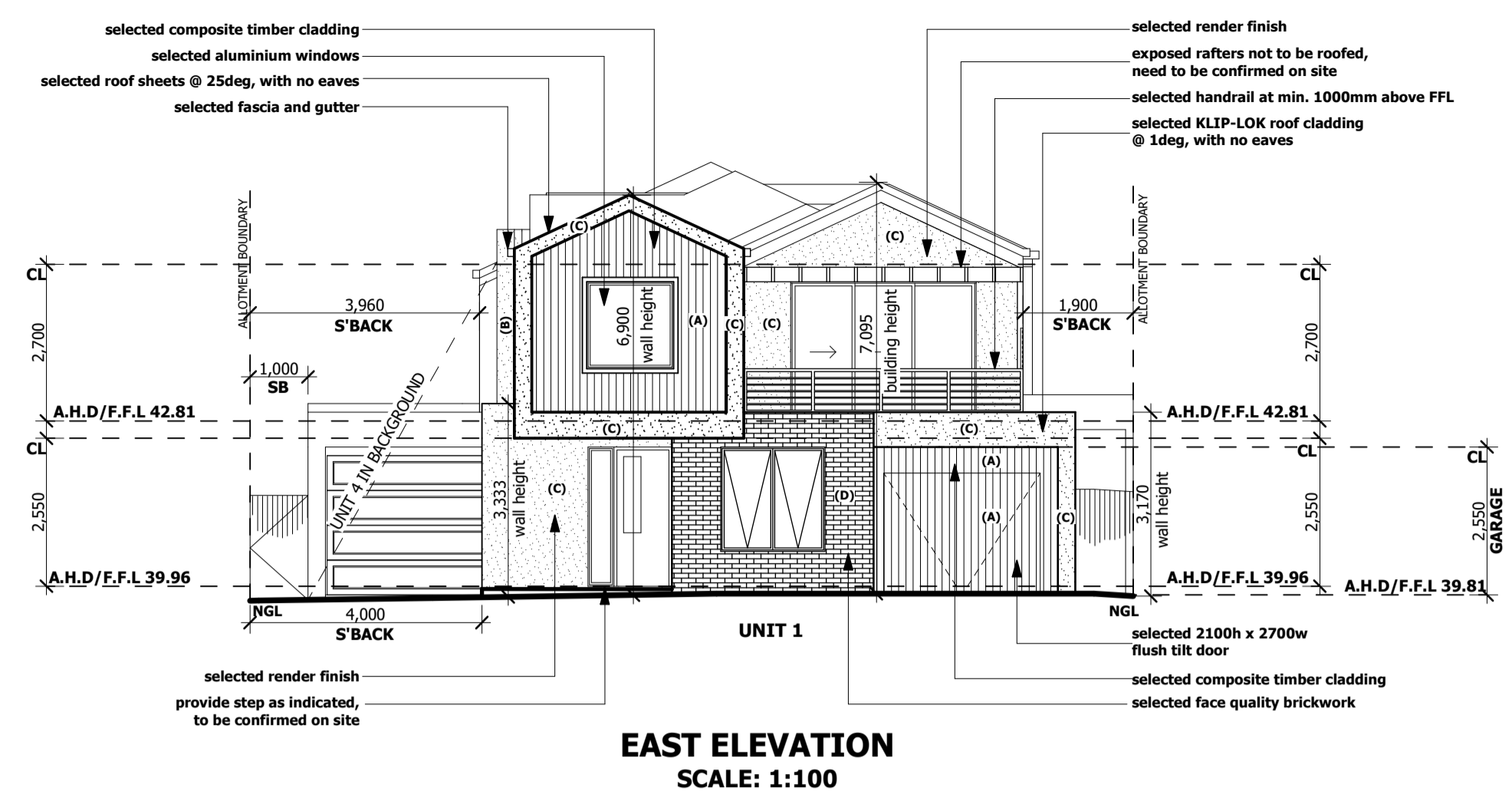
M7 Design Group Pty. Ltd.
building designers
registered building practitioner

Proposed: **UNIT DEVELOPMENT**
At: **27 VINE STREET BRAYBROOK**
Client: **MANOS GROUP**
Job No: **2333** Date: **09.07.24**

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sheet no:07

PRELIMINARY



MATERIALS SCHEDULE

ITEMS	COLOURS
WALLS	(A) Composite timber cladding - Timber colour
EXTERNAL SURFACE	(B) Render finish - Natural White (Dulux) (C) Render finish - Monument (Dulux) (D) Face brickwork - PGH Tribeca
WINDOWS / DOORS	POWDERCOAT ALUMINIUM (BLACK TONE)
UNIT 1'S FLUSH TILT GARAGE DOOR	COMPOSITE TIMBER CLADDING - TIMBER COLOUR
UNIT 2,3,4 PANEL LEFT GARAGE DOOR	COLORBOND - MONUMENT
ROOF	COLORBOND - SURFMIST
CAPPING / FASCIA / GUTTER	COLORBOND - MONUMENT
RAIN WATER TANK	COLORBOND - SURFMIST
CONCRETE DRIVEWAY	LIGHT GREY TONE

OBS - DENOTES, OBSCURED WINDOW

OBSCURED WINDOWS WOULD HAVE A MAXIMUM TRANSPARENCY OF 25% IF REQUIRED TO PREVENT OVERLOOKING

M7 Design Group Pty. Ltd.
building designers

1 85 857 811
F: 85 857 818
M: 0439 989 980

Proposed: **UNIT DEVELOPMENT**

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Job No: **2333** Date: **09.07.24**

registered building practitioner

PRELIMINARY

date	amendments

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sheet no:08

NOTE: SITE IS FLAT

NOTE: ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800mm TIMBER FENCING FENCE

NOTE: MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS

NOTE: BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.

AREA ANALYSIS

UNIT 1

AREA:
ground floor: 53.9m²
porch: 4.0m²
courtyard: 4.28m²
garage: 23.34m²

upper floor: 61.50m²
balcony: 8.15m²

TOTAL: 155.17m² 16.70sq.

UNIT 2

AREA:
ground floor: 44.31m²
porch: 1.55m²
patio: 6.75m²
carport: 21.07m²

upper floor: 64.00m²

TOTAL: 137.68m² 14.82sq.

UNIT 3

AREA:
ground floor: 41.97m²
porch: 1.36m²
patio: 6.75m²
garage: 23.52m²

upper floor: 60.67m²

TOTAL: 134.51m² 14.48sq.

UNIT 4

AREA:
ground floor: 57.49m²
porch: 4.5m²
patio: 4.09m²
garage: 23.55m²

upper floor: 58.37m²

TOTAL: 148.00m² 15.93sq.

AREA ANALYSIS

SITE AREA: 743.00m²
BUILT UP AREA: 312.24m²
SITE COVERAGE: 42.02%
PERMIBILITY: 35.23%

GARDEN AREA 35% OF SITE AREA = 260.05m²
PROPOSED GARDEN AREA = 35.14% (261.14m²)

TOTAL: 575.36m² 61.93sq.

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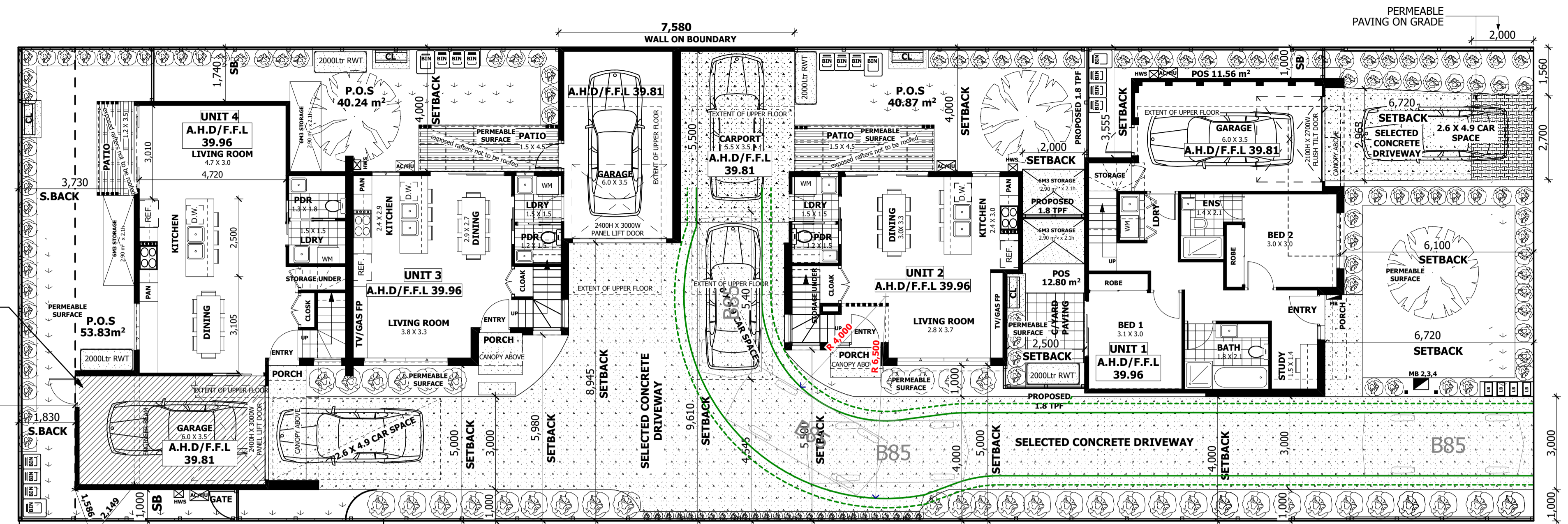
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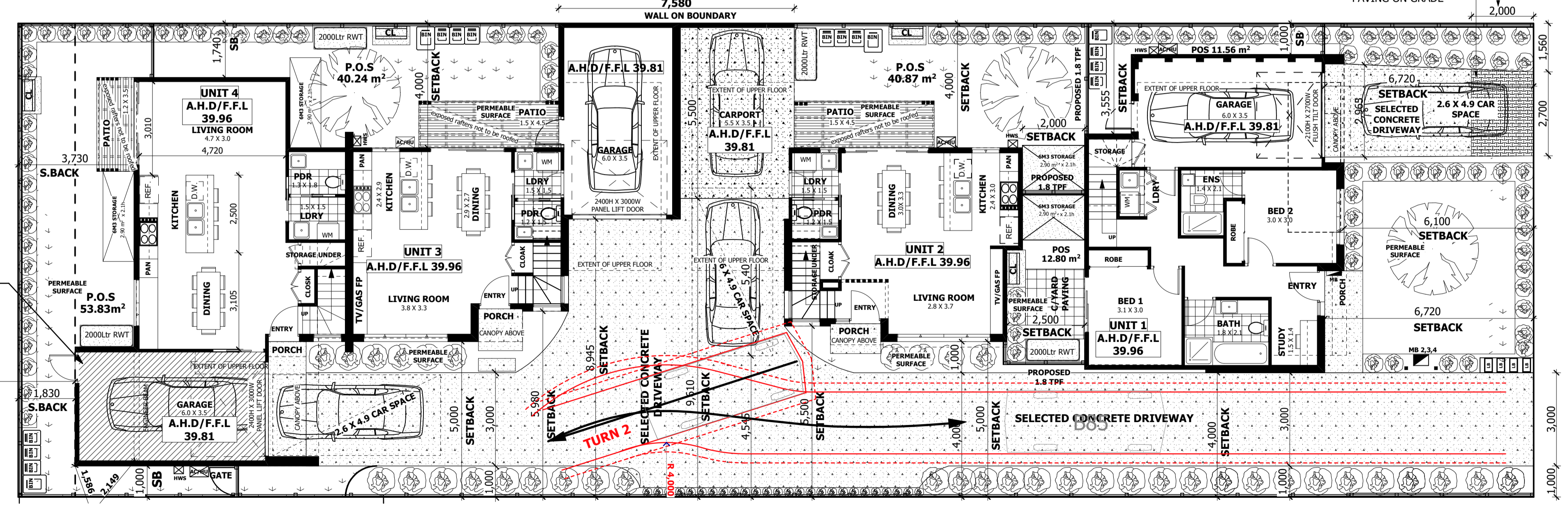
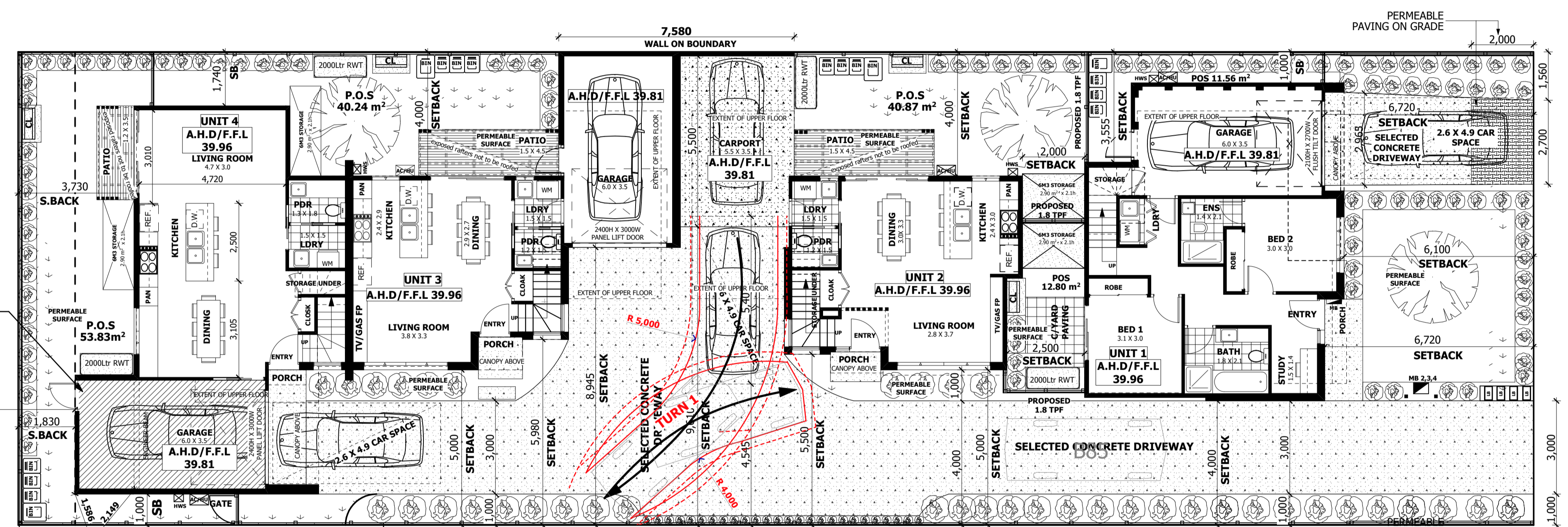
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LEGEND

— CAR INGRESS LINE

— CAR EGRESS LINE

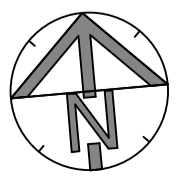


NOTE:

Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

- A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree/s on the VINE STREET frontage.
- The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
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All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.



SITE LAYOUT / UNIT 2 SWEEP PATH PLAN

SCALE 1:100

PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	1: 03 957 8111 F: 03 957 8118 M: 0408 980 500	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	Job No: 2333 Date: 09.07.24
	registered building practitioner	DESIGN GROUP	sheet no: 09

NOTE:
SITE IS FLAT

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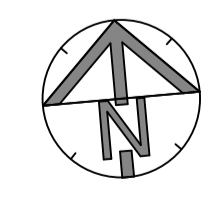
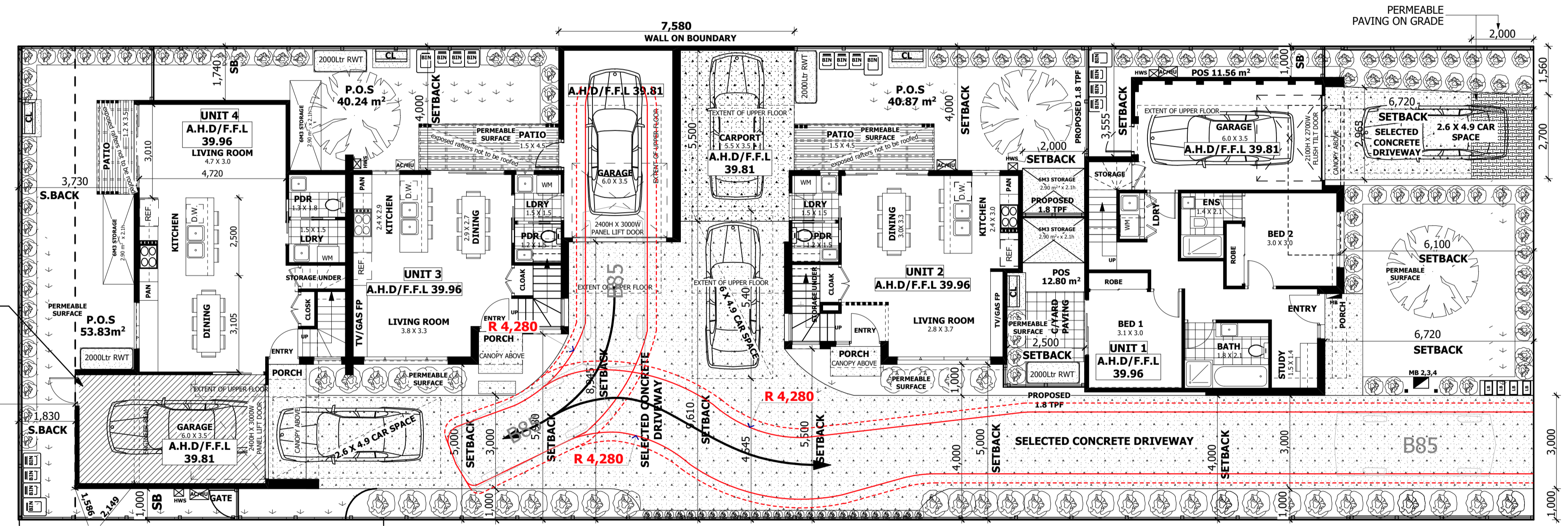
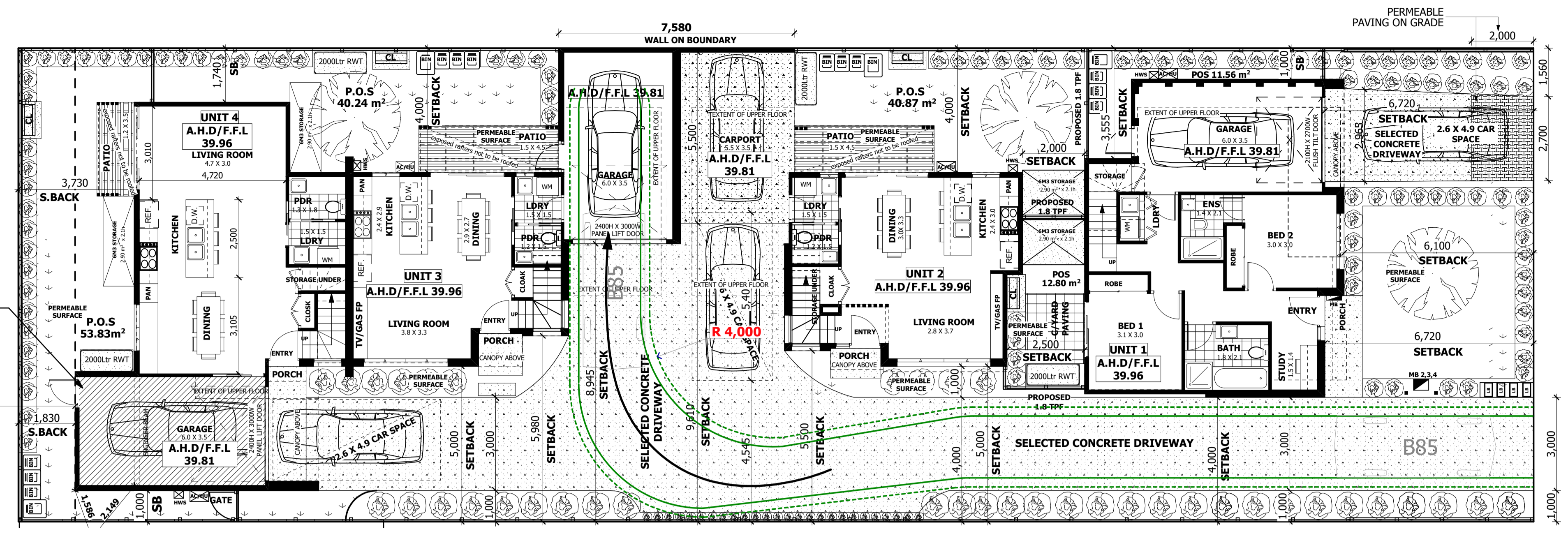
UNIT 1	
AREA:	
ground floor:	53.9m ²
porch:	4.0m ²
courtyard:	4.28m ²
garage:	23.34m ²
upper floor:	61.50m ²
balcony:	8.15m ²
TOTAL:	155.17m ² 16.70sq.
UNIT 2	
AREA:	
ground floor:	44.31m ²
porch:	1.55m ²
patio:	6.75m ²
carport:	21.07m ²
upper floor:	64.00m ²
TOTAL:	137.68m ² 14.82sq.
UNIT 3	
AREA:	
ground floor:	41.97m ²
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patio:	6.75m ²
garage:	23.52m ²
upper floor:	60.67m ²
TOTAL:	134.51m ² 14.48sq.
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LEGEND

LB	LETTER BOX
HWS	HOT WATER SERVICE
MB	METER BOX
RBS	RUBISH BIN
RSB	RECYCLE BIN
HW	HABITAT WINDOW
NHW	NON HABITAT WINDOW
G	GAS METER
CL	CLOTHES LINE
RWT	RAIN WATER TANK
AC	AIRCONDITION / HEATING UNIT
SP	SOLAR PANELS



SITE LAYOUT /UNIT 3 SWEEP PATH PLAN

SCALE 1:100

NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

- A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree/s on the VINE STREET frontage.
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PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	1: 03 9357 8111 F: 03 9357 8118 M: 0409 980 980	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	Job No: 2333 Date: 09.07.24	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	date	amendments						
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registered building practitioner DESIGN GROUP A. MEE & PARTNERS 11/1111 MARRIAGE TREE	Copyright © 2024. These drawings are not to be copied or used in any way without the written consent of the author.	sheet no:10										

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UNIT 3
AREA:
ground floor: 41.97m²
porch: 1.36m²
patio: 6.75m²
garage: 23.52m²
upper floor: 60.67m²
TOTAL: 134.51m² 14.48sq.

UNIT 4
AREA:
ground floor: 57.49m²
porch: 4.5m²
patio: 4.09m²
garage: 23.55m²
upper floor: 58.37m²
TOTAL: 148.00m² 15.93sq.

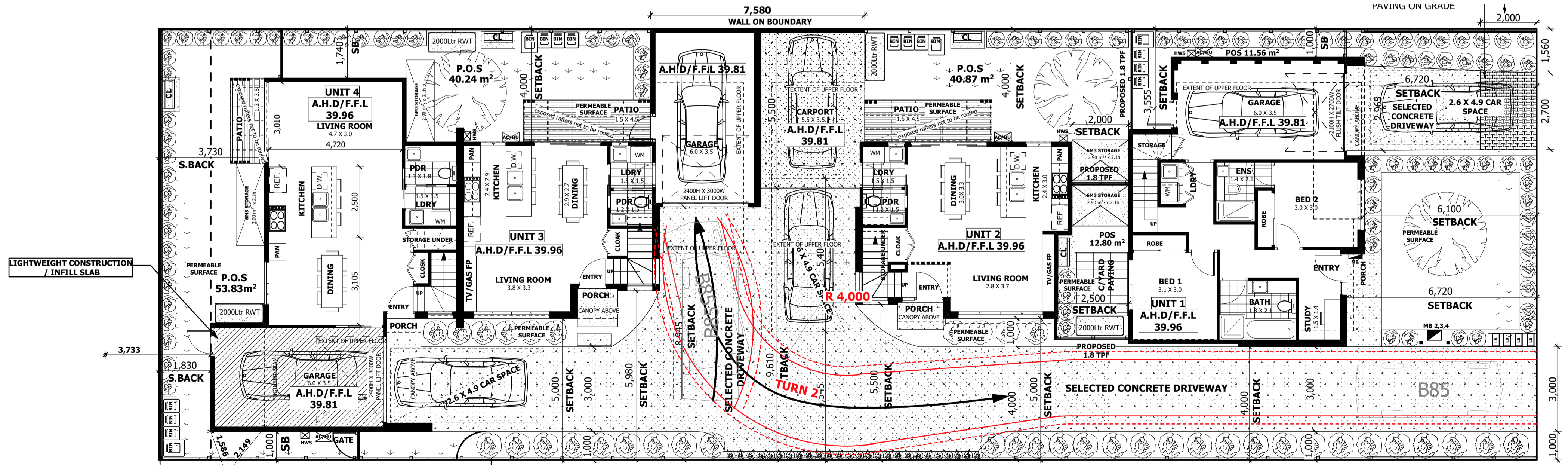
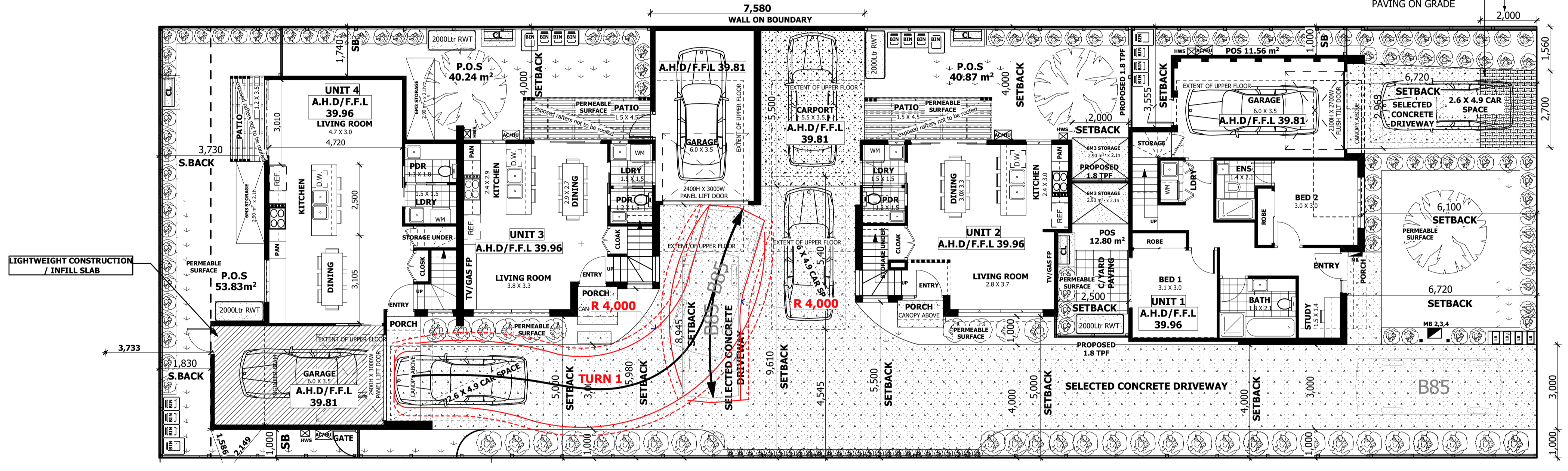
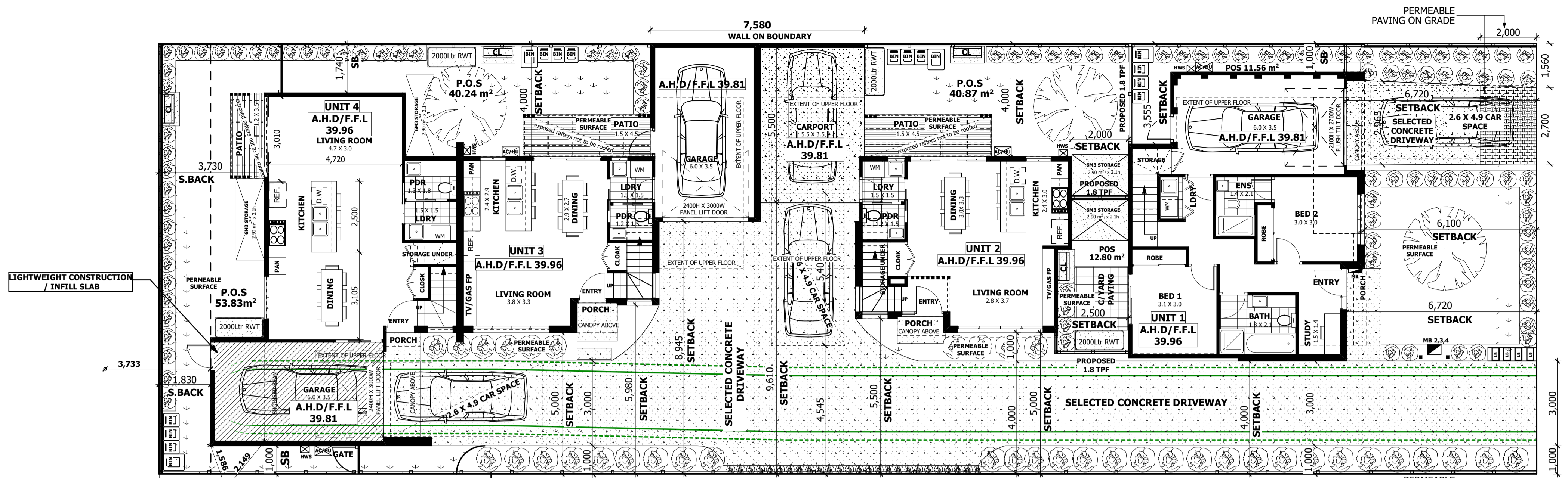
AREA ANALYSIS

SITE AREA: 743.00m²
BUILT UP AREA: 312.24m²
SITE COVERAGE: 42.02%
PERMIBILITY: 35.23%
GARDEN AREA 35% OF SITE AREA = 260.05m²
PROPOSED GARDEN AREA = 35.14% (261.14m²)
TOTAL: 575.36m² 61.93sq.

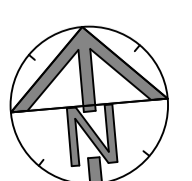
LEGEND

LB	LETTER BOX
HWS	HOT WATER SERVICE
MB	METER BOX
RB	RUBBISH BIN
RCB	RECYCLE BIN
HW	HABITAT WINDOW
NHW	NON HABITAT WINDOW
GM	GAS METER
CL	CLOTHES LINE
RWT	RAIN WATER TANK
ACU	AIRCONDITION / HEATING UNIT
SP	SOLAR PANELS

LEGEND
CAR INGRESS LINE
CAR EGRESS LINE



NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:
i) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree/s on the VINE STREET frontage.
ii) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

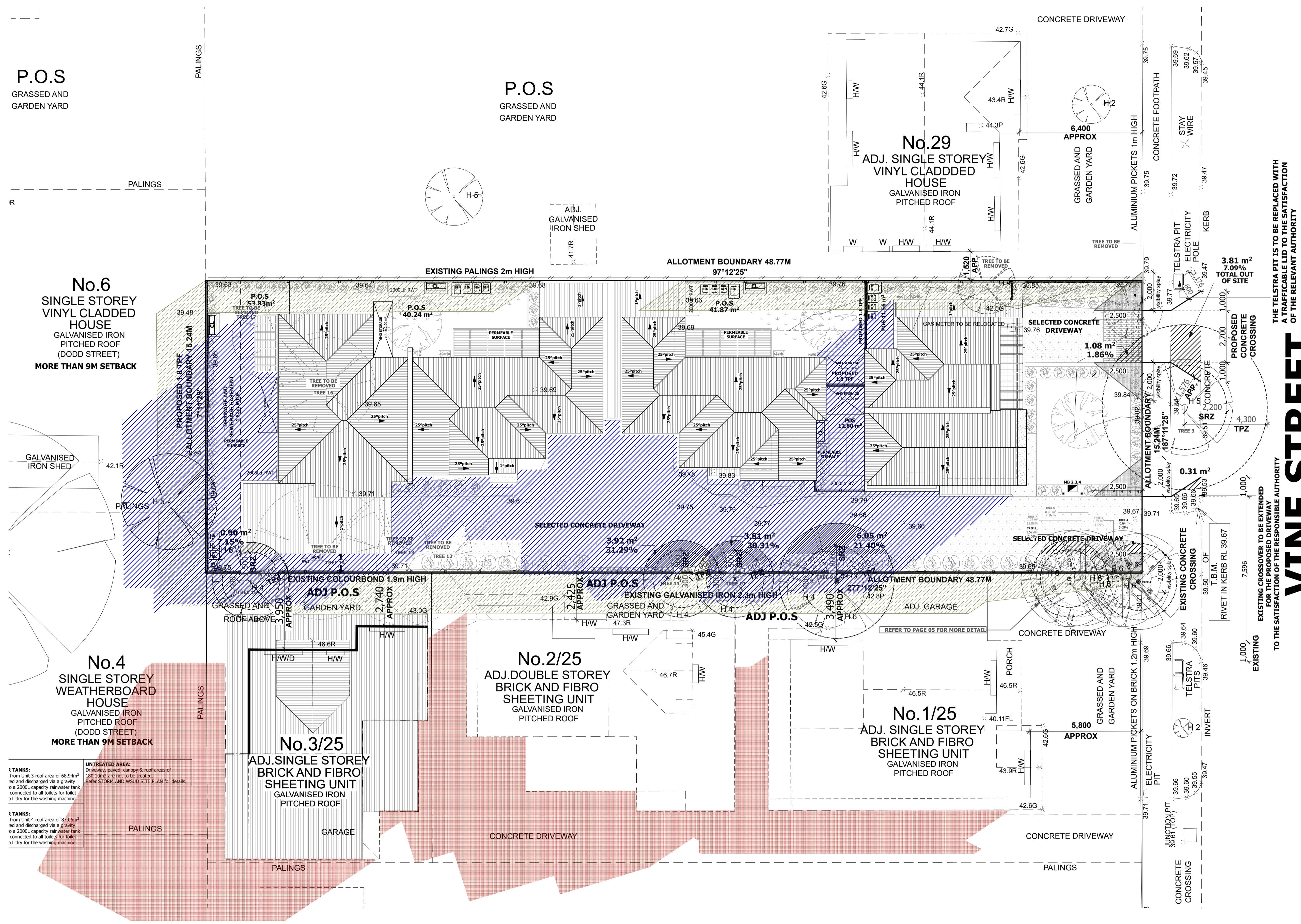


SITE LAYOUT / UNIT 4 SWEEP PATH PLAN

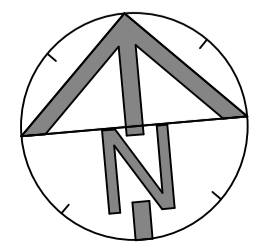
SCALE 1:100

PRELIMINARY

M7 Design Group Pty. Ltd. building designers registered building practitioner	1 83 857 811 F: 83 857 818 M: 0439 980 900	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP Job No: 2333 Date: 09.07.24	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	date	amendments						
	date	amendments									
registered building practitioner	DESIGN GROUP A MEMBER OF THE M7 GROUP MARRIBYRNONG, VIC. 3047	Copyright © 2024. These drawings are not to be copied or used in any way without the written consent of the author.	sheet no:1.1								



THE PROPOSED SHADOW OF DEVELOPMENT DOES NOT ENCR OACH OVER EXISTING FENCE OF No.1/25, No. 2/25 AND No. 3/25



**SUN SHADE DIAGRAM :
SEPTEMBER 22 - 9AM
SCALE: 1:100**

THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

P.O.S
GRASSED AND GARDEN YARD

P.O.S
GRASSED AND GARDEN YARD

No.6
SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.4
SINGLE STOREY WEATHERBOARD HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.3/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.2/25
ADJ. DOUBLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.1/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

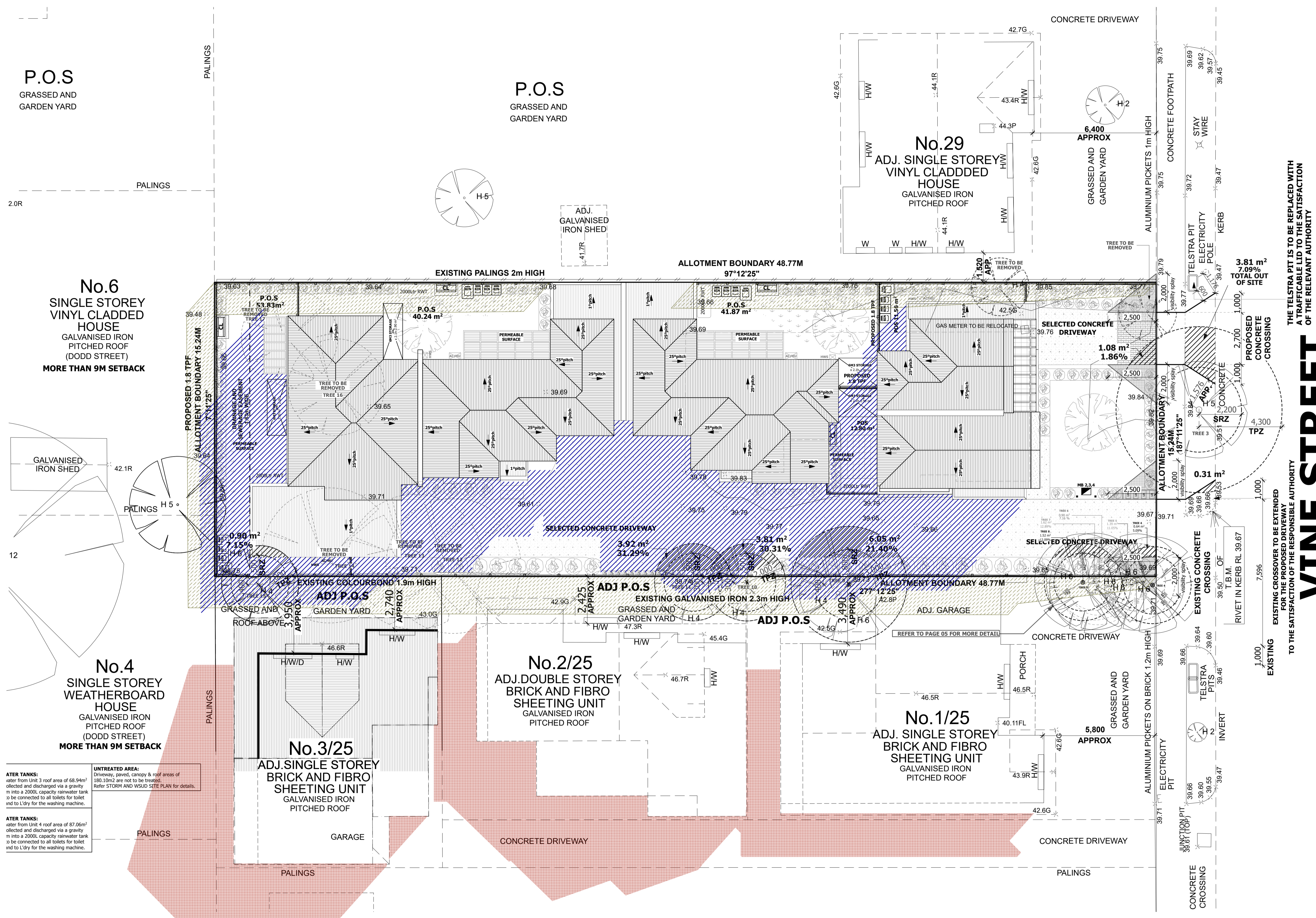
No.29
ADJ. SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF

TANKS:
From Unit 3 roof area of 68.94m² and discharged via a gravity to a 2000L capacity rainwater tank connected to all toilets for toilet & L'dry for the washing machine.

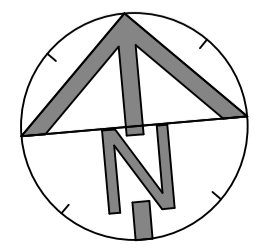
TANKS:
From Unit 4 roof area of 87.00m² and discharged via a gravity to a 2000L capacity rainwater tank connected to all toilets for toilet & L'dry for the washing machine.

UNTREATED AREA:
Driveway, paved, canopy & roof areas of 180.10m² are not to be treated. Refer STORM AND WSUD SITE PLAN for details.

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24
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THE PROPOSED SHADOW OF DEVELOPMENT DOES NOT ENCRANCH OVER EXISTING FENCE OF No.1/25, No. 2/25 AND No. 3/25



**SUN SHADE DIAGRAM :
SEPTEMBER 22 - 10AM
SCALE: 1:100**

THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

ATER TANKS:
water from Unit 3 roof area of 68.94m² collected and discharged via a gravity m into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

ATER TANKS:
water from Unit 4 roof area of 87.06m² collected and discharged via a gravity m into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

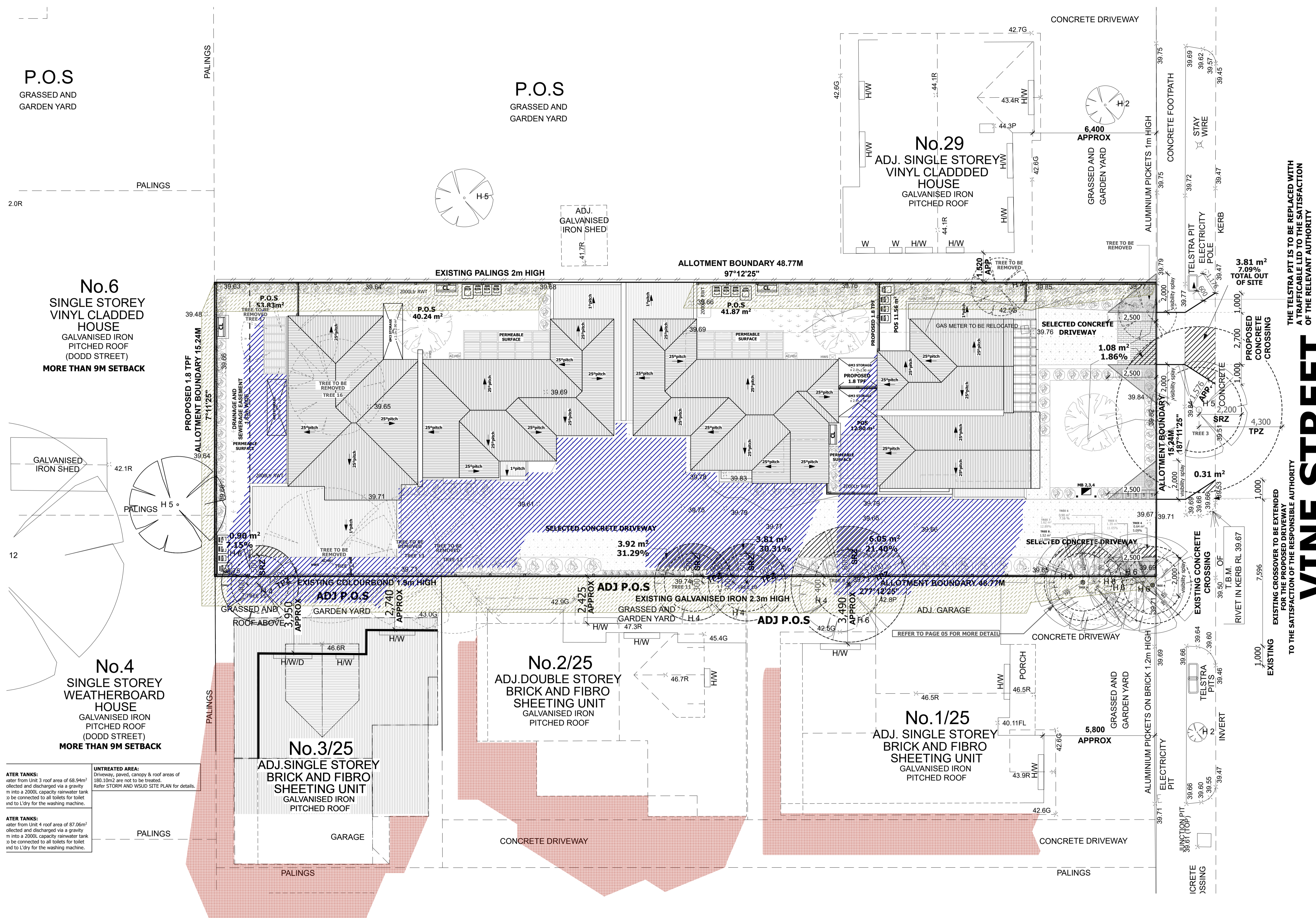
UNTREATED AREA:
Driveway, paved, canopy & roof areas of 180.10m² are not to be treated. Refer STORM AND WSUD SITE PLAN for details.

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24

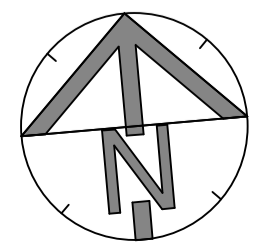
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sheet no:13

PRELIMINARY



THE PROPOSED SHADOW OF DEVELOPMENT DOES NOT ENCR OACH OVER EXISTING FENCE OF No.1/25, No. 2/25 AND No. 3/25



**SUN SHADE DIAGRAM :
SEPTEMBER 22 - 11AM
SCALE: 1:100**

THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

P.O.S
GRASSED AND GARDEN YARD

P.O.S
GRASSED AND GARDEN YARD

No.6
SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.29
ADJ. SINGLE STOREY VINYL CLADDED HOUSE
GALVANISED IRON PITCHED ROOF

No.4
SINGLE STOREY WEATHERBOARD HOUSE
GALVANISED IRON PITCHED ROOF (DODD STREET)
MORE THAN 9M SETBACK

No.2/25
ADJ.DOUBLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.1/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

No.3/25
ADJ. SINGLE STOREY BRICK AND FIBRO SHEETING UNIT
GALVANISED IRON PITCHED ROOF

ATER TANKS:
water from Unit 3 roof area of 68.94m² collected and discharged via a gravity m into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

UNTREATED AREA:
Driveway, paved, canopy & roof areas of 180.10m² are not to be treated. Refer STORM AND WSUD SITE PLAN for details.

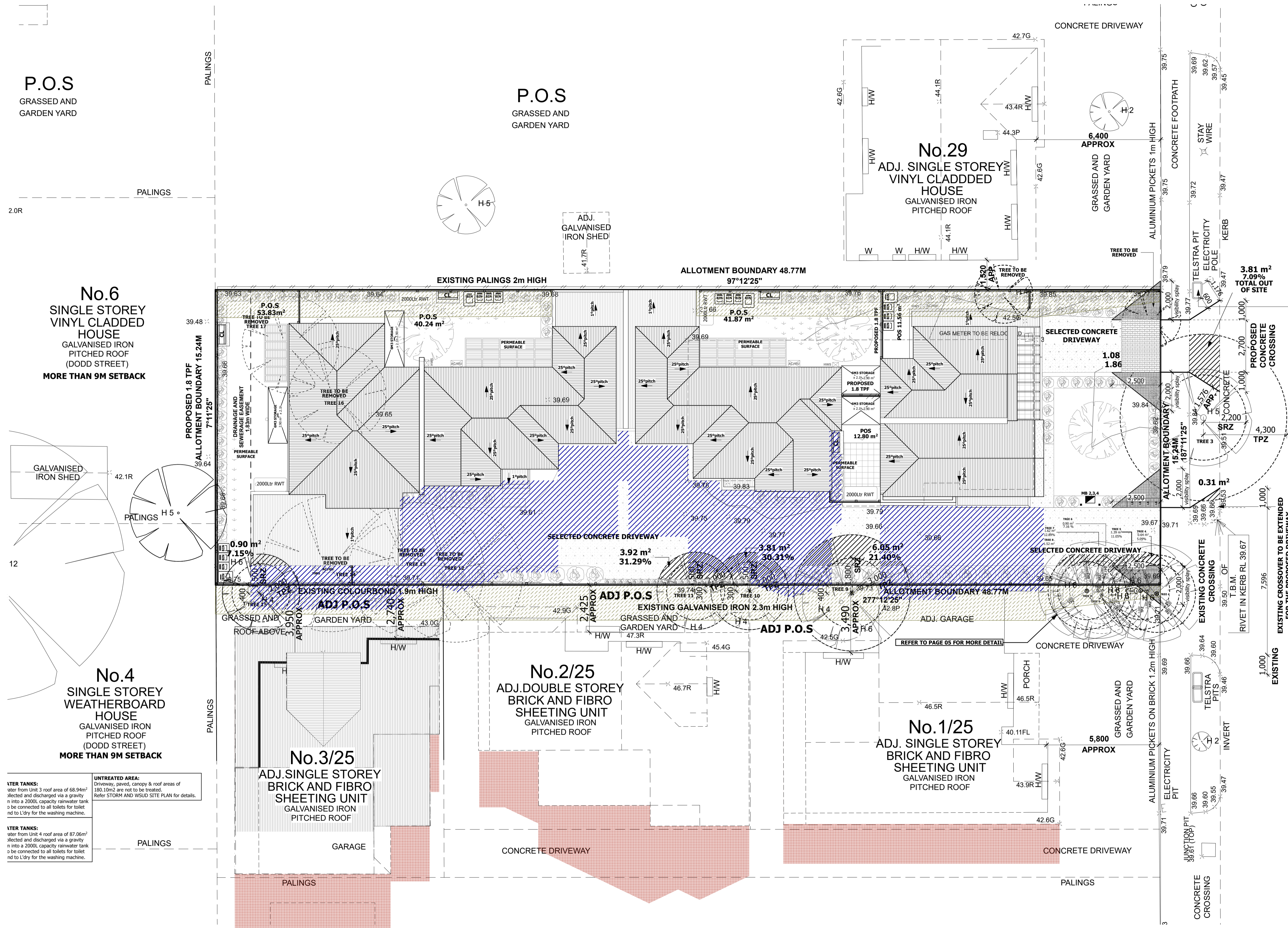
ATER TANKS:
water from Unit 4 roof area of 87.06m² collected and discharged via a gravity m into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24

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sheet no:14

PRELIMINARY



THE PROPOSED SHADOW OF DEVELOPMENT DOES NOT ENCR OACH OVER EXISTING FENCE OF No.1/25, No. 2/25 AND No. 3/25

**SUN SHADE DIAGRAM :
SEPTEMBER 22 - 12PM
SCALE: 1:100**

THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

WATER TANKS:
after from Unit 3 roof area of 68.94m² collected and discharged via a gravity into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

UNTREATED AREA:
Driveway, paved, canopy & roof areas of 180.10m² are not to be treated. Refer STORM AND WISUD SITE PLAN for details.

WATER TANKS:
after from Unit 4 roof area of 87.06m² collected and discharged via a gravity into a 2000L capacity rainwater tank to be connected to all toilets for toilet and to L'dry for the washing machine.

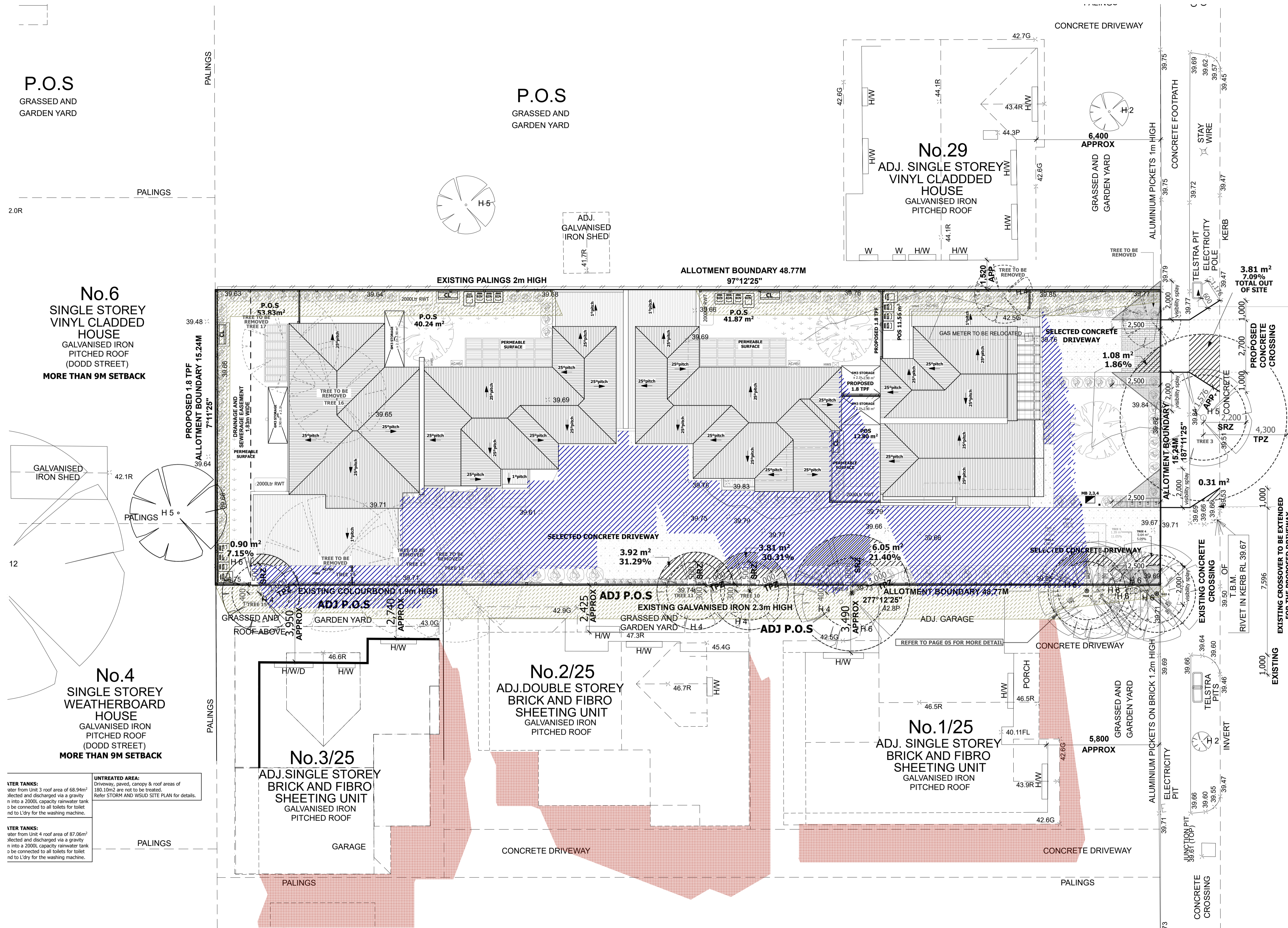
M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24

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sheet no:15

PRELIMINARY

VINE STREET



P.O.S
GRASSED AND
GARDEN YARD

P.O.S
GRASSED AND
GARDEN YARD

No.6
SINGLE STOREY
VINYL CLADDED
HOUSE
GALVANISED IRON
PITCHED ROOF
(DODD STREET)
MORE THAN 9M SETBACK

No.4
SINGLE STOREY
WEATHERBOARD
HOUSE
GALVANISED IRON
PITCHED ROOF
(DODD STREET)
MORE THAN 9M SETBACK

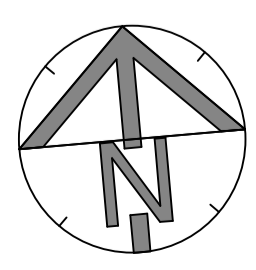
No.3/25
ADJ. SINGLE STOREY
BRICK AND FIBRO
SHEETTING UNIT
PITCHED ROOF

No.2/25
ADJ. DOUBLE STOREY
BRICK AND FIBRO
SHEETTING UNIT
GALVANISED IRON
PITCHED ROOF

No.1/25
ADJ. SINGLE STOREY
BRICK AND FIBRO
SHEETTING UNIT
GALVANISED IRON
PITCHED ROOF

No.29
ADJ. SINGLE STOREY
VINYL CLADDED
HOUSE
GALVANISED IRON
PITCHED ROOF

THE PROPOSED SHADOW OF DEVELOPMENT DOES
NOT ENCR OACH OVER EXISTING FENCE OF No.1/25,
No. 2/25 AND No. 3/25



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 1PM
SCALE: 1:100

THE TELSTRA PIT IS TO BE REPLACED WITH
A TRAFFICABLE LID TO THE SATISFACTION
OF THE RELEVANT AUTHORITY

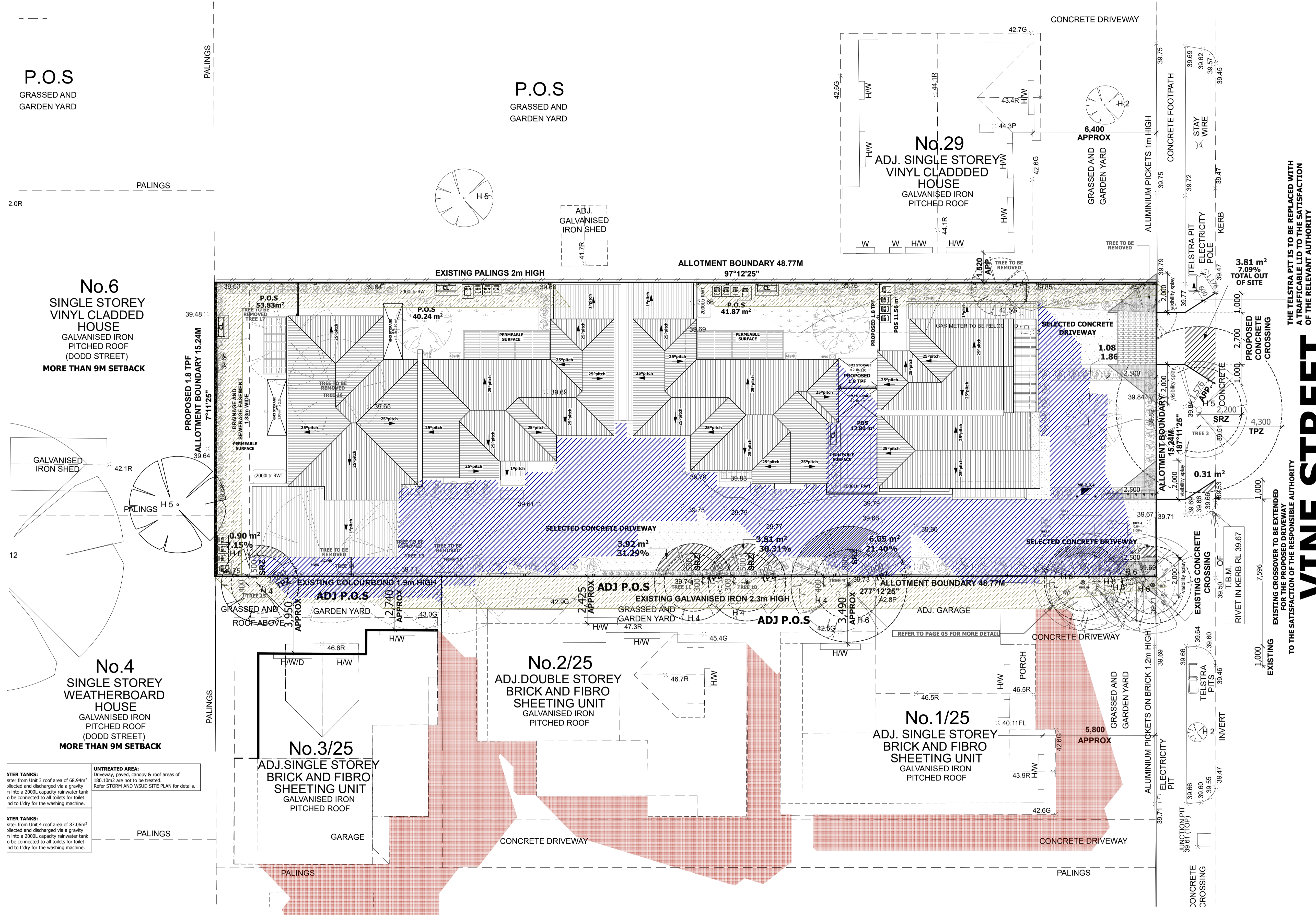
EXISTING CROSSOVER TO BE EXTENDED
FOR THE PROPOSED DRIVEWAY
TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

M7 Design Group Pty. Ltd.
building designers
registered building practitioner

Proposed: UNIT DEVELOPMENT
At: 27 VINE STREET BRAYBROOK
Client: MANOS GROUP
Job No: 2333 Date: 09.07.24

date	amendments

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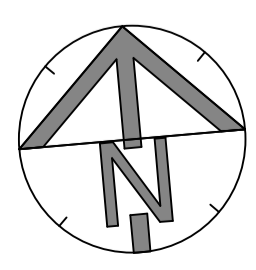


THE TELSTRA PIT IS TO BE REPLACED WITH A TRAFFICABLE LID TO THE SATISFACTION OF THE RELEVANT AUTHORITY

VINE STREET

EXISTING CROSSOVER TO BE EXTENDED FOR THE PROPOSED DRIVEWAY TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

THE PROPOSED SHADOW OF DEVELOPMENT DOES NOT ENCR OACH OVER EXISTING FENCE OF No.1/25, No. 2/25 AND No. 3/25



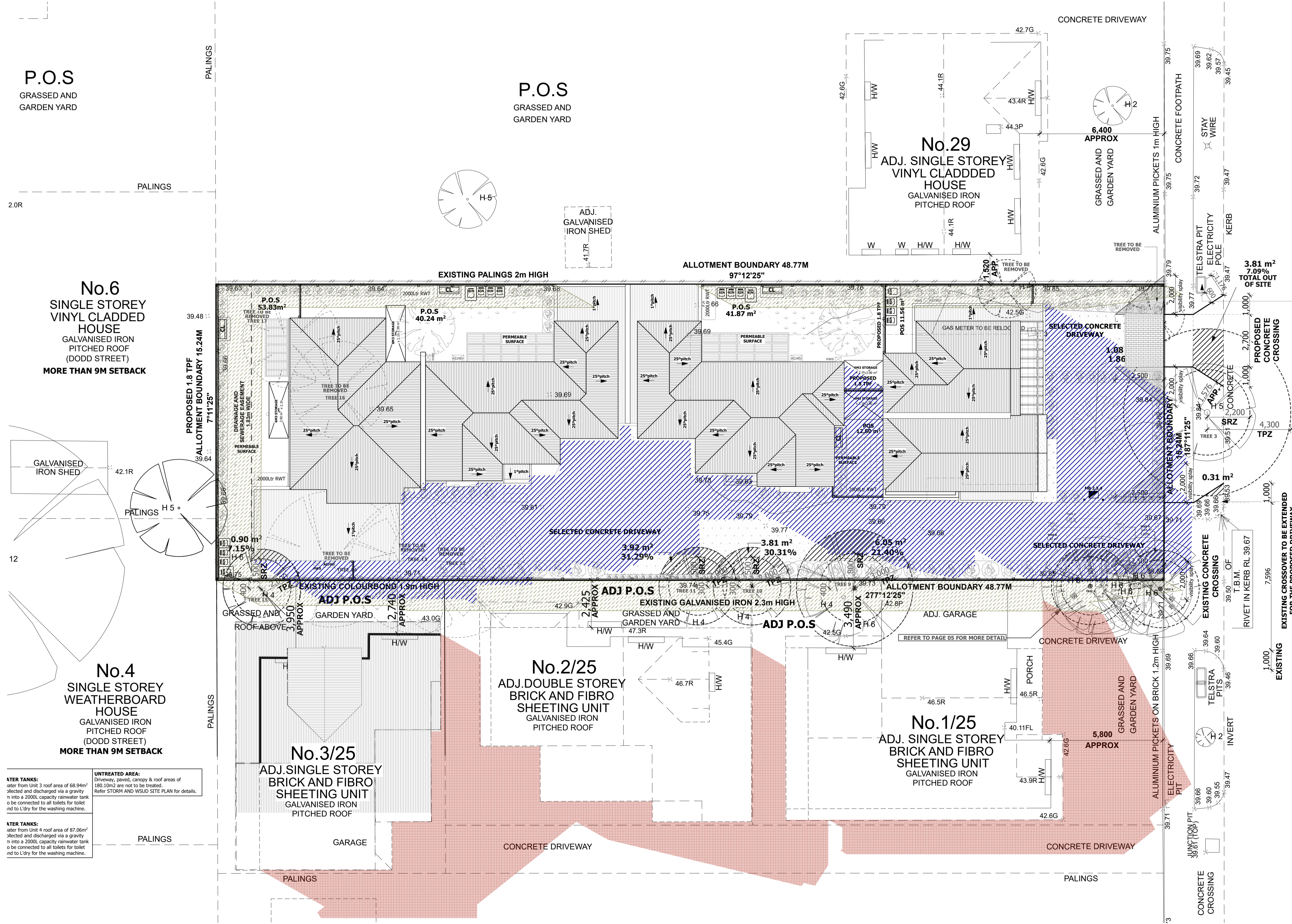
SUN SHADE DIAGRAM :
SEPTEMBER 22 - 2PM
SCALE: 1:100

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24

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sheet no:17

PRELIMINARY



P.O.S
GRASSED AND
GARDEN YARD

P.O.S
GRASSED AND
GARDEN YARD

No.6
SINGLE STOREY
VINYL CLADDED
HOUSE
GALVANISED IRON
PITCHED ROOF
(DODD STREET)
MORE THAN 9M SETBACK

No.4
SINGLE STOREY
WEATHERBOARD
HOUSE
GALVANISED IRON
PITCHED ROOF
(DODD STREET)
MORE THAN 9M SETBACK

No.2/25
ADJ.DOUBLE STOREY
BRICK AND FIBRO
SHEETING UNIT
GALVANISED IRON
PITCHED ROOF

No.3/25
ADJ.SINGLE STOREY
BRICK AND FIBRO
SHEETING UNIT
PITCHED ROOF

No.29
ADJ. SINGLE STOREY
VINYL CLADDED
HOUSE
GALVANISED IRON
PITCHED ROOF

No.1/25
ADJ. SINGLE STOREY
BRICK AND FIBRO
SHEETING UNIT
GALVANISED IRON
PITCHED ROOF

RAINWATER TANKS:
after from Unit 3 roof area of 68.94m²
collected and discharged via a gravity
to into a 2000L capacity rainwater tank
to be connected to all toilets for toilet
and to L'dry for the washing machine.

UNTREATED AREA:
Driveway, paved, canopy & roof areas of
180.10m² are not to be treated.
Refer STORM AND WSD SITE PLAN for details.

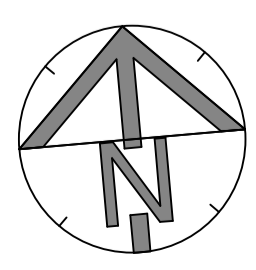
RAINWATER TANKS:
after from Unit 4 roof area of 87.06m²
collected and discharged via a gravity
to into a 2000L capacity rainwater tank
to be connected to all toilets for toilet
and to L'dry for the washing machine.

THE TELSTRA PIT IS TO BE REPLACED WITH
A TRAFFICABLE LID TO THE SATISFACTION
OF THE RELEVANT AUTHORITY

EXISTING CROSSOVER TO BE EXTENDED
FOR THE PROPOSED DRIVEWAY
TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

VINE STREET

THE PROPOSED SHADOW OF DEVELOPMENT DOES
NOT ENCROACH OVER EXISTING FENCE OF No.1/25,
No. 2/25 AND No. 3/25



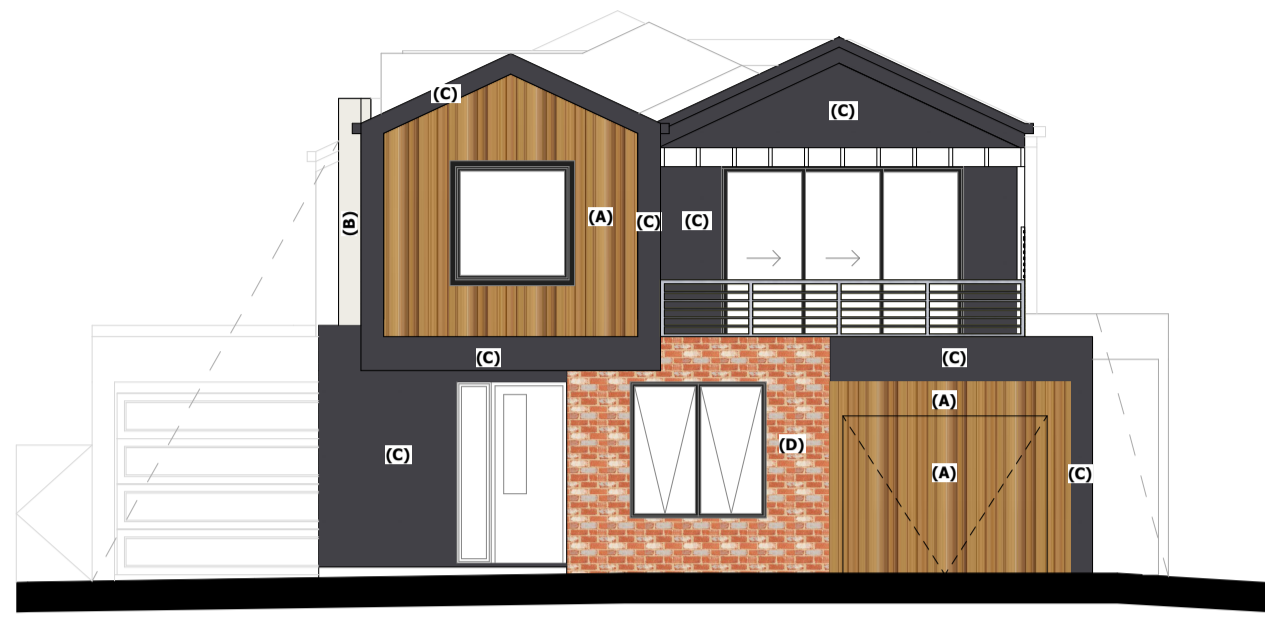
SUN SHADE DIAGRAM :
SEPTEMBER 22 - 3PM
SCALE: 1:100

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	UNIT DEVELOPMENT	date	amendments
	At:	27 VINE STREET BRAYBROOK		
	Client:	MANOS GROUP		
	Job No:	2333	Date:	09.07.24

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sheet no:18

PRELIMINARY



UNIT 1
EAST ELEVATION
SCALE: 1:100



UNIT 4
WEST ELEVATION
SCALE: 1:100

COLOUR SAMPLES			
	(A) Composite timber cladding - Timber colour		Windows/doors Powdercoat Aluminium (Black)
	(B) Render finish - Natural White (Dulux)		Garage flush tilt door Composite timber cladding (Timber colour)
	(C) Render finish - Monument (Dulux)		Garage panel lift door Colorbond (Monument)
	(D) Face brickwork - PGI Tribeca		Concrete driveway - Light grey or similar
	Roof - Colorbond (surfmist)		RWT - Colorbond (surfmist)
	Gutters/Fascia/Capping Colorbond (Monument)		



UNIT 4 UNIT 3 UNIT 2 UNIT 1
SOUTH ELEVATION
SCALE: 1:100

MATERIALS SCHEDULE	
ITEMS	COLOURS
WALLS	(A) Composite timber cladding - Timber colour
EXTERNAL SURFACE	(B) Render finish - Natural White (Dulux)
	(C) Render finish - Monument (Dulux)
	(D) Face brickwork - PGI Tribeca
WINDOWS / DOORS	POWDERCOAT ALUMINIUM (BLACK TONE)
UNIT 1'S FLUSH TILT GARAGE DOOR	COMPOSITE TIMBER CLADDING - TIMBER COLOUR
UNIT 2,3,4 PANEL LIFT GARAGE DOOR	COLORBOND - MONUMENT
ROOF	COLORBOND - SURFMIST
CAPPING / FASCIA / GUTTER	COLORBOND - MONUMENT
RAIN WATER TANK	COLORBOND - SURFMIST
CONCRETE DRIVEWAY	LIGHT GREY TONE



UNIT 1 UNIT 2 UNIT 3 UNIT 4
NORTH ELEVATION
SCALE: 1:100

27 VINE STREET, BRAYBROOK

PRELIMINARY

M7 Design Group Pty. Ltd. building designers 1 83 857 811 F: 83 857 818 M: 0439 983 983 registered building practitioner	Proposed: UNIT DEVELOPMENT At: 27 VINE STREET BRAYBROOK Client: MANOS GROUP	Job No: 2333 Date: 09.07.24	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	date	amendments						
	date	amendments									
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