



PRECINCT DESCRIPTION

The streets of this precinct are open and spacious due to the wide nature strips and generous front setbacks. Many streets have a distinctive green and leafy feel, due to the grassy nature strips and street trees. This is further emphasised by the low front fences, allowing views into the established exotic gardens, including canopy trees.

This precinct is cohesively defined by the regular, grid street pattern and consistent use of building materials. The houses are predominantly single storey, with a mix of architectural styles. Housing lots in this precinct are relatively large with generous setbacks, providing the opportunity for a balanced built form and vegetation. Bluestone kerbing is also an enhancing feature of some streets.

KEY EXISTING CHARACTERISTICS

- Architecture styles are mixed, consisting of Victorian, Federation, Interwar, 1950s to 1960s, and post 1970s development.
- Building materials are predominantly brick or weatherboard, with tile or iron roofs.
- Dwellings are generally single storey, with some two storey development.
- Front setbacks are 6 to 7 metres. Side setbacks are between 1 and 3 metres.
- Gardens are established, with mostly exotic planting and some tall trees.
- Front fences are low with a mix of transparent and solid materials.
- Street trees range from medium to large, with predominantly regular planting.
- Most streets have nature strips, some of which are 5 metres wide.
- Some streets have bluestone kerb and channels.
- Certain sections of this precinct offer views to Cruickshank Park and Stony Creek.

COMMUNITY VALUES

- The protection of older dwellings that contribute to the valued character, incorporated with new contemporary homes.
- The diversity of building styles.
- Appropriately scaled development, and sensitive additions to existing buildings.
- Energy efficient buildings.
- Space around buildings, including appropriately sized backyards and large gardens.

ISSUES / THREATS

- Bulky two storey development.
- Front fences that are high and solid.
- Construction of car parking structures within the front setback.
- Reproduction style detailing.
- Dominant or overwhelming new development.
- Loss of older homes that contribute to the valued character.
- Loss of street trees.
- Loss of vegetation.
- Loss of bluestone.

PREFERRED CHARACTER STATEMENT

The spaciousness of streets and the maintenance of older buildings will continue to influence the character of this precinct. Older dwellings, including those from the Victorian, Federation and Interwar eras will be retained and complemented by newer development that is distinguishable from original building stock, but respectful of the key elements of these styles. New development will incorporate pitched roofs and use materials that reflect the current building stock in the precinct, with a variation of materials across facades. Buildings will be sited to provide gardens that contribute to the overall leafy feel of the precinct. The garden settings of dwellings will be maintained and strengthened with the retention of existing canopy trees and the planting of new vegetation. Front fences will remain low and open, allowing views to gardens and dwellings.

PRECINCT MAP



DESIGN GUIDELINES

CHARACTER ELEMENT	OBJECTIVE	DESIGN RESPONSE	AVOID
Existing Buildings	To encourage the retention of older dwellings that contribute to the valued character of the area.	<ul style="list-style-type: none"> > Retain Victorian, Federation and Interwar dwellings that are intact and in good condition wherever possible. 	<p><i>Loss of older dwellings that contribute to the character of the area.</i></p> <p><i>Demolition of intact parts of older dwellings that are visible from the street.</i></p>
	To respect the qualities of older adjoining buildings that are in good condition.	<ul style="list-style-type: none"> > Where adjoining an older building in good condition, respect the height, building forms, siting and materials of the building(s) in new building design. 	<p><i>Buildings that dominate older buildings by height, siting or massing.</i></p> <p><i>Historical reproduction detailing.</i></p>
Vegetation	To maintain and strengthen the garden setting of the dwellings.	<ul style="list-style-type: none"> > Prepare a landscape plan to accompany all applications for new dwellings that includes substantial trees and shrubs. > Retain large, established trees and provide for the planting of new trees and substantial vegetation, wherever possible. 	<p><i>Removal of large, established trees.</i></p> <p><i>Lack of landscaping and substantial vegetation.</i></p>
Siting	To maintain the consistency, where present, of front boundary setbacks.	<ul style="list-style-type: none"> > The front setback should be no less than the average setback of the adjoining two dwellings. 	<p><i>Buildings that are set further forward than the closest of the buildings on the adjoining two properties.</i></p>
	To maintain gaps between dwellings where this is a characteristic of the street.	<ul style="list-style-type: none"> > Buildings should be set back from the side boundaries in accordance with the pattern in the street. 	<p><i>Side boundaries that do not reflect the dominant setback pattern of the street.</i></p>
	To minimise the loss of front garden space and the dominance of car parking structures.	<ul style="list-style-type: none"> > Locate garages and carports behind the line of the dwelling. > Minimise hard paving in front garden areas, including driveways and crossovers. > Provide vehicular access form a rear laneway if available. > Provide only one vehicular crossover per typical site frontage. 	<p><i>Car parking structures that dominate the façade or view of the dwelling.</i></p> <p><i>Creation of new crossovers and driveways, or wide crossovers.</i></p> <p><i>Front setbacks dominated by impervious surfaces.</i></p>
Height and building form	To encourage innovative and contemporary architectural responses that are in harmony with surrounding older buildings and streetscapes.	<ul style="list-style-type: none"> > New development, including additions to existing buildings, should be distinguishable from the original dwelling stock through the use of innovative and contemporary architecture. > Use simple building details. 	<p><i>Period reproduction styles and detailing.</i></p>
	To ensure that buildings and extensions do not dominate the streetscape.	<ul style="list-style-type: none"> > Respect the predominant building height in the street and nearby properties. > Recess two storey elements from the front facade. > Use low pitched roof forms. 	<p><i>Buildings that appear to exceed by more than one storey the predominant height of buildings in the street and on nearby properties.</i></p>
	To maintain the sense of openness in backyards.	<ul style="list-style-type: none"> > The scale and massing of second dwellings built in the backyard should be designed so that upper level components are contained within a single storey roof form. 	<p><i>Bulky development dominating the rear of properties.</i></p>
Front boundary treatment	To enhance the security of properties and maintain views into front gardens.	<ul style="list-style-type: none"> > Provide low or open style front fences. > Front fences should be appropriate to the building era or reflect the typical fencing height of the street. 	<p><i>High, solid front fencing.</i></p>

